



**City of Apopka
Planning Commission
Meeting Agenda
July 10, 2018**

5:30 PM @ City Council Chambers

I. CALL TO ORDER

If you wish to appear before the Planning Commission, please submit a "Notice of Intent to Speak" card to the Recording Secretary.

II. OPENING AND INVOCATION

III. APPROVAL OF MINUTES:

- 1 Approve minutes of the Planning Commission regular meeting held June 26, 2018.

IV. PUBLIC HEARING:

1. PLANNED UNIT DEVELOPMENT – AMENDMENT - ORANGE BLOSSOM APOPKA RV RESORT – Property owned by Orange Blossom Apopka RV Resort, Inc., c/o Robert Vesely, and located at 3800 W. Orange Blossom Trail. (Parcel ID #: 36-20-27-0000-00-020)

V. SITE PLANS:

1. PRELIMINARY DEVELOPMENT PLAN – FAIRFIELD INN & SELF-STORAGE – Property owned by Farish Enterprises, LLC, and located at 1616 East Semoran Boulevard. (Parcel ID # 11-21-28-5600-03-000)
2. FINAL DEVELOPMENT PLAN – GREATER FAITH WORLD CENTER, INC., PHASE 1 – Property owned by Center of Faith Church, Inc. and located at 700 Vick Road. (Parcel ID #: 04-21-28-0000-00-027)
3. PLAT – SAN SEBASTIAN RESERVE – Property owned by A.D Raulerson, Sr. & A.D. Raulerson, Jr.; and Curtis & Karen Pumphrey and located north of Lester Road and west of Rock Springs Road. (Parcel ID #s: 28-20-28-0000-00-084; 28-20-28-0000-00-040; 28-20-28-0000-00-077)

VI. OLD BUSINESS:

VII. NEW BUSINESS:

VIII. ADJOURNMENT:

All interested parties may appear and be heard with respect to this agenda. Please be advised that, under state law, if you decide to appeal any decision made by the City Council with respect to any matter considered at this meeting or hearing, you will need a record of the proceedings, and that, for such purpose, you may need to ensure that a verbatim record of the proceedings is made, which record includes a testimony and evidence upon which the appeal is to be based. The City of Apopka does not provide a verbatim record.

In accordance with the American with Disabilities Act (ADA), persons with disabilities needing a special accommodation to participate in any of these proceedings should contact the City Clerk's Office at 120 East Main Street, Apopka, FL 32703, telephone (407) 703-1704, no less than 48 hours prior to the proceeding.

MINUTES OF THE PLANNING COMMISSION REGULAR MEETING HELD ON JUNE 26, 2018, AT 5:30 P.M. IN THE CITY COUNCIL CHAMBERS, APOPKA, FLORIDA.

MEMBERS PRESENT: James Greene, Linda Laurendeau, Jose Molina, John Sprinkle, and Butch Stanley

ABSENT: Patrice Phillips; Roger Simpson; Orange County Public Schools (Non-voting)

STAFF PRESENT: James Hitt, FRA-RA – Community Development Director, David Moon, AICP - Planning Manager, Richard Earp – City Engineer, Jacob Schumer – City Attorney, Bobby Howell - Senior Planner, Pamela Richmond – Senior Planner, Jean Sanchez – Planner II, Phil Martinez – Planner I, and Jeanne Green – Recording Secretary.

OTHERS PRESENT: There were approximately 60 attendees in the audience. (The sign-in sheets are made a part of the record.)

OPENING AND INVOCATION: Chairperson Greene called the meeting to order and asked for a moment of silent prayer. The Pledge of Allegiance followed.

APPROVAL OF MINUTES: Chairperson Greene asked if there were any corrections or additions to the regular meeting minutes of June 12, 2018, at 5:30 p.m.

Motion: **Jose Molina made a motion to approve the Planning Commission minutes from the regular meeting held on June 12, 2018, at 5:30 p.m. and seconded by Linda Laurendeau. Aye votes were cast by James Greene, Linda Laurendeau, Jose Molina, John Sprinkle, and Butch Stanley (5-0).**

QUASI-JUDICIAL – CHANGE OF ZONING/MASTER PLAN – LEGACY HILLS – Chairperson Greene stated this is a request to request to find the proposed rezoning consistent with the Comprehensive Plan and Land Development Code; recommend approval of the rezoning of the subject parcel from R-1A (Residential Single Family District) to PUD (Planned Unit Development); and recommend approval of the PUD Master Plan based on the PUD Recommendations, and the findings and facts presented in the staff report for the property owned by JEL Land Development LLC and located at 2400 Schopke Road.

Chairperson Greene asked if there were any affected parties in attendance that wished to speak. No one spoke.

Chairperson Greene asked if the Commission members had any ex parte communications to divulge regarding this item. No ex parte communications occurred.

Staff Presentation: Phil Martinez, Planner I, stated this is a request to find the proposed rezoning consistent with the Comprehensive Plan and Land Development Code; recommend approval of the rezoning of the subject parcel from R-1A (Residential Single Family District) to PUD (Planned Unit Development); and recommend approval of the PUD Master Plan based on the PUD Recommendations, and the findings and facts presented in the staff report for the property owned by JEL Land Development LLC. He stated the location listed in the staff report is incorrect and the actual location of the property is 2400 Schopke Road. The applicant is Appian Engineering, LLC, c/o Luke M. Classon, P.E. The land use is Low Density Residential and Mixed-Use; and the zoning is PUD (Planned Unit Development). The current use is vacant land and the proposed use is a 177 single-family home subdivision. The total tract size is 114.288 +/- acres with a developable area of 79.46 +/- acres.

On April 4, 2018 the City Council approved a PUD Master Plan/Preliminary Development Plan for the Lake Marshall subdivision, which details the development of 301 single family residential lots in two phases. The subject property is located south of Marshall Lake and west of SR 451. The surrounding

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properties consist primarily of single-family residential, and agricultural uses. The developer has submitted a Final Development Plan and Plat for phase 1 of the Lake Marshall subdivision, now named Lakeside.

The applicant is requesting approval of the Plat for Phase 1 of Lakeside. The Lakeside Phase 1 plat is for 177 single-family residential lots. All internal roadways are proposed as privately owned and maintained, and the subdivision will be gated. The plat for Phase 2 will be submitted in the future. Consistent with the approved PUD Master Plan/Preliminary Development Plan, lot widths of 60-feet and 75-feet are provided on the Phase 1 plat. A minimum living area of 1,700 square feet is provided for all units located within Phase 1.

The minimum setbacks applicable to this project are:

Setback	Min. Standard
Front	25'
Side	5'
Rear	20'
Corner	15'

Ingress/egress access points for the development will be via Johns Road. Adjacent to the west of the subject property is the Breckenridge subdivision. A gated access for emergency vehicles will be provided between the two subdivisions. This access point will only be for emergency vehicles. In response to the Breckenridge homeowners association, pedestrian access will not be permitted between the two subdivisions.

There are three (3) retention ponds designed to meet the City's Land Development Code requirements.

The recreation package will consist of a cabana with restrooms, a swimming pool, a playground, and a mixed-use active field at a minimum. In addition the developer is dedicating a tract in Phase 1 adjacent to Marshall Lake as a Community Lake Park that will have a community dock, and a 1.03 acre open space tract across the street from this park. In the Phase 2 area, two tracts will be dedicated as a park/open space area, and a 15.12 acre Conservation area will also be dedicated.

Consistent with the approved PUD Master Plan/Preliminary Development Plan, landscaping is provided at the subdivision entrance on Johns Road, and a 5-foot landscape buffer is provided along the rear of lots 1-24. An existing 50-foot landscape buffer occurs along the western and northern project line within the Breckenridge plat. This buffer is noted as a tract on the Breckenridge plat. The Lake Marshall development will not be visible from the homes within Breckenridge.

The following is a summary of the tree replacement program for this project:

Total inches on-site:	13,947
Total number of specimen trees:	100
Total inches removed:	12,776
Total inches retained:	361
Total inches replaced:	3,701
Total Inches (Post Development):	4,311

The developer has obtained a school concurrency mitigation agreement with Orange County Public Schools to address school impacts generated by this residential development. The schools zoned to receive students from this community are the following: Apopka Elementary School, Wolf Lake Middle School and Apopka High School.

The County was notified at the time of the subdivision plan and plat for this property through the DRC

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agenda distribution.

The Development Review Committee recommends approval of the Lakeside, Phase 1 Plat subject to the final review by the City surveyor and city engineer prior to recording the plat.

Staff recommended the Planning Commission recommend find the proposed rezoning consistent with the Comprehensive Plan and Land Development Code; recommend approval of the rezoning of the subject parcel from R-1A (Residential Single Family District) to PUD (Planned Unit Development); and recommend approval of the PUD Master Plan based on the PUD Recommendations; the Conditions of Approval; the findings and facts presented in the staff report; and subject to the Conditions of Approval and final review by the City surveyor and city engineer prior to recording the plat for the property owned by JEL Land Development LLC and located on the east side of Rogers Road, approximately one half mile north of the intersection of Rogers Road and Lester Road.

The role of the Planning Commission for this development application is to advise the City Council to approve or deny based on consistency with the Comprehensive Plan and Land Development Code.

This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

In response to questions by Mr. Sprinkle, Mr. Moon stated the applicant has the option of installing either a masonry wall or another decorative type of wall. Their use of composite walls meet the intent of the buffer wall requirements. None of the adjacent subdivisions have 60 foot wide lots as is being proposed for this project.

James Hitt, FRA-RA, Community Development Director, stated the Planned Unit Development allows for flexibility in the design requirements for issues such as walls and lot sizes. He stated that the City was in the process of re-writing the Land Development Code and a portion of the re-write will be to clarify the Planned Unit Development requirements. He added that the City Attorney will be reviewing the revised Land Development Code.

Petitioner Presentation: Thomas Sullivan, Gray Robinson, 301 East Pine Street, Suite 1400, Orlando, reviewed the proposed project. He stated the 60 foot wide lots will be on the interior of the subdivision with larger lots will be along the perimeter. By allowing the smaller lots they are able to provide more open space and larger minimum living areas.

In response to a question by Mr. Molina, Mr. Sullivan stated they did not deviate from the code requirements for emergency access.

Mr. Moon added that the two-car garages will be setback leaving enough space in the driveway for two more vehicles.

Mr. Sullivan said the Final Development Plan for the project will be presented to the Planning Commission.

Chairperson Greene opened the meeting for public hearing.

In response to questions by Mike Simpson, 1600 Schopke Road, Mr. Hitt stated this is a single family home subdivision.

In response to a question by Chairperson Greene, Mr. Sullivan stated that regardless of the lot size, the minimum living area will be 1,700 sq. ft.

Mr. Moon stated that the R-1AA zoning minimum living area is 1,600 sq. ft.

In response to a question by Mr. Simpson, Mr. Sullivan stated that they do not have an end builder yet; but imagines the homes will be a mix of one- and two-story homes.

In response to questions by John Harris, 2306 Mountain Apply Way, Apopka, Mr. Hitt stated this was a 48 lot single family homes subdivision. Smaller lots, 60 feet wide, would be located on the interior of the project, and larger lots will be on the perimeter of the subdivision. The minimum living area is proposed to be 1,700 sq. ft.

In response to a question by Kate Rodriguez, 2369 Ellen Lane, Apopka, Mr. Moon stated that the east side will have a brick masonry wall.

With no one else wishing to speak, Chairperson Greene closed the public hearing.

Motion: John Sprinkle made a motion to request to find the proposed rezoning consistent with the Comprehensive Plan and Land Development Code; recommend approval of the rezoning of the subject parcel from R-1A (Residential Single Family District) to PUD (Planned Unit Development); and recommend approval of the PUD Master Plan based on the PUD Recommendations, and the findings and facts presented in the staff report for the property owned by JEL Land Development LLC and located on the east side of Rogers Road, approximately one half mile north of the intersection of Rogers Road and Lester Road. Motion seconded by Linda Laurendeau. Aye votes were cast by Aye votes were cast by James Greene, Linda Laurendeau, Jose Molina, John Sprinkle, and Butch Stanley (5-0). (Vote taken by poll.)

QUASI-JUDICIAL – SPECIAL EXCEPTION – RENEWAL CHURCH - Chairperson Greene stated this is a request to approve a Special Exception to allow a place of worship within the AG-E (Agriculture Estates) zoning category, subject to the special exception conditions of use and the findings in the staff report, for the property owned by Donald J. Sabiston and located at 2335 Appy Lane.

Chairperson Greene asked if there were any affected parties in attendance that wished to speak. No one spoke.

Chairperson Greene asked if the Commission members had any ex parte communications to divulge regarding this item. No ex parte communications occurred.

Staff Presentation: Mr. Martinez stated this is a request to approve a Special Exception to allow a place of worship within the AG-E (Agriculture Estates) zoning category, subject to the special exception conditions of use and the findings in the staff report, for the property owned by Donald J. Sabiston and located at 2335 Appy Lane. The land use is Residential Very Low Suburban and the zoning is Agriculture-Estates (AG-E). The existing use is a mobile home and wood shed; and the proposed use is a church. The tract size is 4.96 +/- acres.

Within the AG-E (Agriculture Estates) zoning category, a place of worship is a use that requires an approved Special Exception. The proposed place of worship is intended to be constructed in two phases. Phase 1 calls for a 10,400 sq. ft. building, with a 248 seating capacity, and 12 employees. Phase 2 results in a total building square footage of 15,500 sq. ft., a total seating capacity of 475, and a total of 25 employees. The Parking Area is planned to be constructed, in its entirety, during the construction of Phase 1.

The property is presently assigned a Future Land Use Designation of “Residential Very Low Suburban”. Institutional Uses, of five acres or less, are allowed as a Special Exception in the Comprehensive Plan, per Policy 3.1.C.

A. Relationship to Adjacent Properties: Zoning and existing land use assigned to adjacent and nearby properties appears in the attached exhibits. The character of the area surrounding the subject property is described as follows:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Residential Very Low Suburban	PUD	Woodlands/HOA Tract

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East (City)	Residential Very Low Suburban	PUD	Vacant Lands & 1 Single Family Home
South (City)	Residential Very Low Suburban & Institutional/Public Use	PO/I	Northwest Recreation Fields
West (City)	Residential Very Low Suburban	AG-E	Single Family Houses

- B. **Special Exception Distance Separation Standard.** “All special exception uses shall be located a minimum of 1,000 feet from any other existing like use in non-residential districts, and 1,500 feet in residential districts.” (Article II, Section 2.00.00, 5. Special Exceptions. B1). The proposed place of worship is more than 1,500 feet from any other place of worship.
- C. **Special Exception Development Standards.** Article II of the Land Development Code establishes development standards specific to special exceptions. These standards are intended to reduce any impacts from the proposed special exception use on adjacent properties. After review of the Development Plan for the Special Exception, staff finds that the applicant has met the intent of the regulations stated in Article II, Section 2.02.01 General, (5), Special Exceptions.

The parking requirement for this use is one space for each 3 fixed seats provided for patron use, plus 1 space per employee. With 167 parking spaces depicted on the development plan, the applicant meets the requirement for off-street parking.

Fifteen (15) foot wide buffer yards have been provided on the western and eastern boundary lines, with a 6 feet tall masonry wall in the buffer yards. The west and east adjacent lands are currently used, or zoned for, residential development. While a buffer yard and wall were not provided on the northern boundary, the proposed conditions of this development, as well as the existing conditions of the north-adjacent parcel, counter the need for a buffer yard and wall. The northern area of the subject property is planned to have a conservation area with a depth longer than 50 feet. The north-adjacent parcel is a heavily wooded HOA tract belonging to the Orchid Estates Subdivision.

A lighting plan, landscape plan, sign plan, and architectural elevations will be provided during the Site Plan Approval Process (i.e. Preliminary Development Plan and/or Final Development Plan).

- D. **Special Exception Conditions of Use.**
1. Day Cares or Schools functioning as a primary use (Monday through Friday) will require an amendment to the Special Exception.
 2. This Special Exception authorization expires if (a) the applicant fails to obtain a certificate of occupancy or a business tax receipt within five years from the date of the Special Exception approval; and (b) the Special Exception Use has vacated the parcel for more than 180 consecutive days.

The Development Review Committee recommends approval for a Special Exception to allow a place of worship within the AG-E zoning district subject to the special exception conditions within the Staff Report.

Staff recommended the Planning Commission approve a Special Exception to allow a place of worship, subject to the Special Exception Conditions of Use, within the AG-E (Agriculture Estates) zoning category for the property owned by Donald J. Sabiston and located at 2335 Appy Lane.

Pursuant to the City of Apopka Code of Ordinances, Part III, Land Development, Article XI, Section 11.05.D.1 the Planning Commission has the authority to take final action on a special exception

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application. Therefore, the Planning Commission may approve, deny or approve with conditions this application. An applicant may appeal the Planning Commission action to the City Council.

This item is considered Quasi-Judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

The petitioner did not have a presentation.

Chairperson Greene opened the meeting for public hearing.

Ruth Myers, 2487 Appy Lane, Apopka, questioned the notification process and requested that, since the lots are larger in the Appy Lane area, staff notify all property owners on Appy Lane regarding the project rather than just the property owners within 300 feet.

Mr. Moon stated that notification requirements include the applicant sending certified mail notifications to property owners within 300 feet of a proposed project; the property being posted; and advertising in the Apopka Chief. He said all of those requirements were met for this project. He added that the Preliminary Development Plan and the Final Development Plan will be brought before the City Council and Planning Commission during the site plan process.

Ms. Myers requested that the Planning Commission postpone making a decision on the Special Exception until the property owners on Appy Lane are notified and voiced her concerns regarding traffic and noise impacts to the surrounding neighborhood.

In response to a question by Mr. Sprinkle, Mr. Moon stated the church would be required to install a 6 foot brick or masonry wall.

In response to questions by Ms. Laurendeau, Mr. Moon stated that noise violations would be handled through Code Enforcement. There could also be a requirement for additional wall and landscape buffering. He added that if the church decided to have a full time daycare they would be required to amend the Special Exception.

With no one else wishing to speak, Chairperson Greene closed the public hearing.

Motion: Linda Laurendeau made a motion to approve a Special Exception to allow a place of worship within the AG-E (Agriculture Estates) zoning category, subject to the special exception conditions of use and the findings in the staff report, for the property owned by Donald J. Sabiston and located at 2335 Appy Lane. Motion seconded by John Sprinkle. Aye votes were cast by James Greene, Linda Laurendeau, Jose Molina, John Sprinkle, and Butch Stanley (5-0). (Vote taken by poll.)

QUASI-JUDICIAL – PRELIMINARY DEVELOPMENT PLAN – BRIDLEWOOD SUBDIVISION - Chairperson Greene stated this is a request to find the Bridlewood Subdivision Preliminary Development Plan consistent with the Comprehensive Plan and Land Development Code; and recommend approval of the Bridlewood Subdivision Preliminary Development Plan subject to the Conditions of Approval, findings of the staff report, and findings of the buffer/wall variance approved on June 12, 2018, for the property owned by Laura K. Murphy and located at 359 West Lester Road.

Chairperson Greene asked if there were any affected parties in attendance that wished to speak. No one spoke.

Chairperson Greene asked if the Commission members had any ex parte communications to divulge regarding this item. No ex parte communications occurred.

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Staff Presentation: Jean Sanchez, Planner II, stated this is a request to find the Bridlewood Subdivision Preliminary Development Plan consistent with the Comprehensive Plan and Land Development Code; and recommend approval of the Bridlewood Subdivision Preliminary Development Plan subject to the Conditions of Approval, findings of the staff report, and findings of the buffer/wall variance approved on June 12, 2018, for the property owned by Laura K. Murphy and located at 359 West Lester Road. The applicant is Appian Engineering, c/o Luke Classon, P.E. The land use is Residential Low Suburban and the zoning is R-1 (Single Family Residential). The existing use is the Errol Equestrian Center and the proposed use is a 52 Single Family Residence subdivision. The minimum lot width is 75 feet and the minimum lot size is 8,000 sq. ft. The proposed density is 2.6 du/ac (Max. 3.5 du/ac). The tract size is 19.94 +/- acres.

The Bridlewood Subdivision – Preliminary Development Plan proposes the development of 52 single family residential lots. The minimum typical lot width is 75 feet with a minimum lot size of 8,000 square feet. The required minimum living area for the subdivision is 1,500 square feet as set forth in Chapter 2 of the Land Development Code for single-family lots located within the R-1 zoning. The minimum setbacks applicable to this project are:

Setback	Min. Standard
Front*	25'
Side	10'
Rear	20'
Corner	25'

*Front-entry garage must be setback 30 feet.

Ingress/egress access points for the development will be via full access onto Lester Road. A future connection occurs through a stub-out street at the northwest corner of the project.

A transportation impact analysis (TIA) was conducted for this project to assess its impacts on the surrounding roadway segments and intersections within a one-mile radius of the project per the City's adopted TIA methodology. Included in the analysis were segments of CR 435, Welch Road, Lester Road, Ponkan Road, and Vick Road. Intersections analyzed were Lester Road and Rock Springs Road, Lester Road and Vick Road, and Lester Road and the project entrance. Right and left turn lane warrant studies at the site entrance were also conducted.

The project will generate 576 daily trips and 58 P.M. Peak Hour trips. The addition of these project trips to the study roadways will not cause the Level of Service (LOS) to fall below the City's adopted level of service (LOS). The current intersection analyses with existing traffic volumes indicate that the addition of Bridlewood project trips will not cause the intersection of Lester Road and Rock Springs Road or the site entrance to be over capacity. However, the intersection of Lester Road and Vick Road has experienced some delay issues during the P.M. Peak Hour. These issues are currently being monitored and improvements may be required at a later date, but not directly the responsibility of this project. This project will not adversely impact the current operation of the intersection.

The stormwater management system includes an on-site retention area and located on the north portion of the project site. The stormwater pond design meets the City's Land Development Code requirements.

The applicant is providing 0.47 acre/approximately 20,473 square feet of recreation space that includes a playground.

A 10-foot wide landscaped buffer easement including a pineapple guava, an evergreen hedge and 6-foot tall brick, masonry, concrete or precast wall are provided along Lester Road. A 6-foot tall composite fence within a 5-foot wide landscaped buffer are proposed on the western, northern and

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eastern perimeters of the site. Additional oak trees will be provided along the eastern boundary as additional screening for the existing Avian Reconditioning Center, and as part of the approved proposal for screening/wall variance, VAR18-03 Laura Murphy, public hearing.

At the Planning Commission meeting on June 12, 2018, a variance, VAR18-03 Laura Murphy, was approved for the subject property allowing a 6-foot tall composite fence within a 5-foot wide bufferyard in lieu of required 6-foot tall brick, stone, or decorative block wall on the western, northern and eastern perimeters.

A school concurrency mitigation agreement has been executed and a copy of the letter from Orange County Public Schools (OCPS) has been supplied to Staff.

The County was notified at the time of the plat for this property through the DRC agenda distribution.

The Development Review Committee recommends approval of the Bridlewood Subdivision – Preliminary Development Plan, subject to the findings of this staff report.

Staff recommended the Planning Commission find the Bridlewood Subdivision consistent with the Comprehensive Plan and the Land Development Code; and recommend approval of the Preliminary Development Plan subject to the findings of the staff report and the public hearing findings for VAR18-03 Laura Murphy.

The role of the Planning Commission for this development application is to advise the City Council to approve or deny based on consistency with the Comprehensive Plan and Land Development Code.

This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Petitioner: Luke Classon, Appian Engineering, LLC, 2221 Lee Road, Suite 17, Winter Park, stated he represented the owner, supported the staff report, and was available to answer any questions.

Chairperson Greene opened the meeting for public hearing. With no one wishing to speak, Chairperson Greene closed the public hearing.

Motion: Jose Molina made a motion to find the Bridlewood Subdivision Preliminary Development Plan consistent with the Comprehensive Plan and Land Development Code; and recommend approval of the Bridlewood Subdivision Preliminary Development Plan subject to the Conditions of Approval, findings of the staff report, and findings of the buffer/wall variance approved on June 12, 2018, for the property owned by Laura K. Murphy and located at 359 West Lester Road. Motion seconded by Linda Laurendeau. Aye votes were cast by James Greene, Linda Laurendeau, Jose Molina, John Sprinkle, and Butch Stanley (5-0). (Vote taken by poll.)

QUASI-JUDICIAL – FINAL DEVELOPMENT PLAN – DOLLAR GENERAL - Chairperson Greene stated this is a request to find the Dollar General Final Development Plan consistent with the Comprehensive Plan and Land Development Code; and recommend approval of the Dollar General Final Development Plan subject to the Conditions of Approval and the findings of the staff report for the property owned by Lloyd Lee; Mobley Mattie Life Estate; and Nathan Jerome Shaw, Sr. and located at 51 & 57 East Michael Gladden Boulevard and West 9th Street.

Chairperson Greene asked if there were any affected parties in attendance that wished to speak. No one spoke.

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Chairperson Greene asked if the Commission members had any ex parte communications to divulge regarding this item. No ex parte communications occurred.

Staff Presentation: Ms. Sanchez stated this is a request to find the Dollar General Final Development Plan consistent with the Comprehensive Plan and Land Development Code; and recommend approval of the Dollar General Final Development Plan subject to the Conditions of Approval and the findings of the staff report for the property owned by Lloyd Lee; Mobley Mattie Life Estate; and Nathan Jerome Shaw, Sr. and located at 51 & 57 East Michael Gladden Boulevard and West 9th Street. The engineering firms are Z Development Services, LLC, c/o Bob Ziegenfuss, P.E. and Hanlex Group, LLC, c/o Jeremy Anderson, P.E. The land use is Commercial and the zoning is C-1 (Retail Commercial). The existing use is vacant and the proposed use is a general business establishment. The proposed building size is 7,600 square feet with a Floor Area Ratio (FAR) of 0.179 (0.25 Maximum). The tract size is 0.97 +/- acres.

This is a request to approve the Dollar General Store Final Development Plan that includes a building size of 7,600 square feet and height of 21 feet. A preliminary development plan is not required for development proposing less than 10,000 sq. ft. of building floor area.

Per Land Development Code parking requirements, a total of 25 parking spaces will be provided, two of which are reserved as a handicapped parking spaces.

Access to the site is via two full access points on Park Avenue and Michael Gladden Boulevard. The main entrance is on Michael Gladden Boulevard.

A. Road Jurisdiction.

1. Park Avenue – Orange County. Any new access driveway to Park Avenue requires authorization from Orange County government.
2. Michael Gladden Boulevard. --- City of Apopka.

B. Traffic Study Findings. A Traffic Impact Analysis (TIA) was submitted for this project that assessed its impacts on the transportation facilities adjacent to the site. The project is anticipated to generate 34 PM Peak Hour net new trips. The roadway segments of Park Avenue from US 441 to Michael Gladden Boulevard and Michael Gladden Boulevard from Bradshaw Road to Park Avenue were analyzed for both existing and projected conditions. The roadway segment analysis demonstrates sufficient capacity exists on both roadways to accommodate the addition of trips generated by this project.

The intersection of Park Avenue and Michael Gladden Boulevard was analyzed for existing and future conditions for the PM Peak Hour. Under existing conditions, the eastbound left turn movement from Michael Gladden Boulevard to Park Avenue is experiencing significant delays. The westbound, northbound and southbound movements are operating at an acceptable level of service. For the future conditions analysis which includes existing, committed and project traffic, the eastbound left turn movement delay is slightly increased. This increase is primarily due to overall background traffic growth in and around the area. The westbound, northbound and southbound movements continue to operate at acceptable levels of service.

C. Road/Intersection Improvements. None proposed or warranted, unless Orange County finds a need for road or intersection improvement as part of its review of the right of way permit on to Park Avenue.

The height of the proposed building is 21 feet, well below the maximum allowable height of 35'. Staff has found the proposed building elevations meet the intent of the City's Development Design Standards\Guidelines.

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The stormwater management system includes an on-site retention area, on the western portion of the project site. The stormwater pond design meets the City's Land Development Code requirements.

Prior to issuance of a building permit, the property owner shall consolidate the three parcels comprising the final development plan into a single parcel.

As part of the development plan approval, bald cypress, sweet gum trees, and viburnum hedges line the buffer wall placed within the 10-foot wide landscape buffer at western perimeter of the project site, adjacent to the retention pond. The 10-foot wide landscape buffers on the southern and eastern boundaries, abutting Michael Gladden Boulevard and Park Avenue, consist of live oaks, sweet gum, yaupon holly and southern magnolias.

Arbor Assessment

Total inches on-site:	396
Total inches removed	396
Total inches retained:	0
Total inches added:	97
Total inches post development:	97

The Development Review Committee recommends approval of the Dollar General Final Development Plan, subject to the findings of this staff report.

Staff recommended the Planning Commission find the Dollar General Final Development Plan consistent with the Land Development Code and Comprehensive Plan, and recommend approval of Final Development Plan, subject to the findings of this staff report.

The role of the Planning Commission for this development application is to advise the City Council to approve or deny based on consistency with the Comprehensive Plan and Land Development Code.

This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Petitioner: Jeremy Anderson, Hanlex Development, 1000 Colour Place, Apopka, reviewed the project, access to and from the location, and the architectural features of the building.

In response to a question by Ms. Laurendeau, Mohammed Abdallah, P.E./PTOE, Traffic & Mobility Consultants LLC, 3101 Maguire Boulevard, Suite 265, Orlando, stated that a traffic study was completed and traffic impacts to the Park Avenue and Michael Gladden Boulevard intersection is negligible.

In response to a question by Mr. Sprinkle, Ms. Sanchez stated that the Public Services Department, as a participant on the Development Review Committee (DRC) reviews dumpster enclosures to ensure compatibility with the building design.

Chairperson Greene opened the meeting for public hearing. With no one wishing to speak, Chairperson Greene closed the public hearing.

Motion: Linda Laurendeau made a motion to find the Dollar General Final Development Plan consistent with the Comprehensive Plan and Land Development Code; and recommend approval of the Dollar General Final Development Plan subject to the Conditions of Approval and the findings of the staff report for the property owned by Lloyd Lee; Mobley Mattie Life Estate; and Nathan Jerome Shaw, Sr. and located at 51 & 57 East Michael Gladden Boulevard and West 9th Street. Motion seconded by Jose Molina. Aye votes were cast by James Greene, Linda

Laurendeau, Jose Molina, John Sprinkle, and Butch Stanley (5-0). (Vote taken by poll.)

QUASI-JUDICIAL – MASTER/PRELIMINARY DEVELOPMENT PLAN – GREYSTONE SKILL NURSING FACILITY - Chairperson Greene stated this is a request to find the Greystone Master Preliminary Development Plan/Preliminary Site Plan and Subdivision Plan consistent with the Land Development Code and Comprehensive Plan; recommend approval of the Greystone Master Preliminary Development Plan/Preliminary Site Plan and Subdivision Plan subject to the findings of this staff report and City Council approval of the termination of the Amended and Restated Developer's Agreement for Emerson Park, dated March 1, 2006; for the property owned by Residences at Emerson Park, LLC and located at 1601 Alston Bay Boulevard.

Chairperson Greene asked if there were any affected parties in attendance that wished to speak. No one spoke.

Chairperson Greene asked if the Commission members had any ex parte communications to divulge regarding this item.

Butch Stanley stated that he would abstain from voting on this item as he is a member of the Emerson Park Homeowners' Association.

No other ex parte communications occurred.

Staff Presentation: Bobby Howell, AICP, Senior Planner stated this is a request to find the Greystone Master Preliminary Development Plan/Preliminary Site Plan and Subdivision Plan consistent with the Land Development Code and Comprehensive Plan; recommend approval of the Greystone Master Preliminary Development Plan/Preliminary Site Plan and Subdivision Plan subject to the findings of this staff report and City Council approval of the termination of the Amended and Restated Developer's Agreement for Emerson Park, dated March 1, 2006; for the property owned by Residences at Emerson Park, LLC and located at 1601 Alston Bay Boulevard. The applicant/engineer is Donald W. McIntosh Associates, Inc., c/o Michael Farrell, P.E. The land use is Commercial and the zoning is Mixed-EC. The existing use is vacant land and the proposed use is a Skilled Nursing Facility. The proposed building side is 108,567 sq. ft. The total tract size is 24.08 +/- acres. The Greystone development area is 9.77 +/- acres leaving an area of 14.31 +/- acres for future development.

The subject property is approximately 24.08 acres in size and is zoned Mixed EC, and is located at the northeast corner of the intersection of Ocoee-Apopka Road and Alston Bay Boulevard, specifically at 1601 Alston Bay Boulevard. The property is located within the Emerson Park subdivision, on Tract "G" as noted on the plat thereof. The property is subject to a Development Agreement that was approved in 2006, which requires the property to be developed as a Town Center. The applicant has filed a termination of this Development Agreement, which will be required to be approved by the City Council. The Master Preliminary Development Plan/Preliminary Site Plan and Subdivision Plan details a two lot commercial subdivision consisting of one 9.77 acre parcel with a 108,567 square foot Skilled Nursing Facility and a 14.23 acre vacant parcel that will be reserved for uses that are permitted in the Mixed EC zoning district.

A total of 218 parking spaces will be provided on site for the skilled nursing facility. Two parking spaces are reserved for emergency vehicles. Ten spaces are handicapped parking spaces. Additional parking spaces are available along Alston Bay Blvd.

Access to the site is provided via two full access points located on Alston Bay Boulevard.

A transportation impact analysis (TIA) was conducted for this project to assess its impacts on the surrounding roadway segments and intersections within a one-mile radius of the project per the City's

MINUTES OF THE PLANNING COMMISSION REGULAR MEETING HELD ON JUNE 26, 2018, AT 5:30 P.M.

adopted TIA methodology. Included in the analysis were segments of Ocoee-Apopka Road, Harmon Road, Keene Road, Marden Road, and Alston Bay Boulevard. Intersections analyzed were Ocoee-Apopka Road and Keene Road, Alston Bay Boulevard, and Harmon Road; Marden Road and Morga Drive/Hilltop Reserve Lane; and the two site entrances on Alston Bay Boulevard. Right and left turn lane warrant studies at the site entrance were also conducted.

The project will generate 1,060 daily trips and 123 P.M. Peak Hour trips. The addition of these project trips to the study roadways will not cause the Level of Service (LOS) to fall below the City's adopted LOS. The roadway segment of Ocoee-Apopka Road between SR 429 and Keene Road is currently over capacity and will continue to have deficient capacity until Orange County widens it to four lanes. The current intersection analyses with existing traffic volumes indicate that the addition of the Greystone Skilled Nursing Facility project trips will not cause the study intersections or the site entrances to be over capacity. However, the intersection of Ocoee-Apopka Road and Keene Road has delay issues during the P.M. Peak Hour. This project will not adversely impact the current operation of the intersection but the intersection will continue to experience delays for the minor street (Keene Road) movements until the planned signal is installed. Ocoee-Apopka Road is under the jurisdiction of Orange County, and any improvements to this road are controlled by Orange County.

The architectural elevations provided for the Skilled Nursing Facility propose a one story building with architectural design elements including decorative cupolas, painted stucco, stone veneer, vinyl impact windows, and decorative painted stucco trim forming a watermark around the perimeter of the building. The building exhibits high quality architectural elements that are required in the Development Design Guidelines.

Stormwater run-off and drainage will be conveyed to the existing master stormwater system for the Emerson Park subdivision. This stormwater system was sized for development of Tract G, and was permitted by St. John's River Water Management District (SJRWMD) permit #4-095-101Q65.

The applicant has provided a detailed landscape and irrigation plan that complies with the requirements of the City's Land Development Code. The planting materials and irrigation system design are consistent with the water-efficient, Florida-friendly landscape standards set forth in Ordinance No. 2069. Landscaping including Live Oaks, Red Maple, Southern Magnolia, Dahoon Holly, Crepe Myrtle, Zoysia and Bahia sod are provided on site.

There is one pine on the site that is 9-inches D.B.H. The landscape plan proposes replacing this tree with three, three-inch D.B.H trees. The site currently has Agricultural Property Tax Credit status as young pine trees are planted in rows throughout the site. Planted pines are not subject to the City's arbor ordinance when planted for agriculture\silviculture purposes.

The Development and Zoning Conditions of Approval are that the zoning classification of the following described property be designated as Mixed-EC, as defined in the Land Development Code, and with the following provisions: (1) Development of the property is subject to the requirements of the Land Development Code, Mixed-EC zoning district; and (2) City Council approval of the termination of the Amended and Restated Developer's Agreement for Emerson Park, dated March 1, 2006.

The Development Review Committee recommends approval of the Greystone Master Preliminary Development Plan/Preliminary Site Plan and Subdivision Plan, subject to the findings of this staff report.

Staff's recommendation to the Planning Commission is to find the Greystone Master Preliminary Development Plan/Preliminary Site Plan and Subdivision Plan consistent with the Land Development Code and Comprehensive Plan, and recommend approval of the Greystone Master Preliminary Development Plan/Preliminary Site Plan and Subdivision Plan, subject to the findings of this staff

MINUTES OF THE PLANNING COMMISSION REGULAR MEETING HELD ON JUNE 26, 2018, AT 5:30 P.M.

report and City Council approval of the termination of the Amended and Restated Developer's Agreement for Emerson Park, dated March 1, 2006.

The role of the Planning Commission for this development application is to advise the City Council to approve or deny based on consistency with the Comprehensive Plan and Land Development Code.

This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Petitioner: Michael Farrell, P.E., Donald W. McIntosh Associates, Inc., 2200 Park Avenue North, Winter Park, stated he represented the owner and was available to answer any questions.

In response to questions by Mr. Sprinkle, Mr. Farrell stated that the facility would be for remedial care and rehabilitation center. He said the vinyl impact windows were a Building Code requirement.

Chairperson Greene opened the meeting for public hearing. With no one wishing to speak, Chairperson Greene closed the public hearing.

Motion: **Jose Molina made a motion to find the Greystone Skilled Nursing Facility Master/Preliminary Development Plan consistent with the Comprehensive Plan and Land Development Code; and recommend approval of the Greystone Skilled Nursing Facility Master/Preliminary Development Plan subject to the Conditions of Approval and findings of the staff report for the property owned by Residences at Emerson Park, LLC and located at 1601 Alston Bay Boulevard. Motion seconded by John Sprinkle. Aye votes were cast by James Greene, Linda Laurendeau, Jose Molina, John Sprinkle, and Butch Stanley (5-0). (Vote taken by poll.)**

QUASI-JUDICIAL – FINAL DEVELOPMENT PLAN – LAKE GEM COMMERCE PARK, LOT 10 - Chairperson Greene stated this is a request to find the Lake Gem Commerce Park, Lot 10, Final Development Plan consistent with the Comprehensive Plan and Land Development Code; and recommend approval of the Lake Gem Commerce Park, Lot 10, Final Development Plan subject to the Conditions of Approval and findings of the staff report for the property owned by Property Industrial Enterprises, LLC and located at 511 & 611 Marshall Lake Road.

Chairperson Greene asked if there were any affected parties in attendance that wished to speak. No one spoke.

Chairperson Greene asked if the Commission members had any ex parte communications to divulge regarding this item. No ex parte communications occurred.

Staff Presentation: Ms. Sanchez stated this is a request to find the Lake Gem Commerce Park, Lot 10, Final Development Plan consistent with the Comprehensive Plan and Land Development Code; and recommend approval of the Lake Gem Commerce Park, Lot 10, Final Development Plan subject to the Conditions of Approval and findings of the staff report for the property owned by Property Industrial Enterprises, LLC and located at 511 & 611 Marshall Lake Road. The engineer is Ken Ehlers, P.E. The land use is Industrial and the zoning is Planned Unit Development (PUD/I-1). The existing use is vacant land and the proposed use is an industrial lot (Lot 10) within the 12-Lot Commerce Park. The proposed building size is 7,489 sq. ft. and the proposed Floor Area Ratio (FAR) is 0.22 (Max. 0.60 FAR). The tract size for Lot 10 is 0.76 +/- acres or 33,196 sq. ft.

The Lake Gem Commerce Park Lot 10 Final Development Plan is a site plan proposing a 7,489 sq. ft., one-story building. Located within the PUD/I-1 zoning district, Lot 10 contains 33,196 square feet. Lake Gem Commerce complies with the development standards for I-1 zoning district but allowed for a building height of up to 50 feet.

The minimum setbacks applicable to this project are:

Setback	Min. Standard
Front*	25'
Side	10'
Rear	10'*
Corner	25'

*30 feet setback from residential uses or zoning districts.

Ingress/egress access points for the development will be via the spine road, Gem Commerce Court with full access onto Marshall Lake Road. Twenty parking spaces, including one ADA-compliant parking space, are provided as required by Code.

A transportation impact analysis (TIA) was conducted for the Lake Gem Industrial Park to assess the impacts of the total project on the surrounding roadway segments and intersections within a one-mile radius of the project per the City's adopted TIA methodology. Marshall Lake Building Lot 10 is one of 12 lots located in the 90,000 square foot Lake Gem Industrial Park project, representing about 8% of the total project. Included in the analysis were segments of Bradshaw Road, Marshall Lake Road, and W 1st Street. The intersection of Bradshaw Road and Lake Marshall Road along with the site entrance were also analyzed.

The Lake Gem Industrial Park project will generate 627 daily trips and 87 P.M. Peak Hour trips. Marshall Lake Building Lot 10 will generate 52 daily trips and 7 P.M. Peak Hour Trips. The addition of the project trips for the entire Lake Gem Industrial Park to the study roadways will not cause the Level of Service (LOS) to fall below the City's adopted LOS. The intersection of Bradshaw Road and Marshall Lake Road and the site entrance will operate at acceptable Levels of Service with the addition of project generated traffic.

The stormwater management system includes an on-site retention area on the western portion of the Lake Gem Commerce Park. The stormwater pond design has been previously reviewed under the Lake Gem Commerce Park and meets the City's Land Development Code requirements.

A 25-foot wide landscaped buffer is provided along Gem Commerce Court. A Crepe Myrtle is provided for each parking landscape island, which is approximately 10-feet in width and matches the length of the adjacent parking spaces.

The County was notified at the time of the subdivision plan and plat for this property through the DRC agenda distribution.

The Development Review Committee recommends approval of the Marshall Lake Building Lot 10 Final Development Plan subject to the findings of this staff report.

Staff recommended the Planning Commission find the Lake Gem Commerce Park Lot 10 Final Development Plan/Site Plan consistent with the Comprehensive Plan and Land Development Code; and recommend approval of the Lake Gem Commerce Park Lot 10 Final Development/Site Plan, subject to the findings of this staff report, owned by Property Industrial Enterprises, LLC c/o Michael R. Cooper and located at 511 and 611 Marshall Lake Road.

The role of the Planning Commission for this development application is to advise the City Council to approve, deny, or approve with conditions based on consistency with the Comprehensive Plan and Land Development Code.

MINUTES OF THE PLANNING COMMISSION REGULAR MEETING HELD ON JUNE 26, 2018, AT 5:30 P.M.

This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Petitioner Presentation: None provided.

In response to a question by Mr. Sprinkle, Ms. Sanchez stated that each lot will come in with its own site plan.

Chairperson Greene opened the meeting for public hearing. With no one wishing to speak, Chairperson Greene closed the public hearing.

Motion: **Jose Molina made a motion to find the Lake Gem Commerce Park, Lot 10, Final Development Plan consistent with the Comprehensive Plan and Land Development Code; and recommend approval of the Lake Gem Commerce Park, Lot 10, Final Development Plan subject to the Conditions of Approval and findings of the staff report for the property owned by Property Industrial Enterprises, LLC and located at 511 & 611 Marshall Lake Road. Motion seconded by Linda Laurendeau. Aye votes were cast by James Greene, Linda Laurendeau, Jose Molina, John Sprinkle, and Butch Stanley (5-0). (Vote taken by poll.)**

QUASI-JUDICIAL – PLAT – LAKESIDE, PHASE 1 - Chairperson Greene stated this is a request to find the Lakeside, Phase 1 Subdivision Plat consistent with the Comprehensive Plan and Land Development Code; and recommend approval of the Lakeside, Phase 1, Plat subject to the Conditions of Approval, and findings of the staff report for the property owned by Avatar Properties, Inc. and James D. & Deborah Lyda, and located south of Marshall Lake and west of SR 451.

Chairperson Greene asked if there were any affected parties in attendance that wished to speak. No one spoke.

Chairperson Greene asked if the Commission members had any ex parte communications to divulge regarding this item. No ex parte communications occurred.

Staff Presentation: Mr. Moon stated this is a request to find the Lakeside, Phase 1 Subdivision Plat consistent with the Comprehensive Plan and Land Development Code; and recommend approval of the Lakeside, Phase 1, Plat subject to the Conditions of Approval, and findings of the staff report for the property owned by Avatar Properties, Inc. and James D. & Deborah Lyda, and located south of Marshall Lake and west of SR 451. The applicant is Appian Engineering, LLC. c/o Luke M. Classon, P.E. The land use is Low Density Residential, Mixed-Use and the zoning is PUD. The existing use is vacant land and the proposed use is a 177 single-family home subdivision. The total tract size is 114.288 +/- acres and the developable area is 79.46 +/- acres.

On April 4, 2018 the City Council approved a PUD Master Plan/Preliminary Development Plan for the Lake Marshall subdivision, which details the development of 301 single family residential lots in two phases. The subject property is located south of Marshall Lake and west of SR 451. The surrounding properties consist primarily of single-family residential, and agricultural uses. The developer has submitted a Final Development Plan and Plat for phase 1 of the Lake Marshall subdivision, now named Lakeside.

The applicant is requesting approval of the Plat for Phase 1 of Lakeside. The Lakeside Phase 1 plat is for 177 single-family residential lots. All internal roadways are proposed as privately owned and maintained, and the subdivision will be gated. The plat for Phase 2 will be submitted in the future. Consistent with the approved PUD Master Plan/Preliminary Development Plan, lot widths of 60-feet and 75-feet are provided on the Phase 1 plat. A minimum living area of 1,800 square feet is provided for all units located within Phase 1.

MINUTES OF THE PLANNING COMMISSION REGULAR MEETING HELD ON JUNE 26, 2018, AT 5:30 P.M.

The minimum setbacks applicable to this project are:

Setback	Min. Standard
Front	25'
Side	5'
Rear	20'
Corner	15'

Ingress/egress access points for the development will be via Johns Road. Adjacent to the west of the subject property is the Breckenridge subdivision. A gated access for emergency vehicles will be provided between the two subdivisions. This access point will only be for emergency vehicles. In response to the Breckenridge homeowners association, pedestrian access will not be permitted between the two subdivisions.

There are three (3) retention ponds designed to meet the City's Land Development Code requirements.

The recreation package will consist of a cabana with restrooms, a swimming pool, a playground, and a mixed-use active field at a minimum. In addition the developer is dedicating a tract in Phase 1 adjacent to Marshall Lake as a Community Lake Park that will have a community dock, and a 1.03 acre open space tract across the street from this park. In the Phase 2 area, two tracts will be dedicated as a park/open space area, and a 15.12 acre Conservation area will also be dedicated.

Consistent with the approved PUD Master Plan/Preliminary Development Plan, landscaping is provided at the subdivision entrance on Johns Road, and a 5-foot landscape buffer is provided along the rear of lots 1-24. An existing 50-foot landscape buffer occurs along the western and northern project line within the Breckenridge plat. This buffer is noted as a tract on the Breckenridge plat. The Lake Marshall development will not be visible from the homes within Breckenridge.

The following is a summary of the tree replacement program for this project:

Total inches on-site:	13,947
Total number of specimen trees:	100
Total inches removed:	12,776
Total inches retained:	361
Total inches replaced:	3,701
Total Inches (Post Development):	4,311

The developer has obtained a school concurrency mitigation agreement with Orange County Public Schools to address school impacts generated by this residential development. The schools zoned to receive students from this community are the following: Apopka Elementary School, Wolf Lake Middle School and Apopka High School.

The County was notified at the time of the subdivision plan and plat for this property through the DRC agenda distribution.

The Development Review Committee recommends approval of the Lakeside, Phase 1 Plat subject to the final review by the City surveyor and city engineer prior to recording the plat.

Staff recommended the Planning Commission find the Lakeside, Phase 1 Plat consistent with the Comprehensive Plan and Land Development Code; recommend approval of the Lakeside, Phase 1 Plat, subject to the Conditions of Approval and final review by the City surveyor and city engineer prior to recording the plat.

MINUTES OF THE PLANNING COMMISSION REGULAR MEETING HELD ON JUNE 26, 2018, AT 5:30 P.M.

The role of the Planning Commission for this development application is to advise the City Council to approve or deny based on consistency with the Comprehensive Plan and Land Development Code.

This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Petitioner: Luke Classon, Appian Engineering, LLC, 2221 Lee Road, Suite 17, Winter Park, stated he represented the owner, supported the staff report, and was available to answer any questions.

Chairperson Greene opened the meeting for public hearing. With no one wishing to speak, Chairperson Greene closed the public hearing.

Motion: Linda Laurendeau made a motion to find the Lakeside, Phase 1 Subdivision Plat consistent with the Comprehensive Plan and Land Development Code; and recommend approval of the Lakeside, Phase 1, Plat subject to the Conditions of Approval, and findings of the staff report for the property owned by Avatar Properties, Inc. and James D. & Deborah Lyda, and located south of Marshall Lake and west of SR 451. Motion seconded by Butch Stanley. Aye votes were cast by James Greene, Linda Laurendeau, Jose Molina, John Sprinkle, and Butch Stanley (5-0). (Vote taken by poll.)

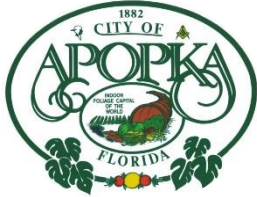
OLD BUSINESS: None.

NEW BUSINESS: None

ADJOURNMENT: The meeting was adjourned at 6:45 p.m.

James Greene, Chairperson

James K. Hitt, FRA-RA
Community Development Director



CITY OF APOPKA PLANNING COMMISSION

PUBLIC HEARING
 SITE PLAN
 SPECIAL REPORTS
 OTHER:

MEETING OF: July 10, 2018
FROM: Community Development
EXHIBITS: Zoning Report
Vicinity Map
Adjacent Zoning Map
Aerial Map
Site Plan
Ordinance No. 2345

SUBJECT: ORDINANCE NO. 2668 – AMENDMENT TO THE PLANNED UNIT DEVELOPMENT FOR 3800 W. ORANGE BLOSSOM TRAIL

REQUEST: AMENDMENT TO ORDINANCE 2345, WHICH AMENDS THE PLANNED UNIT DEVELOPMENT (PUD) FOR 3800 W. ORANGE BLOSSOM TRAIL

SUMMARY:

OWNER: Orange Blossom Apopka RV Resort Inc.
APPLICANT: Robert Vesely
LOCATION: 3800 W. Orange Blossom Trail
PARCEL ID #: 36-20-27-0000-00-020
EXISTING USE: RV Resort Park (Caravan Park)
LAND USE: Mixed Use
ZONING: Planned Unit Development
PROPOSED DEVELOPMENT: Maintain existing RV Resort Park, with 81 approved lots, and add 11 lots.
TOTAL ACRES: 10.2 +/-

DISTRIBUTION

Mayor Nelson
Commissioners
City Administrator
Community Development Director

Finance Director
HR Director
IT Director
Police Chief

Public Services Director
Recreation Director
City Clerk
Fire Chief

RELATIONSHIP TO ADJACENT PROPERTIES:

Direction	Future Land Use	Zoning	Present Use
North (County)	Rural	P-D	Woodlands
East (City)	Industrial	ZIP	Warehouse (BWI Company)
South (City)	Agriculture; Mixed Use	AG, ZIP, I-1	Greenhouse; Outdoor Storage; Single Family Homes
West (City)	Industrial	I-1	Greenhouse

ADDITIONAL COMMENTS: The subject property is located at 3800 West Orange Blossom Trail. Annexed on January 16, 2008, via Ordinance number 2006, the site comprised of a RV Resort Park. On January 15, 2014, the subject area was assigned PUD zoning, via Ordinance number 2345.

Ordinance No. 2345 permits 81 campground sites for recreation vehicles, campers, or manufactured homes for commercial temporary lodging and associated accessory uses or structures. Any additional campground sites must be approved by City Council. The applicant proposes 11 additional sites along the southern boundary line. Parallel to the southern boundary line is a solid, opaque fence and Fudge Road. The predominant uses south of Fudge Road are mostly agriculture and industrial oriented. Due to the surrounding uses, Planning staff does not object to 11 additional campground sites along the southern border. If the PUD amendment is approved, a maximum of 92 campground sites will be allowed.

A maximum number of campground sites was established within Ordinance No. 2345 to manage the intensity of the use of the property for public health, safety and welfare reasons. At the time of the original PUD zoning application, the campground owner proposed 81 campground sites. At this time the owner desires to expand the campground to accommodate 11 additional campground sites. The Development Review Committee did not identify any concerns regarding public health, safety, or welfare, or with compatibility with adjacent land uses.

Comprehensive Plan Compliance: The proposed amendment to Ordinance 2345 is consistent with the City’s Mixed Use Future Land Use category. Development plans shall not exceed the intensity allowed under the adopted Mixed Use Future Land Use designation.

Land Use Compatibility: The Property is located on a major arterial road (West Orange Blossom Trail).The proposed amendment to Ordinance 2345 will not create any land use or traffic compatibility issues with adjacent uses. Development of the site must occur consistent with standards set forth in the Land Development Code and Development Design Guidelines unless otherwise approved within the PUD master plan.

PROPOSED PUD RECOMMENDATIONS: The only revisions PUD Ordinance 2345 is the maximum number of campground sites.

Proposed Amendment to Ord. No. 2345:

Section I: The maximum number of campsites is proposed to be increased from 81 to 92 campsites. The following amendment (strike-through/underscore) is proposed to Ord. No. 2345:

A. The uses permitted within the PUD district are:

- A maximum of ~~81~~ 92 campground sites for recreation vehicles, campers, or manufactured homes for commercial temporary lodging and associated accessory uses or structures. Any additional campground sites must be approved by the City Council.

PLANNING COMMISSION – JULY 10, 2018
ORANGE BLOSSOM TRAIL APOPKA KOA CAMPGROUND PUD AMENDMENT
PAGE 3

- One permanent single family residential structure or manufacture home for the campground operator.
- Outdoor storage of recreation vehicles or campers, boats, and boat trailers, and outdoor recreational motor craft. Outdoor storage of automobiles, commercial trucks and trailers, and other large vehicles is not allowed.
- Any use or activity allowed within the C-1 commercial zoning category. Development standards and setbacks shall comply with those established for the C-1 zoning category unless otherwise approved by the City Council within the Master Plan.

PUBLIC HEARING SCHEDULE:

Planning Commission – July 10, 2018, 5:30 p.m.

City Council – July 18, 2018, 7:00 p.m. – First Reading

City Council – August 1, 2018, 1:30 p.m. – Second Reading

DULY ADVERTISED:

June 22, 2018 – Public Notice; Letter, Poster

RECOMMENDATION ACTION:

The **Development Review Committee (DRC)** recommends approval of the amendment to Ordinance 2345, for the property owned by Orange Blossom Apopka RV Resort Inc., located at 3800 West Orange Blossom Trail, subject to PUD Recommendations and the information and findings in the staff report.

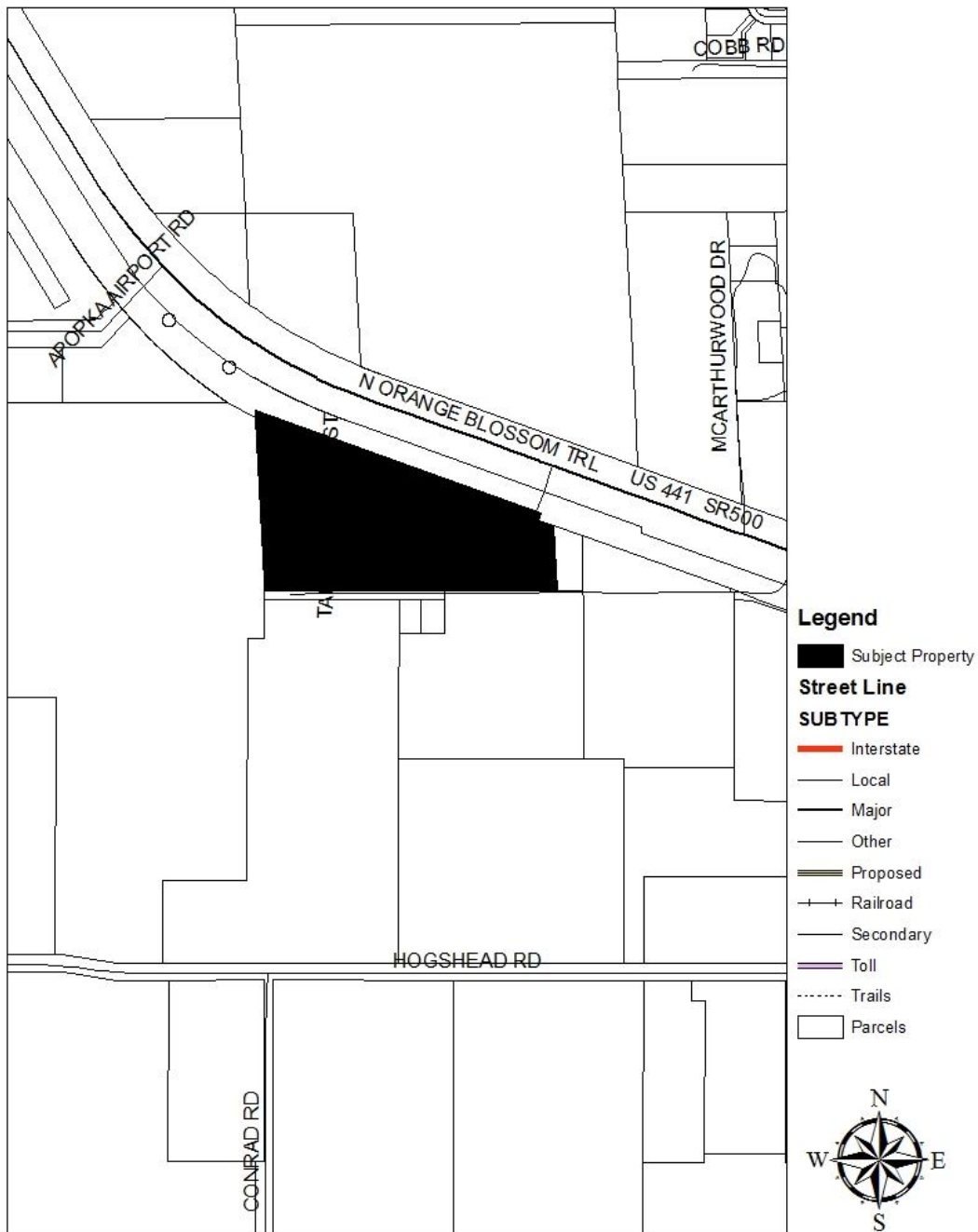
Recommended Motion: Find the proposed PUD amendment consistent with the Comprehensive Plan and Land Development Code, and recommend to approve an amendment to Ordinance 2345, to allow a maximum of 92 campground sites at the Orange Blossom Apopka RV Resort.

Planning Commission Role: Advisory to City Council. Planning Commission can recommend to approve, deny or to approve with conditions.

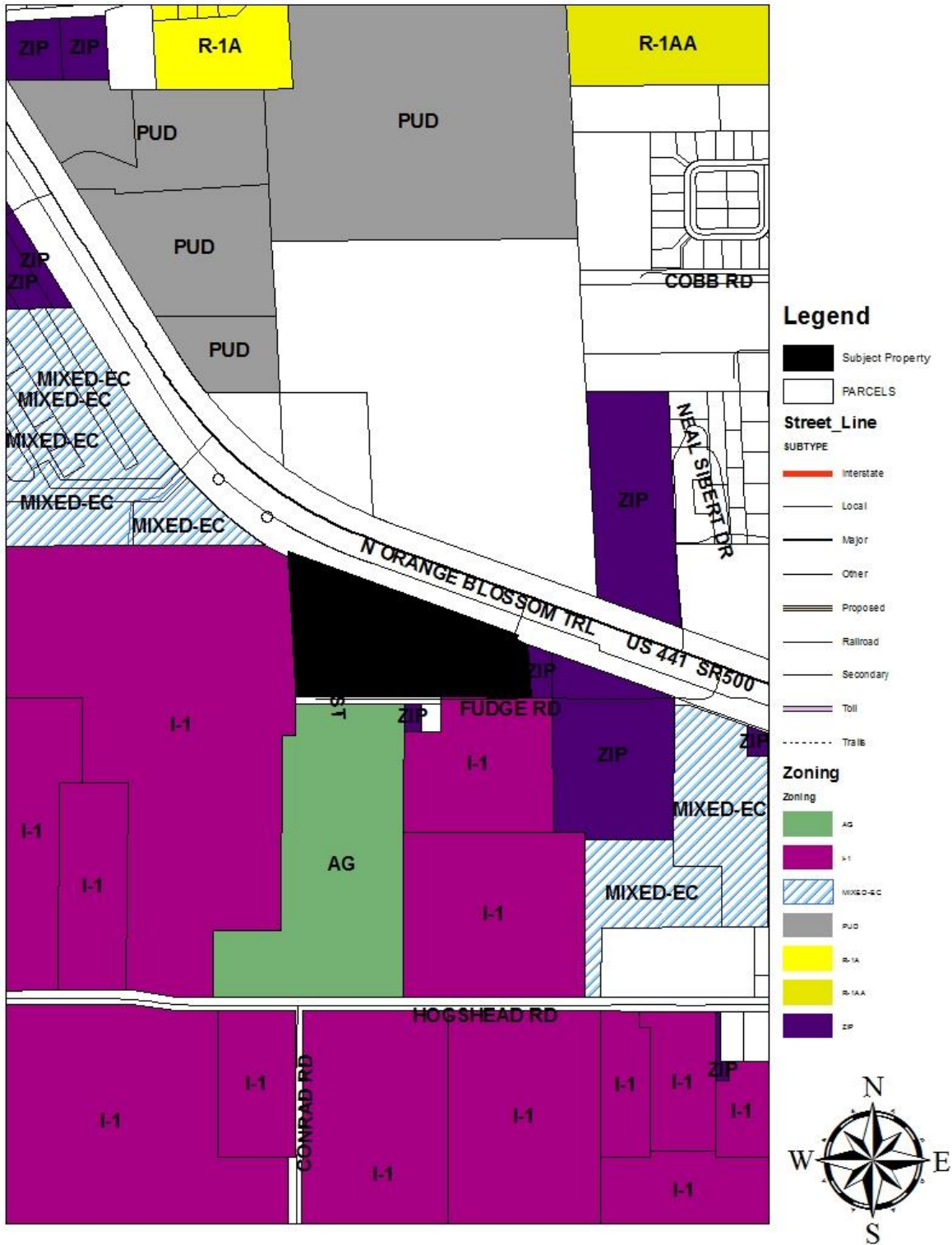
Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Application: PUD Master Plan Amendment
Applicant: Robert Vesely
Owner: Orange Blossom Apopka RV Resort Inc.
Parcel ID Nos.: 36-20-27-0000-00-020
Total Acres: 10.2 +/-

VICINITY MAP



ADJACENT ZONING MAP



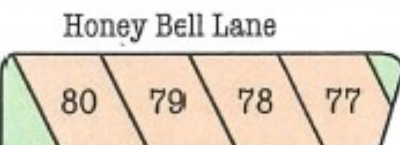
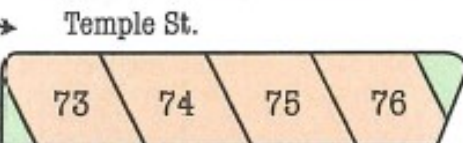
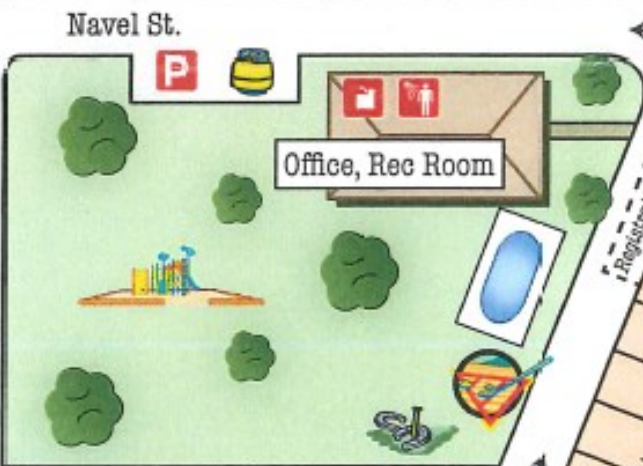
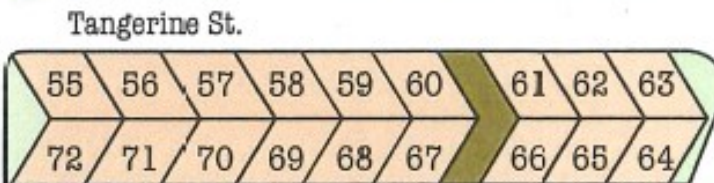
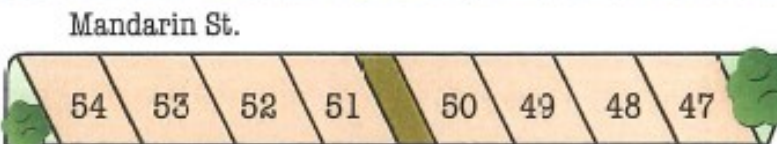
AERIAL MAP



STORAGE

Tent Area

- 1 X
- 2 X
- 3 X
- 4 X
- 5 X
- 6 X
- 7 X
- 8 X
- 9 X
- 10 X
- 11 X



Orange Circle



ORDINANCE NO. 2345

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, CHANGING THE ZONING FROM "COUNTY" A-1 TO "CITY" PLANNED UNIT DEVELOPMENT (PUD - CAMPGROUND/COMMERCIAL) FOR CERTAIN REAL PROPERTY GENERALLY LOCATED SOUTH OF WEST ORANGE BLOSSOM TRAIL, NORTH OF FUDGE ROAD, COMPRISING 10.2 ACRES, MORE OR LESS AND OWNED BY ORANGE BLOSSOM APOPKA RV RESORT, INC., C/O ROBERT VESELY; PROVIDING FOR DIRECTIONS TO THE COMMUNITY DEVELOPMENT DIRECTOR, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

WHEREAS, to manage the growth, the City of Apopka, Florida, finds it in the best interest of the public health, safety and welfare of its citizens to establish zoning classifications within the City; and

WHEREAS, the City of Apopka has requested a change in zoning on said property as identified in Section I of this ordinance; and

WHEREAS, the proposed Planned Unit Development (PUD - Campground/Commercial) zoning has been found to be consistent with the City of Apopka Comprehensive Plan, and the City of Apopka Land Development Code.

NOW THEREFORE, BE IT ORDAINED, by the City Council of the City of Apopka, Florida, as follows:

Section I. That the zoning classification of the following described property be designated as Planned Unit Development (PUD), as defined in the Apopka Land Development Code, and with the following Master Plan provisions subject to the following zoning provisions:

- A. The uses permitted within the PUD district shall be:
 - 1. A maximum of eighty-one (81) campground sites for recreational vehicles, campers, or manufactured homes for commercial temporary lodging and associated accessory uses or structures. Any additional campground sites must be approved by City Council.
 - 2. One permanent single family residential structure or manufacture home for the campground operator.
 - 3. Outdoor storage of recreation vehicles or campers, boats and boat trailers, and outdoor recreational motor craft. Outdoor storage of automobiles, commercial trucks and trailers, and other large vehicles is not allowed.
 - 4. Any use or activity allowed within the C-1 commercial zoning category. Development standards and setbacks shall comply with those established for the C-1 zoning category unless otherwise approved by the City Council within the Master Site Plan.
- B. Master Plan requirements, as enumerated in Section 2.02.18 K. of the Apopka Land Development Code, not addressed herein are hereby deferred until the submittal and review of the Preliminary or Final Development Plan or Redevelopment Plan submitted in association with the PUD district.
- C. Unless otherwise approved by City Council through an alternative development guideline for the master site plan, the C-1 zoning standards shall apply to the development of the subject property.

- D. The campground must follow the Florida Fire Prevention Code regarding "open fires." All open fires on the campground property shall be contained in a metal type fire pit with a screen placed on the top. Any fire, regardless of type, shall not be placed under any type of canopy overhang. A barbeque grill shall not be placed closer than ten (10) feet from any mobile or fixed structure. Any deviation from these conditions addressing the location of open fires or grills must be approved by the Apopka Fire Chief on a case-by-case basis.

Section II. That the zoning classification of the following described property, being situated in the City of Apopka, Florida, is hereby Planned Unit Development (PUD - Campground/Commercial) as defined in the Apopka Land Development Code.

Legal Description:

The Southwest ¼ of the Southwest ¼ of Section 36, Township 20 South, Range 27 East, Orange County, Florida, lying South of the Railroad right-of-way LESS the following: Begin at the Southeast corner of the said Southwest ¼ of the Southwest 1/4, and run North 158.5 feet to the S.A.L. right-of-way, thence North 70°07' West 323.2 feet along the South line of said right-of-way of said Railroad, Thence South 268.5 feet to the South line of the Southwest ¼ of the Southwest ¼ of said section, Thence East along section line 304 feet to the Point of Beginning.

ALSO: The Southernmost 25 feet of Seaboard Coast Line Railroad Company's main track right-of-way, which right-of-way is 100 feet wide, i.e. 5.0 feet wide on each side of the centerline of Seaboard Coast Line Railroad Company's main track; said parcel of land beginning at the West line of Section 36 and Extending Eastwardly, 1,058 feet to a point located 1,600 feet West of Seaboard Coast Line Railroad Company's Mile post ST-798 as measured along said centerline; the East line of said strip of land Herein conveyed being parallel with said West line of Section 36, being shown on print of Seaboard Coast Line Railroad Company's Division Engineer's Drawing No. 3053-100, dated May 19, 1978, last Revised December 19, 1978.

Together with an access easement lying over, upon and through the following described parcel of land:

Commence at the Southeast corner of the Southwest 1/4 of the Southwest ¼ of Section 36, Township 20 South, Range 27 East, in Orange County, Florida, and run North 89°58'16" West along the South Line of the Southwest ¼, a distance of 304.00 feet; thence North 00°02'37" East, 230.47 feet to a point on the Southerly right-of-way line of the S.A.L. Railroad; thence South 70°00'41" East along said right-of-way 9,6.42 feet to the point of beginning of this easement description; from said point of beginning, continue South 70°00'41" East along said right-of-way, 70.20 feet; thence South 00°04'10" West, 36.71 feet; thence North 89°55'50" West, 66.00 feet; thence North 70°00'41" West, 96.40 feet; Thence North 00°02'37" East, 23.40 feet; thence South 70°00'41" East, 67.80 feet; thence North 81°41'30" East, 27.19 feet; thence North 00°04'10" East, 23.52 feet to the Point of Beginning.

Parcel ID No.: 36-20-27-0000-00-020

TOTAL ACREAGE: 10 +/- Acres

Section III. That the zoning classification is consistent with the Comprehensive Plan of the City of Apopka, Florida.

ORDINANCE NO. 2345

PAGE 3

Section IV. That the Community Development Director, or the Director's designee, is hereby authorized to amend, alter, and implement the official zoning maps of the City of Apopka, Florida, to include said designation.

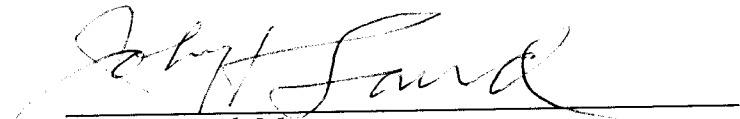
Section V. That if any section or portion of a section or subsection of this Ordinance proves to be invalid, unlawful, or unconstitutional, it shall not be held to invalidate or impair the validity, force or effect of any other section or portion of section or subsection or part of this ordinance.

Section VI. That all ordinances or parts of ordinances in conflict herewith are hereby repealed.

Section VII. That this Ordinance shall take effect upon the date of adoption.


READ FIRST TIME: December 18, 2013

READ SECOND TIME
AND ADOPTED: January 15, 2014




John H. Land, Mayor

ATTEST:



Janice G. Goebel, City Clerk

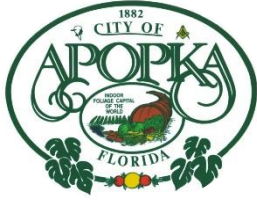
APPROVED AS TO FORM:



Frank Kruppenbacher, Esq., City Attorney

DULY ADVERTISED FOR TRANSMITTAL HEARING:

November 22, 2013
January 3, 2014



CITY OF APOPKA PLANNING COMMISSION

<input type="checkbox"/> PUBLIC HEARING	MEETING OF:	July 10, 2018
<input checked="" type="checkbox"/> SITE PLAN	FROM:	Community Development
<input type="checkbox"/> SPECIAL REPORTS	EXHIBITS:	Vicinity Map
<input checked="" type="checkbox"/> OTHER: Preliminary Development Plan		Aerial Map
		Preliminary Development Plan
		Building Elevations

SUBJECT: PRELIMINARY DEVELOPMENT PLAN – SITE PLAN AND SUBDIVISION PLAN – FAIRFIELD INN & SELF-STORAGE

REQUEST: RECOMMEND APPROVAL OF THE PRELIMINARY DEVELOPMENT PLAN FOR FAIRFIELD INN & SELF-STORAGE

SUMMARY:

OWNER: Farish Enterprises, LLC

ENGINEER: Interplan, LLC, c/o Stuart Anderson, P.E.,

LOCATION: 1616 East Semoran Boulevard

PARCEL ID #: 11-21-28-5600-03-000

FUTURE LAND USE: Commercial

ZONING: C-2 (General Commercial District)

EXISTING USE: Vacant

PROPOSED USES: Hotel, Self-Storage Facility and RV Parking

BUILDING SIZE: 112,320 square feet; 91 Rooms/51,588 SF - Hotel; 60,732 SF - Storage

BUILDING HEIGHT: 53 feet (Hotel) and 35 feet (Self-Storage)

FLOOR AREA RATIO: 0.2499 (0.25 Maximum allowed)

TRACT SIZE: 12.12 +/- Acres (527,937 square feet)

DISTRIBUTION

Mayor Nelson	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Commercial	C-2	Aldi’s and Race-Trac Convenience Store
East (City and County)	City Commercial; County Low Medium Density Residential	C-2 and R-2	Single Family Residences; Commercial Uses
South (City and County)	City Medium Density Residential; County Low Medium Density Residential	R-2	Single Family Residences
West (County)	County Commercial	C-2	Vacant

PROJECT SUMMARY: Farish Enterprises proposes to replat the McVilla Commerce Park Plat from three lots to four lots. Lot 3 of the McVilla Commerce Center Plat will be subdivided into Lots 3A and 3B. Lot 3B, is the proposed location of a hotel and a storage facility. Lot 3A will function as an outparcel and is situated to Semoran Blvd. A site plan for Lot 3B is included in this Preliminary Development Plan. At a future date, a site plan will be submitted for the vacant outparcel, Lot 3A. The site plans for the self-storage facility and the hotel are designed so that the parcel can be further subdivided into separate lots at some time in the future.

The site plan for Lot 3B includes the hotel and self-storage facility. A service driveway/road connects McVilla Avenue to the western end of Lot 3B and to an outparcel in Lot 3A. A multi-tenant monument sign will be placed in a sign easement at the northeast corner of Lot 3A, and dedicated to the Lot 3B owner.

At four stories, the hotel includes 91-lodging units and an outdoor pool. At three stories, the 60,732 square feet self-storage facility will include outdoor storage for recreational vehicles, trucks and other equipment. Located behind the Aldi Grocery Store and the RaceTrac on East Semoran Boulevard, the hotel and self-storage facility have a proposed connection to Semoran from the private driveway, McVilla Avenue.

BUILDING HEIGHT: Section 2.02.01(A) of the City’s Land Development Code, mandates a maximum building height of 35’ for all districts. On December 13, 2016, the Planning Commission approved a special exception to allow a maximum building height of fifty-five (55) feet for the hotel. The self-storage facility is in accordance with the previously mentioned building height rule of 35’. The hotel is proposed to have a height of 53 feet.

PARKING: The hotel site contains 106 parking spaces of which five are handicapped spaces. And the self-storage facility contains 67 parking spaces of which two are handicapped spaces. In total, the applicant proposes 69 more parking spaces than what is required by the Land Development Code. The applicant has not declared whether joint parking will be allowed between the hotel and self-storage sites, but that capability exists as Lot 3B will occur under one ownership.

ACCESS/TRANSPORTATION: Access to the site is via a single full access points on US 441/Semoran Boulevard at McVilla Avenue, a signalized intersection. McVilla Avenue dead ends into this project and provides access to US 441/Semoran Boulevard for Aldi on the west and RaceTrac on the right.

A. Road Jurisdiction.

1. US 441/Semoran Boulevard – State Road.

PLANNING COMMISSION – JULY 10, 2018
FAIRFIELD INN & SELF-STORAGE – PRELIMINARY DEVELOPMENT PLAN
PAGE 3

2. McVilla Avenue – Private.
 3. A cross-access easement provides connection between Lot 3A and the Aldi lot, connecting to Semoran Blvd.
- B. The project is anticipated to generate 71 PM Peak Hour trips. All project generated traffic is anticipated to exit the site to US 441/Semoran Boulevard, half heading east and half heading west. Sufficient capacity exists to accommodate the addition of trips generated by this project.
- C. Road/Intersection Improvements. No roadway or intersection improvements are required.

STORMWATER: Stormwater run-off and drainage will be accommodated by an on-site retention pond located on the south portion of the project site abutting residential uses/districts and surrounded by a 6-foot tall aluminum fence. The on-site stormwater management system is designed according to standards set forth in the Land Development Code.

BUFFER/TREE PROGRAM: The site plan shows that parking lots and buildings are proposed to be lined with predominantly Live Oaks and Slash Pines. Live oaks are shown, in addition to a 6-foot tall masonry, concrete or brick wall on the southern boundary and portion of the eastern boundary line abutting residential zoning districts. The planting materials are consistent with the standards set forth in Ordinance No. 2069.

SIGNAGE: Four hundred (400) square feet of area within the proposed outparcel on the northeastern portion that abuts Semoran Boulevard is designated as an area for multitenant monument signage. The Lot 3A outparcel will be created by plat at the time of Final Development Plan. Signage for this development will be permitted separately and must comply with Article VIII of the City's Land Development Code.

PUBLIC HEARING SCHEDULE:

July 10, 2018 - Planning Commission (5:30 pm)

July 18, 2018 - City Council (7:00 pm)

RECOMMENDATION ACTION:

The **Development Review Committee** recommends approval of the Fairfield Inn and Self-Storage Preliminary Development Plan, subject to the findings of this staff report.

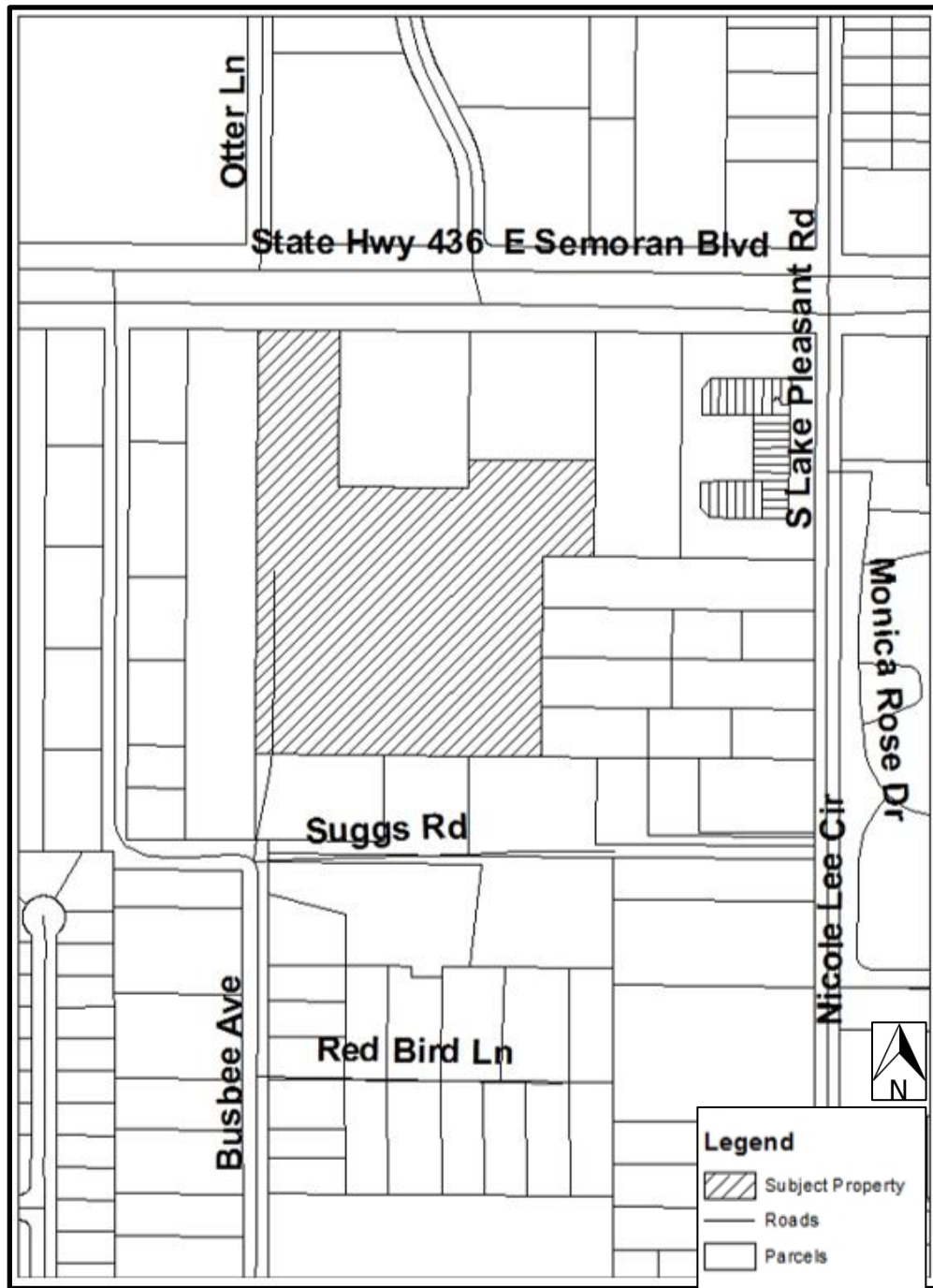
Recommended Motion: Find the Fairfield Inn and Self-Storage Preliminary Development Plan consistent with the Land Development Code and Comprehensive Plan, and recommend approval of Preliminary Development Plan Subdivision Plan and Site Plan, subject to the findings of this staff report.

Planning Commission Role: The role of the Planning Commission for this development application is to advise the City Council to approve or deny based on consistency with the Comprehensive Plan and Land Development Code.

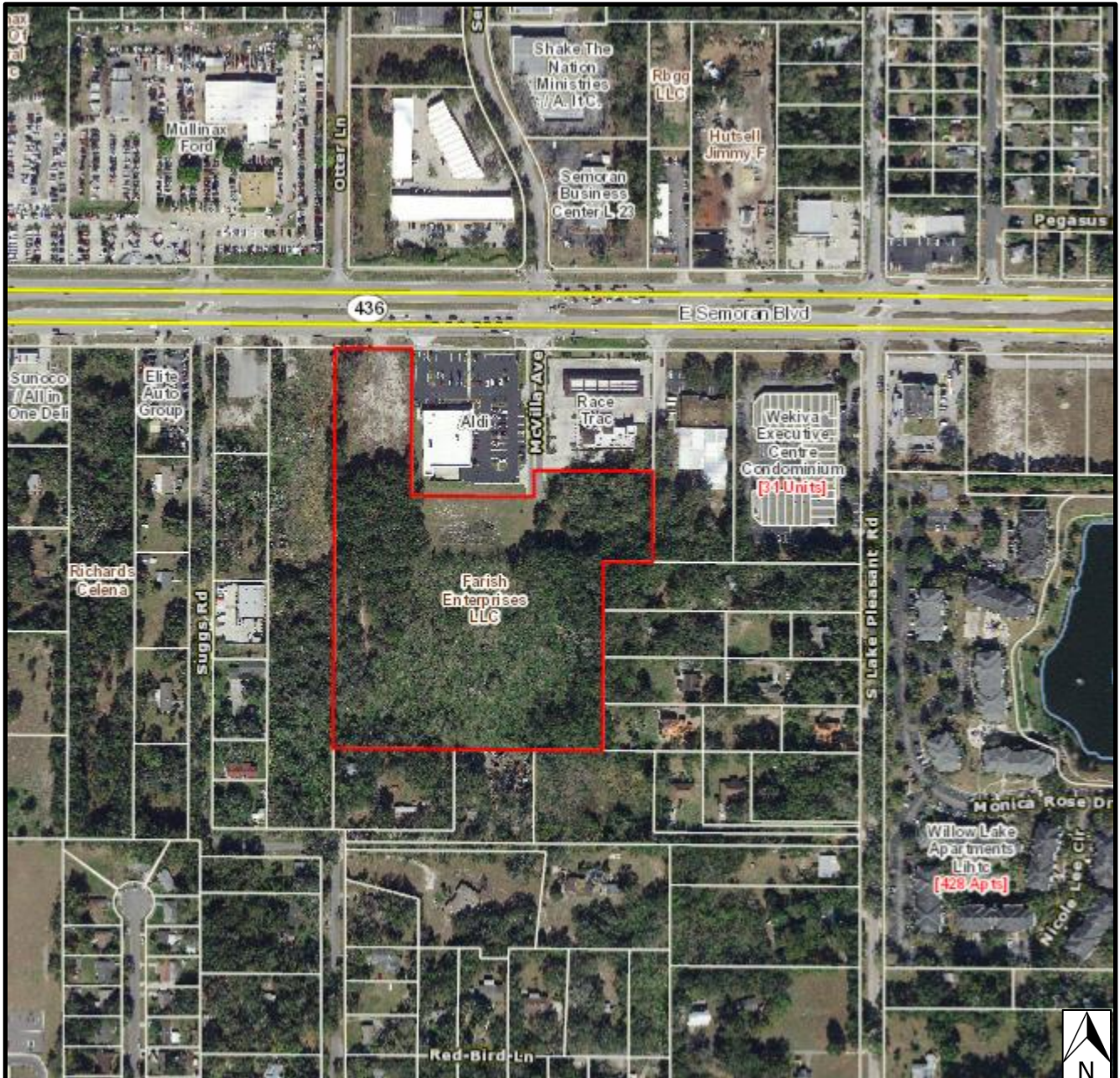
Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Project Name: Fairfield Inn & Self-Storage
Owner: Farish Enterprises, LLC
Engineer: Stuart Anderson, P.E., Interplan
Parcel I.D. No: 11-21-28-5600-03-000
Location: 1616 East Semoran Boulevard
Total Acres: 12.12 +/- Acres

VICINITY MAP



AERIAL MAP



SEAL:

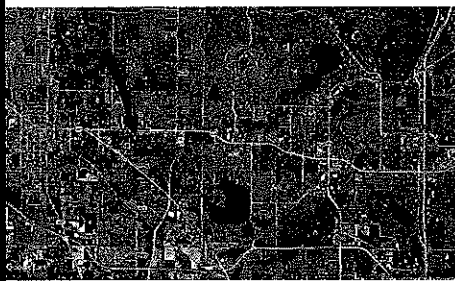
PRELIMINARY DEVELOPMENT PLAN / SITE AND SUBDIVISION PLAN

FOR

FAIRFIELD INN AND SELF STORAGE OF APOPKA

1616 E. SEMORAN BLVD.
APOPKA, FLORIDA

VICINITY MAP



LOCATION MAP



SITE DATA

DESCRIPTION	AREA	ACRES
OUTPARCEL AREA	78,163 SF	1.79 AC
PROJECT AREA	449,524 SF	10.32 AC
OVERALL SITE AREA	527,687 SF	12.11 AC
SITE AREA	449,524 SF	10.32 AC
PROPOSED SITE AREAS		
IMPERVIOUS (PAVEMENT/SIDEWALKS)	109,486 SF	2.45%
(BUILDING (HOTEL))	12,877 SF	3%
(BUILDING (STORAGE))	20,000 SF	4%
TOTAL IMPERVIOUS	142,363 SF	31%
OPEN SPACE (GREEN)	307,161 SF	69%
ZONING	COMMERCIAL (C-2)	

FLOOR AREA RATIO (FAR)
3 STORY SELF STORAGE + 4 STORY FAIRFIELD INN
(3 x 20,244) + (4 x 12,897)
= 50,732 + 51,588 = 102,320 S.F.
FLOOR AREA RATIO (FAR) = 112,320 / 449,524 = 0.2499 F.A.R.

BUILDING HEIGHT
SPEX16-03 FARISH ENTERPRISES AT McVILLA AVENUE - ALLOW A BUILDING HEIGHT OF 55 FEET

MAX. ALLOWED	PROPOSED
55 FT	53 FT (HOTEL) 35 FT (SELF STORAGE)

REQUIRE	PROVIDED	
FRONT (NORTH)	30 FT	190 FT
REAR (SOUTH)	30 FT	425 FT
SIDE (EAST)	18 FT	55 FT
SIDE (WEST)	18 FT	20 FT

REQUIRE	PROVIDED	
FRONT (NORTH)	5 FT	105 FT
REAR (SOUTH)	20 FT	354 FT
SIDE (EAST)	20 FT	37 FT
SIDE (WEST)	5 FT	20 FT

REQUIRE	PROVIDED
HOTEL: 1 SP/ROOM + 1 SP/2 EMPLOYEES	186 SPACES
+ 1SP/288 SF MEETING SPACE	
= 91 ROOMS + 20 EMPLOYEES + 980 SF MEETING SPACE	
SELF STORAGE: 1 SP/250 SF OFFICE	3 SPACES
800 +/- SF OFFICE	

REQUIRE	PROVIDED
REGULAR (HOTEL)	101
HANDICAP	5
TOTAL	106

REQUIRE	PROVIDED
REGULAR (STORAGE)	65
HANDICAP	2
TOTAL	67

PARCEL ID# : 11-21-20-5600-03-000
FUTURE LAND USE: COMMERCIAL
ADJACENT LAND USE: NORTH COMMERCIAL - SOUTH RESIDENTIAL
EAST COMMERCIAL & RESIDENTIAL - WEST COMMERCIAL
ADJACENT ZONING: NORTH: C2, SOUTH: R2
EAST: C2 & R2, WEST: C2
NUMBER OF EMPLOYEES: 30
PROPOSED NUMBER OF BEDS: 144 BEDS
WATER REQUEST: NO
VARIANCE REQUEST: NO

REVISION ISSUE LOG

REV #	ISSUE DATE	DESCRIPTION	AFFECTED SHEETS	REMARKS	BY
1	10-9-17	CITY COMMENTS	CS, C1, C3		CDB
2	1-12-18	CITY COMMENTS	C1		CDB
3	5-29-18	MARRIOTT COMMENTS	C2, C4.1		CDB
4	6-1-18	CITY COMMENTS	CS, C1, C3, C4.1		CDB
5	6-27-18	CITY COMMENTS	C1.1, C4.1		CDB

LEGAL DESCRIPTION

LOT 3, McVILLA COMMERCE PARK, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 76, PAGE 128 AND 128, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

OWNER & CONSULTANTS

OWNER
FARISH ENTERPRISES
1616 E. SEMORAN BLVD
APOPKA, FL 32839

MANAGER MEMBER:
AVIN GULAWALI
4688 S ORANGE BLOSSOM TRAIL
ORLANDO, FL 32839
PH: (321) 231-4588
RAVAN GULAWALI
4688 S ORANGE BLOSSOM TRAIL
ORLANDO, FL 32839

ARCHITECT
INTERPLAN, LLC
504 COURTLAND ST, SUITE 100
ORLANDO, FL 32804
CONTACT: GREG NEBLOCK
PH: (407) 645-5008

CIVIL ENGINEER
INTERPLAN, LLC
504 COURTLAND ST, SUITE 100
ORLANDO, FL 32804
CONTACT: CHRIS BLURTON
PH: (407) 645-5008

SHEET INDEX

SHT. NO.	DESCRIPTION
CS	COVER SHEET
CIVIL DRAWINGS	
C1	OVERALL SITE PLAN
C1.1	SITE DIMENSION PLAN
C2	SITE UTILITY PLAN
C3	GRADING & DRAINAGE PLAN
C4	DETAILS
C4.1	DETAILS
L1	OVERALL LANDSCAPE PLAN
L2	TREE MITIGATION PLAN
L3	TREE MITIGATION PLAN
L4	TREE MITIGATION PLAN
L5	TREE MITIGATION PLAN
L6	LANDSCAPE PLAN
L7	LANDSCAPE PLAN
L8	LANDSCAPE PLAN
L9	LANDSCAPE PLAN
L10	LANDSCAPE PLAN
L11	LANDSCAPE PLAN
L12	LANDSCAPE PLAN
A211	HOTEL ELEVATIONS
A212	HOTEL ELEVATIONS
A0.1	SELF STORAGE ELEVATIONS
-	SURVEY
-	PLAT (2 SHEETS)

4 6-1-18 CITY COMMENTS
1 10-9-17 CITY COMMENTS
NO DATE REMARKS

REVISIONS

FAIRFIELD INN / SELF STORAGE

1616 EAST SEMORAN BOULEVARD
APOPKA
FLORIDA

PROJECT NO: 2016-0341
DATE: 6-4-18

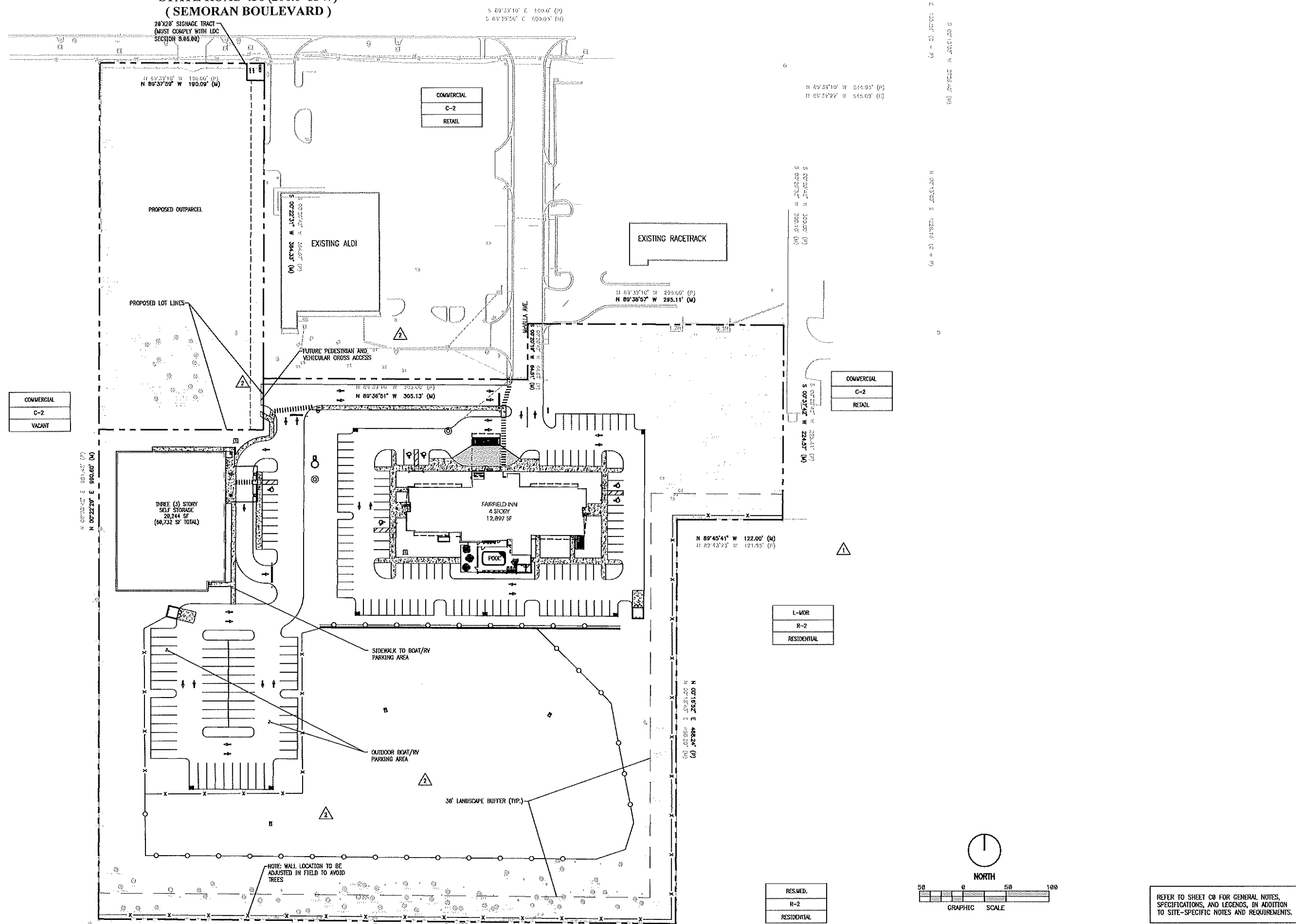
CS

COVER SHEET

SHEET 1 OF 25

CHECKED: CDB DRAWN: MRS

STATE ROAD 436 (200.0' R/W)
(SEMORAN BOULEVARD)



OVERALL SITE PLAN

INTERPLAN

ARCHITECTURE
ENGINEERING
INTERIOR DESIGN
PROJECT MANAGEMENT

AA 003420
CA 8660

604 COURTLAND STREET
SUITE 100
ORLANDO, FLORIDA 32804
PH 407.645.5008
FX 407.629.9124

SEAL:

STUART ANDERSON, P.E.
FL. REG. #68848

- 4 6-1-18 CITY COMMENTS
- 2 1-12-18 CITY COMMENTS
- 1 10-9-17 CITY COMMENTS

NO. DATE REMARKS

REVISIONS

FAIRFIELD INN /
SELF STORAGE

1616 EAST SEMORAN BOULEVARD
APOPKA
FLORIDA

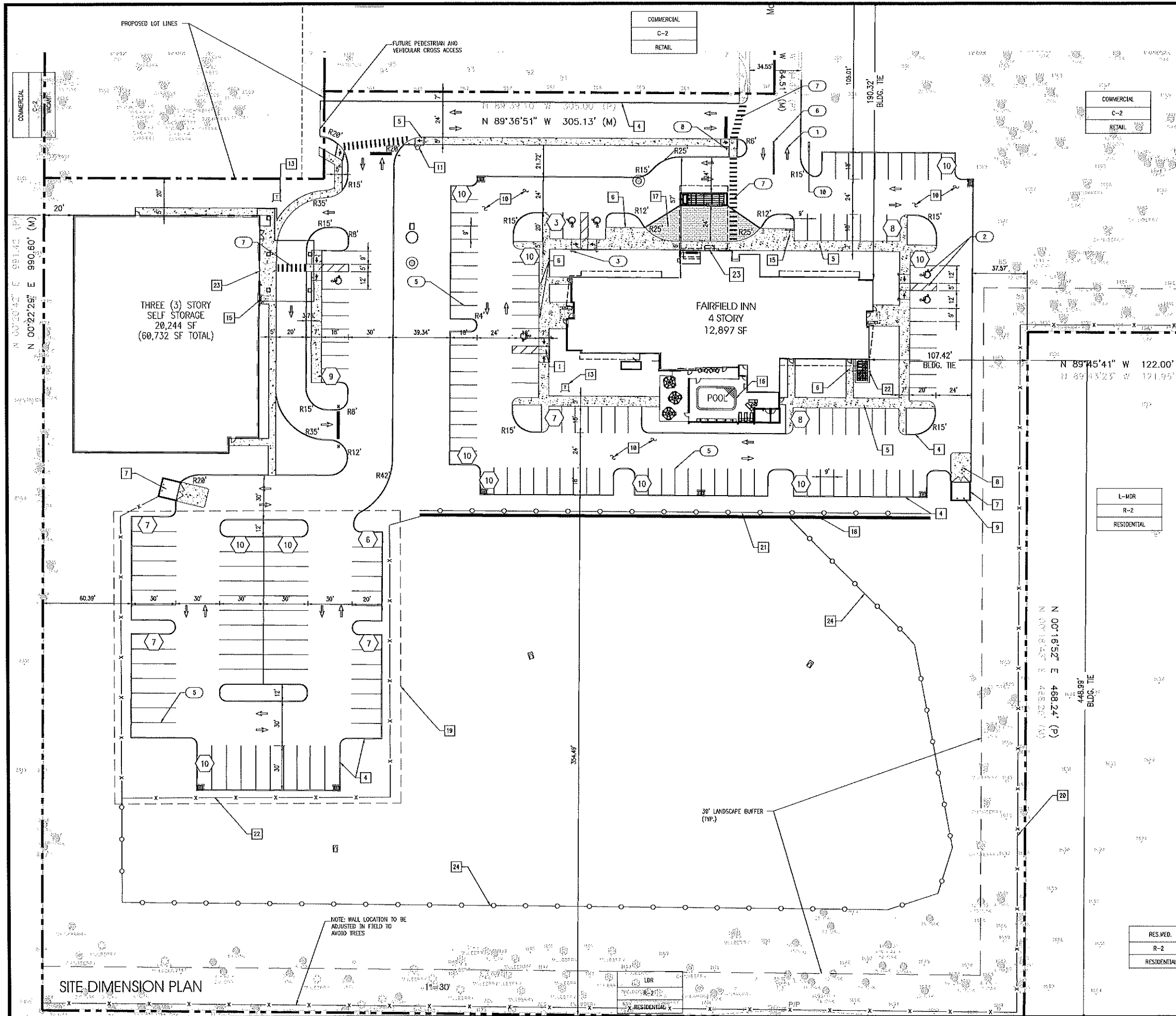
PROJECT NO: 2016.0341
DATE: 6-4-18

REFER TO SHEET C0 FOR GENERAL NOTES,
SPECIFICATIONS, AND LEGENDS, IN ADDITION
TO SITE-SPECIFIC NOTES AND REQUIREMENTS.

C1

OVERALL SITE DIMENSION
PLAN
SHEET 2 OF 25
CHECKED: CDB DRAWN: MRS

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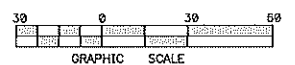


TRAFFIC CONTROL & SIGNAGE

- 1 DIRECTIONAL ARROW
- 2 HANDICAP PAVEMENT SYMBOLS
- 3 HANDICAP SIGN
- 4 24" WIDE WHITE STOP BAR (TYP.)
- 5 PAVEMENT STRIPING (4" WHITE) (TYP.)
- 6 DOUBLE YELLOW STRIPING
- 7 24" WIDE WHITE CROSSWALK STRIPING
- 8 30" STOP SIGN (R1-1)
- 9 MONUMENT SIGNAGE
- 10 HOTEL ENTRANCE SIGN

SITE NOTES

- 1 HANDICAP RAMP
- 2 SIDEWALK RAMP
- 3 WHEEL STOP
- 4 6" CURB
- 5 MONOLITHIC CURB AND SIDEWALK
- 6 CONCRETE SIDEWALK
- 7 DUMPSTER ENCLOSURE
- 8 CONCRETE APRON
- 9 BOLLARD
- 10 ASPHALT PAVEMENT
- 11 EXISTING OR PROPOSED FIRE HYDRANT
- 12 DRAINAGE STRUCTURES
- 13 TRANSFORMER PAD
- 14 LIGHT POLE
- 15 BIKE RACK
- 16 OUTDOOR POOL PATIO W/MASONRY WALL AND ALUMINUM FENCE ON TOP FOR SCREENING
- 17 STAMPED, COLORED CONCRETE PAVEMENT
- 18 RETAINING WALL (SEE GRADING PLAN)
- 19 BOAT/RV PARKING/STORAGE
- 20 6" MASONRY WALL
- 21 HANDRAIL
- 22 6" HIGH PVC FENCE
- 23 BUILDING ENTRANCE AT PORTE-COCHERE
- 24 5' ALUMINUM FENCE



RES. MED.
R-2
RESIDENTIAL

SITE DIMENSION PLAN

INTERPLAN
 ARCHITECTURE
 ENGINEERING
 INTERIOR DESIGN
 PROJECT MANAGEMENT
 AA 003420
 CA 8660
 604 COURTLAND STREET
 SUITE 100
 ORLANDO, FLORIDA 32804
 PH 407.645.5008
 FX 407.629.9124

SEAL:
 STUART ANDERSON, P.E.
 FL. REG. #68848

5 6-17-18 CITY COMMENTS
 4 6-1-18 CITY COMMENTS
 NO DATE REVISIONS

**FAIRFIELD INN /
 SELF STORAGE**
 1616 EAST SEMORAN BOULEVARD
 APOPKA
 FLORIDA

PROJECT NO: 2016.0341
 DATE: 6-4-18

C1.1
 SITE DIMENSION PLAN
 SHEET 3 OF 25
 CHECKED: COB DRAWN: HLM

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SEAL:

STUART ANDERSON, P.E.
FL. REG. #68848

NO.	DATE	REVISIONS
3	5-29-18	WARRIOTT COMMENTS
		REMARKS

**FAIRFIELD INN /
SELF STORAGE**

1616 EAST SEMORAN BOULEVARD
APOPKA
FLORIDA

PROJECT NO: 2016.0341
DATE: 6-4-18

C2
SITE UTILITY PLAN
SHEET 4 OF 25
CHECKED: CDB DRAWN: MRS

SITE UTILITY NOTES

ELECTRIC

- 1 CONTRACTOR SHALL COORDINATE UNDERGROUND ELECTRICAL SERVICE WITH DUKE ENERGY FOR CONDUIT SIZE, CONNECTION POINT AND APPROVED TRANSFORMER LOCATION.
- 2 TRANSFORMER PAD. CONTRACTOR TO COORDINATE WITH DUKE ENERGY FOR FINAL LOCATION OF TRANSFORMER TO BE SET.
- 3 CONTRACTOR SHALL COORDINATE UNDERGROUND TELEPHONE SERVICE WITH AT&T TELEPHONE FOR CONDUIT SIZE, CONNECTION POINT.

SANITARY SEWER

- 4 CONNECT TO EXISTING 4" SANITARY SEWER FORCE MAIN SUB-OUT @ INV. = 85.60
- 5 4" PE FORCE MAIN
- 6 SANITARY SEWER LIFT STATION
- 7 8" SANITARY SEWER MAIN
- 8 SANITARY SEWER COLLECTION MANHOLE
- 9 6" SANITARY SEWER SERVICES
- 10 1,000 GALLON GREASE INTERCEPTOR

DOMESTIC WATER

- 11 WET TAP EXISTING 16" WATER MAIN WITH 12" TAPPING SADDLE & GATE VALVE
- 12 8" COMPOUND WATER METER AND 12" DCVA BACKFLOW PREVENTER
- 13 12" WATER MAIN
- 14 12" X 8" TEE
- 15 FIRE/DOMESTIC SERVICE TO BUILDING

IRRIGATION

- 16 IRRIGATION METER AND RPZ BACKFLOW PREVENTER
- 17 IRRIGATION SERVICE (SEE IRRIGATION SITE PLAN)

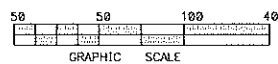
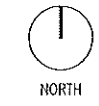
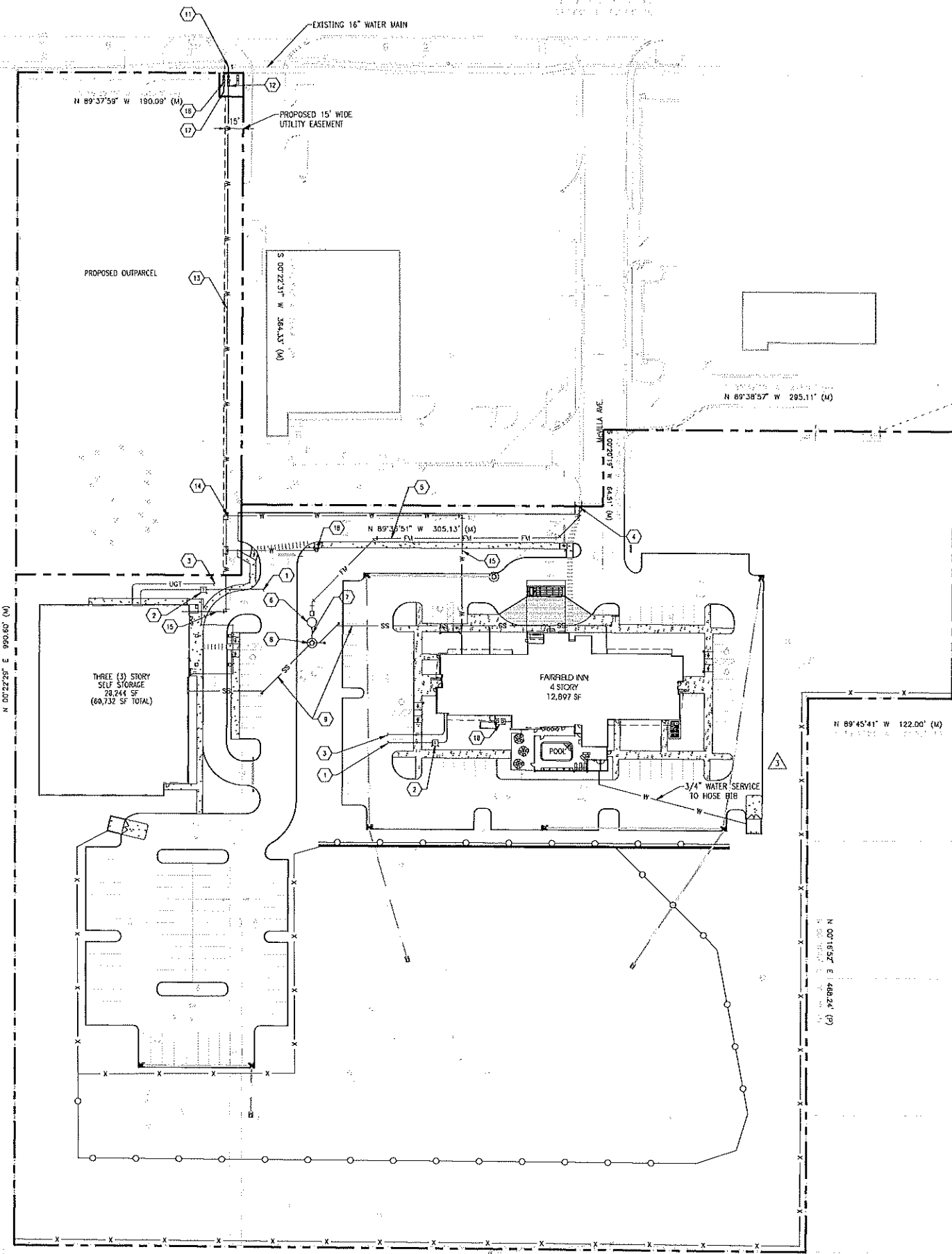
FIRE

- 18 FIRE HYDRANT ASSEMBLY (TO BE MARKED WITH BLUE ROAD REFLECTOR) STREET LIGHT
- 19 LIGHT POLE (SEE ELECTRICAL SITE PLAN)

REFER TO SHEET C0 FOR GENERAL NOTES, SPECIFICATIONS, AND LEGENDS, IN ADDITION TO SITE-SPECIFIC NOTES AND REQUIREMENTS.

BURIED UTILITIES NOTE
BURIED UTILITIES ARE SHOWN AT THEIR APPROXIMATE LOCATION BASED UPON INFORMATION OBTAINED FROM UTILITY COMPANIES AND FIELD EVIDENCE. OTHER BURIED UTILITIES MIGHT EXIST ON THE SUBJECT SITE WHICH ARE NOT SHOWN ON THIS DRAWING. USE EXTREME CAUTION DURING EXCAVATION PROCEDURES AND CONTACT SUNSHINE STATEWIDE ☎ 1-888-432-4770 FOR EXACT LOCATION OF BURIED FACILITIES PRIOR TO EXCAVATION OPERATIONS.

Always call 811 two full business days before you dig



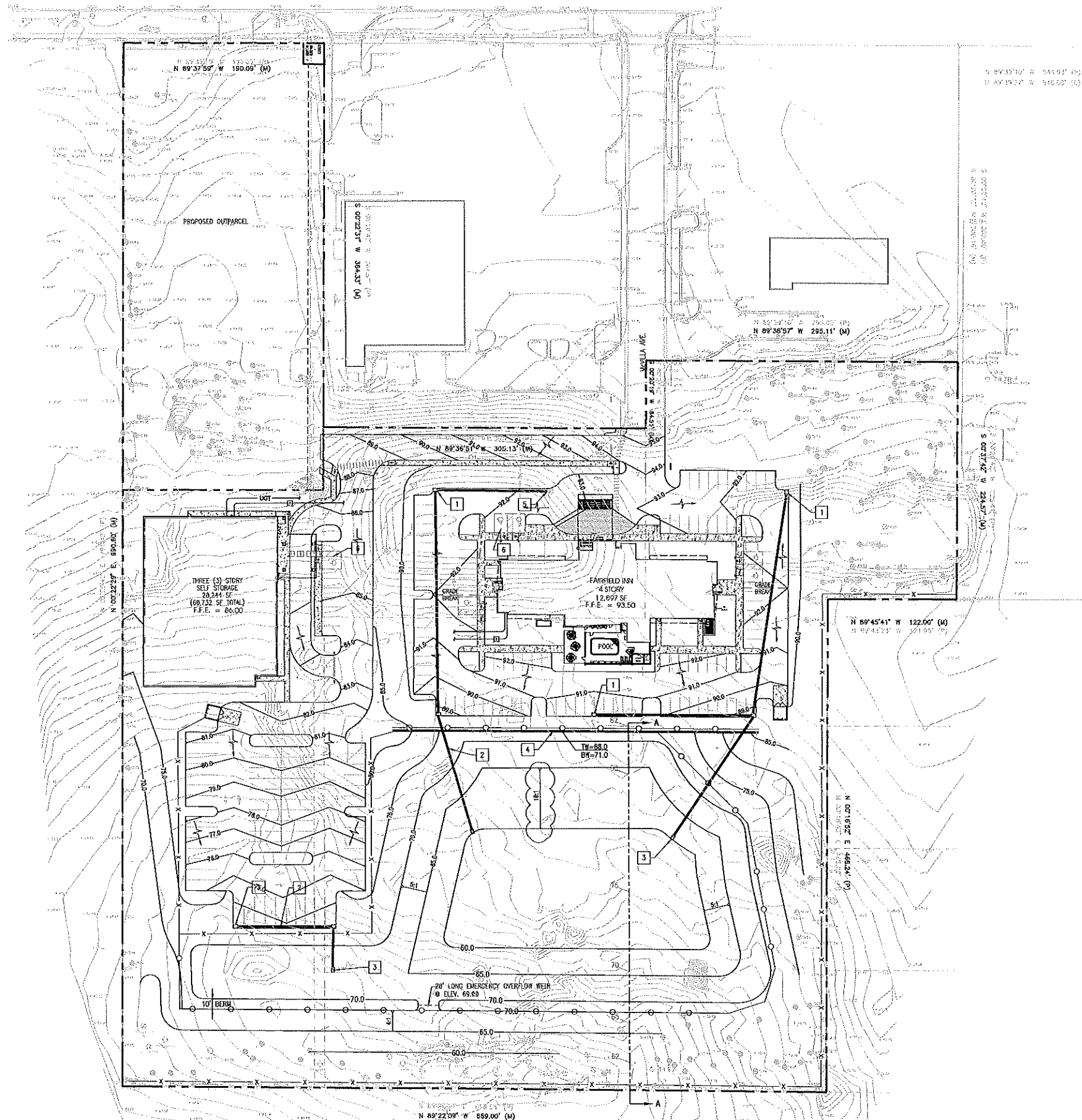
SITE UTILITY PLAN

1"=50'

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STATE ROAD 436 (200.0' R/W)
(SEMORAN BOULEVARD)

3.897210' E 89.00' (M)
1.897210' E 89.00' (M)

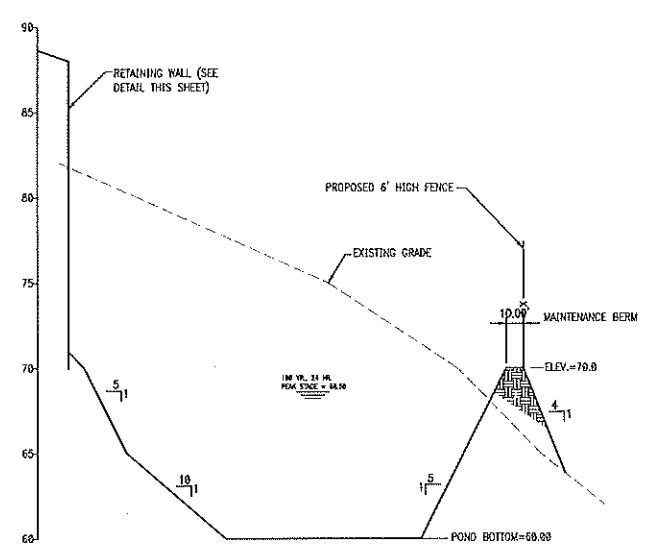


GRADING & DRAINAGE PLAN

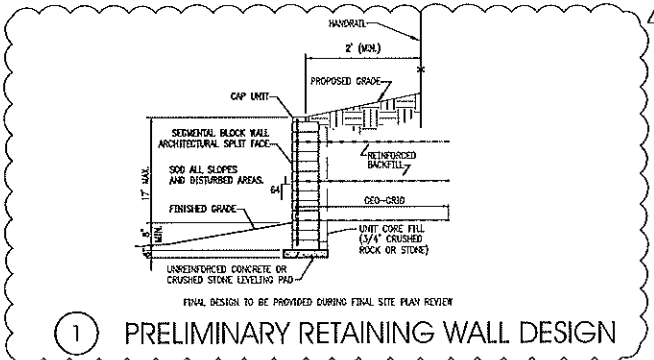
DRAINAGE STRUCTURE TABLE

- 1 STORMWATER GRATE INLET (TYP.)
- 2 STORMWATER PIPE (TYP.)
- 3 MITERED END SECTION (TYP.)
- 4 RETAINING WALL (15' HIGH ±)
- 5 STORM MANHOLE INSTALLED ON EXISTING OUTFALL PIPE AND FILL IN EXISTING RETENTION POND
- 6 HANDICAP PARKING AREA (2% MAX. SLOPE)

NOTE:
DRAINAGE WILL SERVE EXISTING BUSINESSES ON PARCEL #S 11-21-28-5600-01-000 (EXISTING ALDI) AND 11-21-28-5600-02-000 (EXISTING RACETRACK).



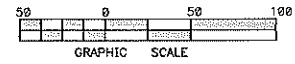
(A-A) POND SECTION VERT.: 1"=5' HORIZ.: 1"=50'



1 PRELIMINARY RETAINING WALL DESIGN

REFER TO SHEET C08 FOR GENERAL NOTES, SPECIFICATIONS, AND LEGENDS, IN ADDITION TO SITE-SPECIFIC NOTES AND REQUIREMENTS.

BURIED UTILITIES NOTE
BURIED UTILITIES ARE SHOWN AT THEIR APPROXIMATE LOCATION BASED UPON INFORMATION OBTAINED FROM UTILITY COMPANIES AND FIELD EVIDENCE. OTHER BURIED UTILITIES MIGHT EXIST ON THE SUBJECT SITE WHICH ARE NOT SHOWN ON THIS DRAWING. USE EXTREME CAUTION DURING EXCAVATION PROCEDURES AND CONTACT SUNSHINE STATEWIDE @ 1-800-432-4770 FOR EXACT LOCATION OF BURIED FACILITIES PRIOR TO EXCAVATION OPERATIONS.



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FL. REG. #60848

4 6-1-18 CITY COMMENTS
1 10-9-17 CITY COMMENTS
NO DATE REVISIONS

FAIRFIELD INN /
SELF STORAGE

1616 EAST SEMORAN BOULEVARD
APOPKA
FLORIDA

PROJECT NO: 2016.0341

DATE: 10-31-16

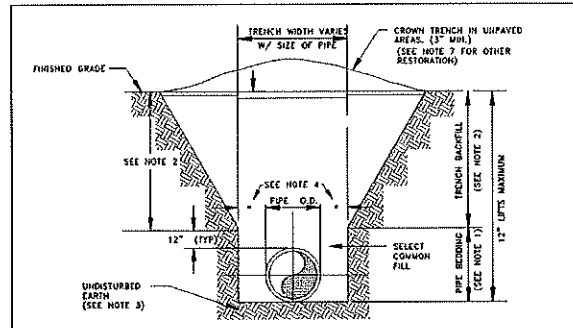
C3

GRADING AND DRAINAGE
PLAN
SHEET 5 OF 25
CHECKED: CDB DRAWN: MRS

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- NOTES:
1. PIPE BEDDING: SELECT COMMON FILL COMPACTED TO 98% UNDER PAVEMENT OF THE MAXIMUM DENSITY AS PER ASTM D 1557.
 2. TRENCH BACKFILL: COMMON FILL COMPACTED TO 88% UNDER PAVEMENT OF THE MAXIMUM DENSITY AS TO ASTM D 1557.
 3. PIPE BEDDING UTILIZING SELECT COMMON FILL OR BEDDING ROCK IN ACCORDANCE WITH TYPE A BEDDING AND TRENCHING DETAIL MAY BE REQUIRED AS DIRECTED BY THE CITY.
 4. (1) 15" MAX. FOR PIPE DIAMETERS LESS THAN 24", AND 24" FOR PIPE DIAMETER 24" AND LARGER.
 5. WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
 6. ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF THE FLOW.
 7. FINAL RESTORATION IN IMPROVED AREAS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS OF GOVERNING AGENCIES.
 8. SURFACE RESTORATION WITHIN CITY RIGHT-OF-WAY, SHALL COMPLY WITH REQUIREMENTS OF RIGHT-OF-WAY UTILIZATION REGULATIONS.
 9. ALL UNIMPROVED DISTURBED AREAS SHALL BE SOODED TO MATCH ADJACENT DOWNSTATE GRASS SPECIES.

TYPE "B" BEDDING AND OPEN-CUT DETAIL

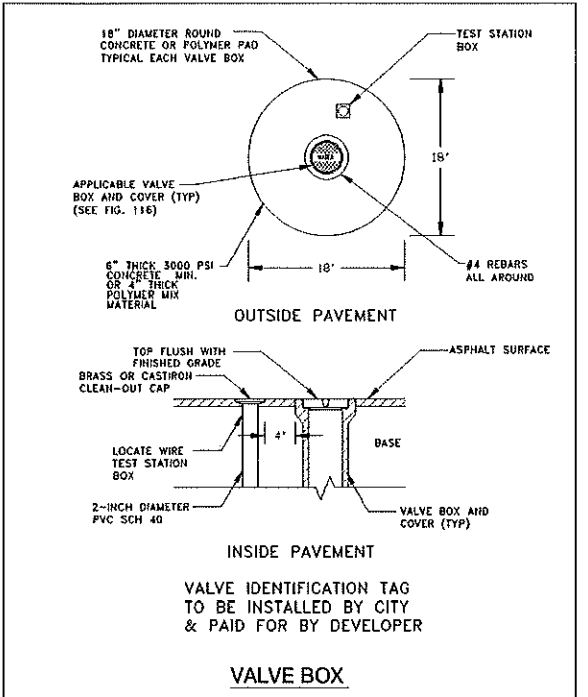
CITY OF APOPKA
DESIGN ENGINEERING DIVISION
JANUARY 2014
FIG. 100

	PIPE SIZE										
	6"	8"	10"	12"	16"	18"	20"	24"	30"	36"	48"
90° BEND	33	43	51	60							
45° BEND	14	18	22	25							
22-1/2° BEND	7	9	11	12							
11-1/4° BEND	4	5	6	6							
TEE**	1	7	24	44							
REDUCER (ONE SIZE SMALLER)		41	59	40							
DEAD END	74	96	115	136							

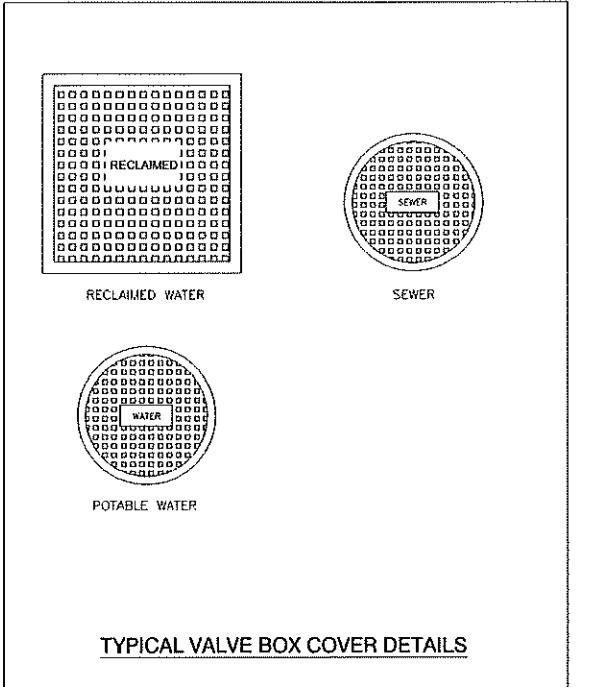
- * ONLY RESTRAIN BRANCH PIPE FOR TEES. ONLY RESTRAIN LARGER PIPE FOR REDUCERS
** LENGTH ALONG RUN ASSUMED TO BE 18'
- NOTES:
1. FITTINGS SHALL BE DUCTILE IRON RESTRAINED JOINT TYPE. FM FITTINGS TO BE LINED WITH PROTECTO 401.
 2. INSTALL FULL LENGTHS OF PIPE WITH TOTAL LENGTH CONTAINING ONLY RESTRAINED JOINTS EQUAL TO OR GREATER THAN LENGTH SHOWN IN TABLE.
 3. WHERE TWO OR MORE FITTINGS ARE TOGETHER, USE FITTING WHICH YIELDS GREATEST LENGTH OF RESTRAINED PIPE.
 4. IN LINE VALVES AND THROUGH RUN OF TEES OUTSIDE LIMITS OF RESTRAINED JOINTS FROM OTHER FITTINGS NEED NOT BE RESTRAINED UNLESS OTHERWISE INDICATED.
 5. LENGTHS SHOWN IN THE TABLE HAVE BEEN CALCULATED IN ACCORDANCE WITH THE PROCEDURE OUTLINED IN "THRUST RESTRAINT DESIGN FOR DUCTILE IRON PIPE" AS PUBLISHED BY DIPRA, FOR PVC WITH THE FOLLOWING ASSUMPTIONS:
TYPE OF PIPE: PVC
WORKING PRESSURE: 150 P.S.I.**
SOIL DESIGNATION: SWS 23/3
LAYING CONDITIONS: S
** FM = 100 P.S.I. / WM OR RWM = 150 P.S.I.
 6. FOR PIPE ENCASED IN POLYETHYLENE INCREASE THE GIVEN VALUE BY A FACTOR OF 1.5.
 7. VALUES NOT LISTED IN THE TABLE TO BE COMPLETED BY THE ENGINEER.

RESTRAINED PIPE TABLE (PVC)

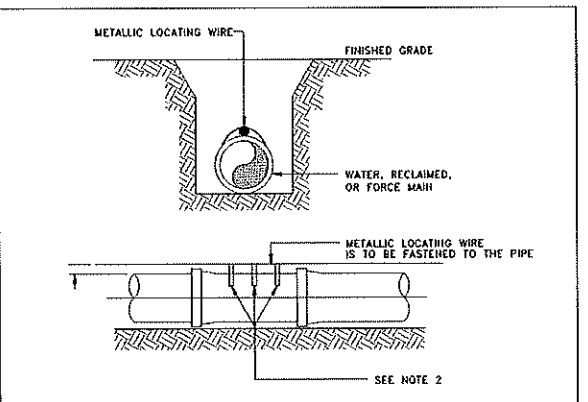
CITY OF APOPKA
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JANUARY 2014
FIG. 105



CITY OF APOPKA
DESIGN ENGINEERING DIVISION
JANUARY 2014
FIG. 109



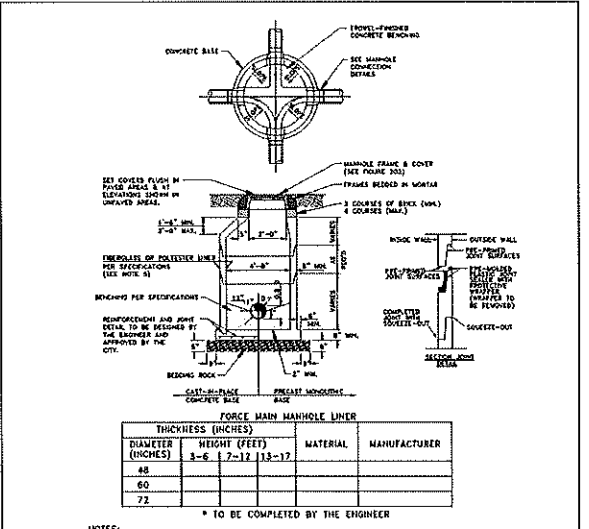
CITY OF APOPKA
DESIGN ENGINEERING DIVISION
JANUARY 2014
FIG. 116



- NOTES:
1. ALL PIPE SHALL REQUIRE INSULATED METALLIC LOCATING WIRE (10 AWG-SOLID CCS REINFORCED TRACER WIRE-INSULATED 30 MIL HDPE - 30 VOLT MFG. BY COPPERHEAD INDUSTRIES, LLC OR EQUAL) CAPABLE OF DETECTION BY A CABLE LOCATOR.
 2. SHALL BE BURIED DIRECTLY ABOVE THE CENTERLINE OF THE PIPE AND ATTACHED WITH DUCT TAPE OR NYLON STRAPS AT 3 LOCATIONS PER JOINT. LOCATING WIRE SHALL TERMINATE AT THE TEST STATION BOX AS SHOWN IN FIG. 109.
 3. BE CAPABLE OF EXTENDING 12" ABOVE TOP OF TEST STATION BOX IN SUCH A MANNER SO AS NOT TO INTERFERE WITH VALVE OPERATION.
 4. SPLICES SHOULD BE MADE USING STANDARDS AND PRODUCTS DESIGNED FOR DIRECT BURIAL CONDUCTORS.
 5. WIRE INSULATION SHALL BE COLOR CODED FOR THE TYPE OF PIPE BEING INSTALLED.

PIPE LOCATING WIRE DETAIL

CITY OF APOPKA
DESIGN ENGINEERING DIVISION
JANUARY 2014
FIG. 118

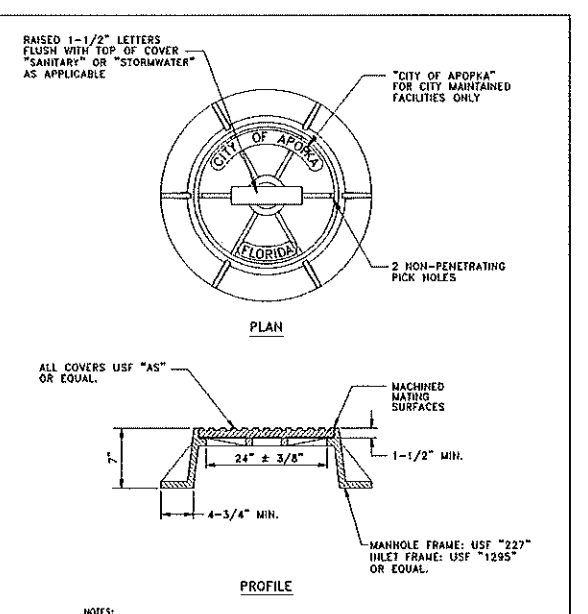


THICKNESS (INCHES)	DIAMETER (INCHES)	HEIGHT (FEET)	MATERIAL	MANUFACTURER
45	3-6	1-12	13-17	
60				
72				

- NOTES:
1. MANHOLE SHOWN IS FOR SEWER SIZE 8" THRU 24". SEE SECTION 20.4 OF THE MANUAL FOR MANHOLE DIAMETER FOR SEWERS LARGER THAN 24".
 2. DROP CONNECTIONS ARE REQUIRED WHENEVER INVERT OF INFLUENT SEWER IS 24" OR MORE ABOVE THE INVERT OF THE MANHOLE. SEE MANHOLE CONNECTION DETAILS.
 3. THE THICKNESS OF THE LINER SHALL BE 3/8" MINIMUM.
 4. EACH BENCH WALL SHALL BE A MINIMUM OF 18 INCHES LONG FROM THE WALL OF THE MANHOLE TOWARD THE CENTER.
 5. SANITARY SEWER MANHOLES MAY BE REQUIRED TO BE LINED WITH HDPE OR FIBERGLASS AS DIRECTED BY THE CITY.

TYPICAL MANHOLE

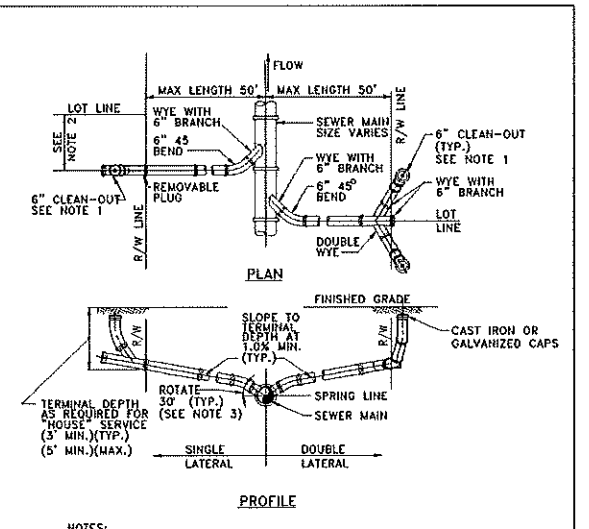
CITY OF APOPKA
DESIGN ENGINEERING DIVISION
JANUARY 2014
FIG. 200



- NOTES:
1. MANHOLE FRAME AND COVER ARE TO BE TRAFFIC BEARING RATED H-20, CLASS 30 MEETING ASTM A 48.

STANDARD MANHOLE FRAME AND COVER

CITY OF APOPKA
DESIGN ENGINEERING DIVISION
JANUARY 2014
FIG. 202



- NOTES:
1. CLEAN-OUT (SHOWN SHADDED) SHALL BE INSTALLED BY THE BUILDER IN ACCORDANCE WITH STANDARD PLUMBING CODE.
 2. LOCATE SINGLE LATERAL AS CLOSE TO LOT LINE AS POSSIBLE.
 3. INVERT OF SERVICE LATERAL SHALL NOT ENTER SEWER MAIN BELOW SPRING LINE.
 4. RESIDENTIAL SERVICES SHALL BE 4 INCHES & NON-RESIDENTIAL SERVICES SHALL BE 6 INCHES IN DIAMETER AS A MINIMUM.
 5. GALVANIZED OR CAST IRON CLEAN-OUT CAP SHALL BE USED ON THE STUBOUT FOR EACH SERVICE.
 6. LATERAL SHALL BE MARKED WITH AN "S" STAMPED OR CUT IN THE CURB.

SERVICE LATERAL DETAIL

CITY OF APOPKA
DESIGN ENGINEERING DIVISION
JANUARY 2014
FIG. 204

NO DATE
REVISIONS

FAIRFIELD INN / SELF STORAGE

1616 EAST SEMORAN BOULEVARD
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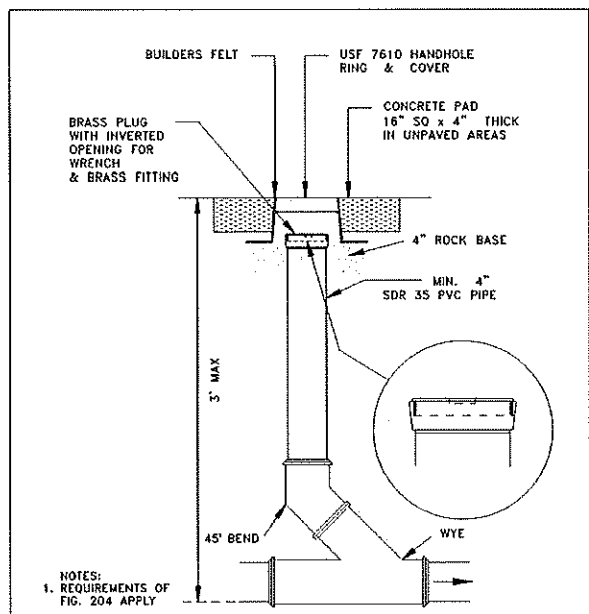
PROJECT NO: 2016.0341
DATE: 9-13-17

C4
DETAILS
SHEET 6 OF 25

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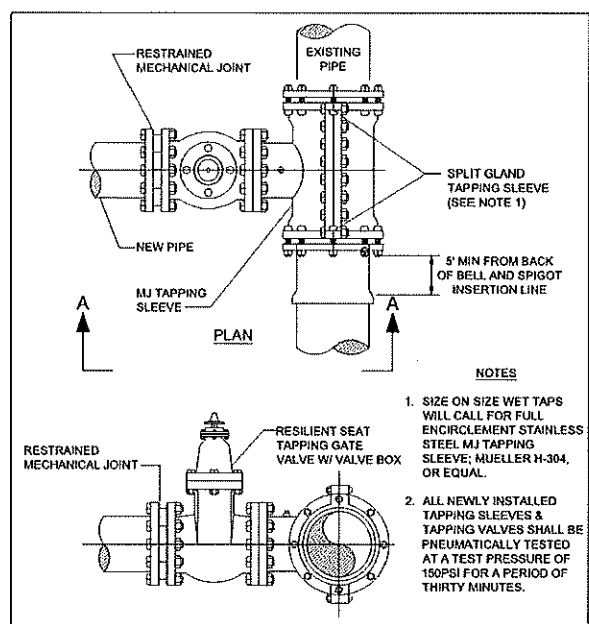
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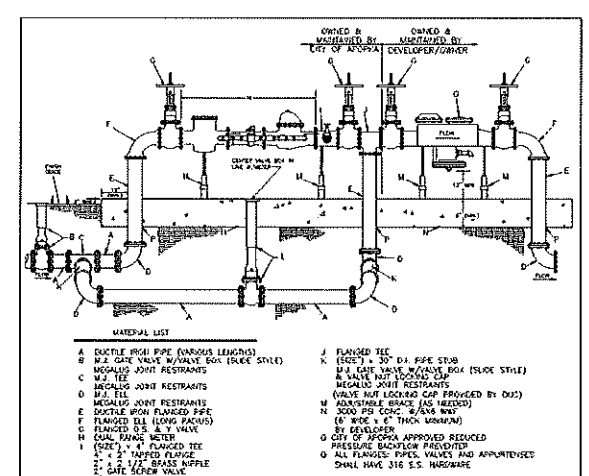
**SANITARY SEWER SERVICE
TRAFFIC RATED
CLEAN-OUT DETAIL**
NTS

CITY OF APOPKA JANUARY 2014 FIG. 205
DESIGN ENGINEERING DIVISION



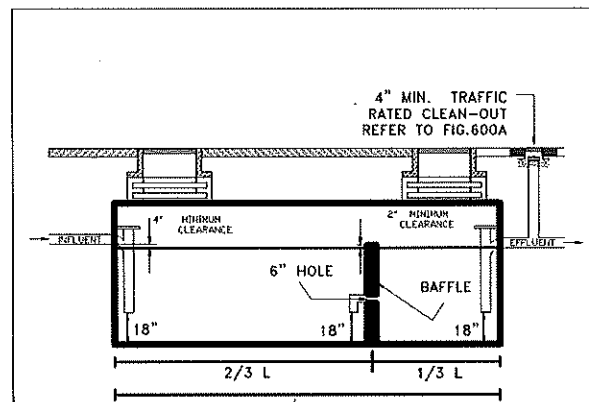
**SECTION A - A
WATER AND RECLAIMED WATER MAINS
WET TAP TIE-IN DETAIL**

CITY OF APOPKA JANUARY 2014 FIG. 406
DESIGN ENGINEERING DIVISION



- MATERIAL LIST**
- A. DUCTILE IRON PIPE (VARIOUS LENGTHS)
 - B. 1/2" GATE VALVE W/ VALVE BOX (FLUE STYLE)
 - C. 1/2" GATE VALVE W/ VALVE BOX (FLUE STYLE)
 - D. 1/2" GATE VALVE W/ VALVE BOX (FLUE STYLE)
 - E. 1/2" GATE VALVE W/ VALVE BOX (FLUE STYLE)
 - F. 1/2" GATE VALVE W/ VALVE BOX (FLUE STYLE)
 - G. 1/2" GATE VALVE W/ VALVE BOX (FLUE STYLE)
 - H. 1/2" GATE VALVE W/ VALVE BOX (FLUE STYLE)
 - I. 1/2" GATE VALVE W/ VALVE BOX (FLUE STYLE)
 - J. 1/2" GATE VALVE W/ VALVE BOX (FLUE STYLE)
 - K. 1/2" GATE VALVE W/ VALVE BOX (FLUE STYLE)
 - L. 1/2" GATE VALVE W/ VALVE BOX (FLUE STYLE)
 - M. 1/2" GATE VALVE W/ VALVE BOX (FLUE STYLE)
 - N. 1/2" GATE VALVE W/ VALVE BOX (FLUE STYLE)
 - O. 1/2" GATE VALVE W/ VALVE BOX (FLUE STYLE)
 - P. 1/2" GATE VALVE W/ VALVE BOX (FLUE STYLE)
 - Q. 1/2" GATE VALVE W/ VALVE BOX (FLUE STYLE)
 - R. 1/2" GATE VALVE W/ VALVE BOX (FLUE STYLE)
 - S. 1/2" GATE VALVE W/ VALVE BOX (FLUE STYLE)
 - T. 1/2" GATE VALVE W/ VALVE BOX (FLUE STYLE)
 - U. 1/2" GATE VALVE W/ VALVE BOX (FLUE STYLE)
 - V. 1/2" GATE VALVE W/ VALVE BOX (FLUE STYLE)
 - W. 1/2" GATE VALVE W/ VALVE BOX (FLUE STYLE)
 - X. 1/2" GATE VALVE W/ VALVE BOX (FLUE STYLE)
 - Y. 1/2" GATE VALVE W/ VALVE BOX (FLUE STYLE)
 - Z. 1/2" GATE VALVE W/ VALVE BOX (FLUE STYLE)

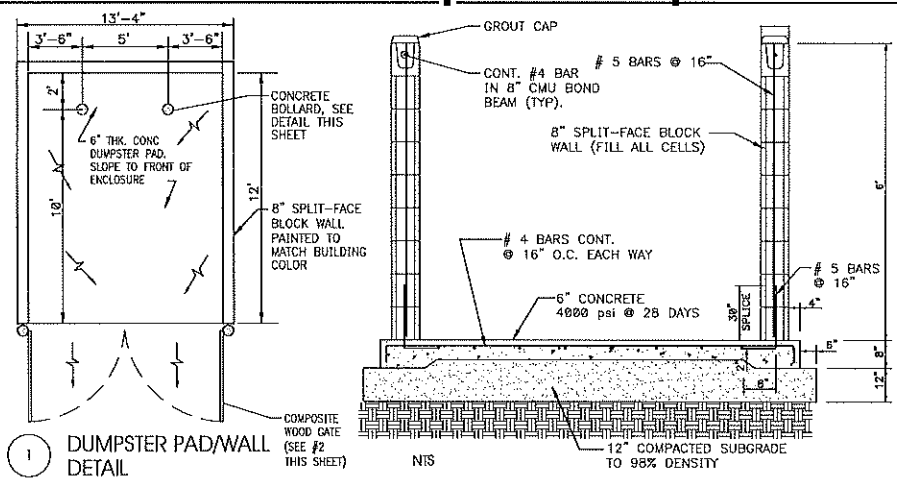
FIRE LINE MASTER METER ASSEMBLY W/ BY-PASS (TYPICAL)
CITY OF APOPKA JANUARY 2014 FIG. 500 C
DESIGN ENGINEERING DIVISION



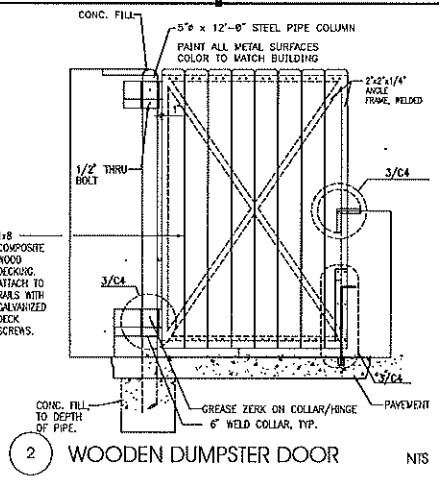
- NOTES:**
- INTERCEPTOR TO BE CONSTRUCTED OF 4000 PSI CONCRETE
 - INTERCEPTOR TOTAL VOLUME SHALL BE AT LEAST 750 GAL. BUT NOT EXCEED 1250 GAL.
 - ALL ACCESS RINGS AND COVERS NEED TO BE TRAFFIC RATED H-20.

GREASE INTERCEPTOR DETAIL
NTS

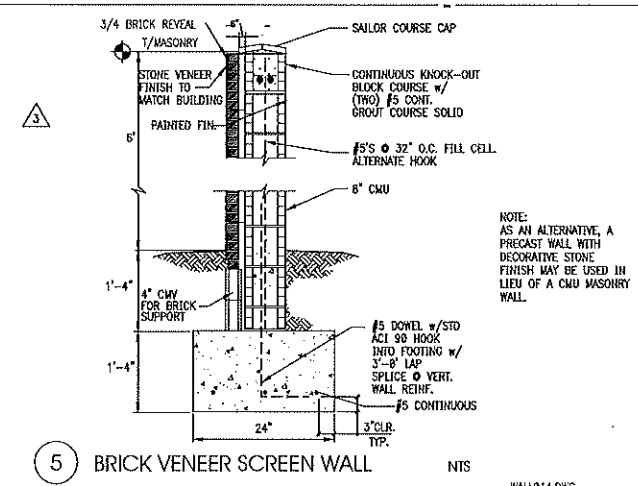
CITY OF APOPKA JANUARY 2014 FIG. 600
DESIGN ENGINEERING DIVISION



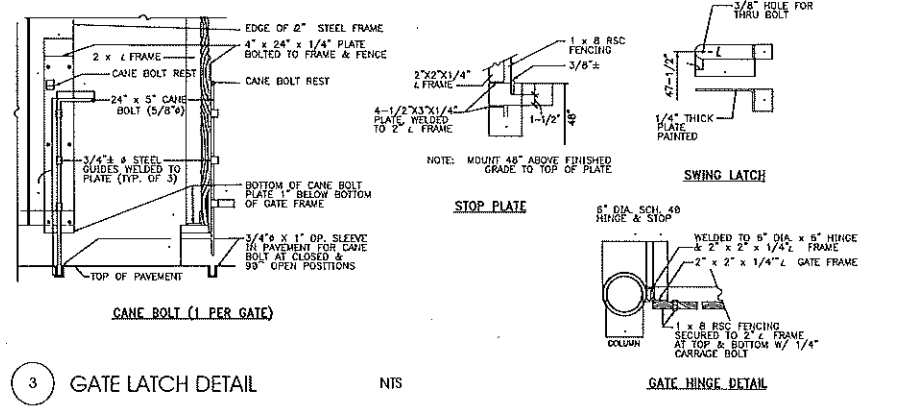
DUMPSTER PAD/WALL DETAIL
NTS



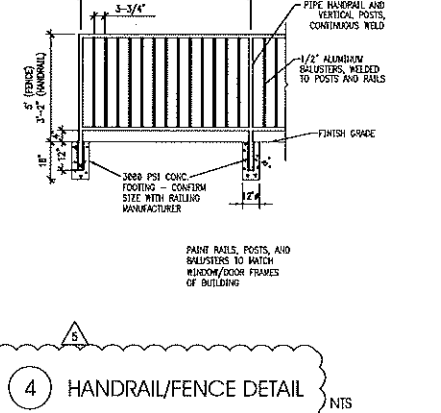
WOODEN DUMPSTER DOOR
NTS



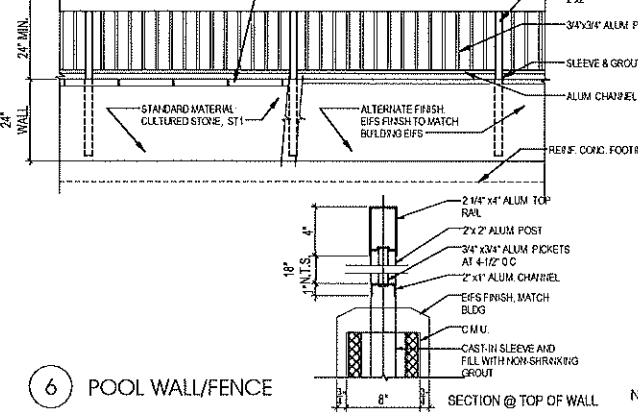
BRICK VENEER SCREEN WALL
NTS



GATE LATCH DETAIL
NTS



HANDRAIL/FENCE DETAIL
NTS



POOL WALL/FENCE
NTS

- 5 8-27-18 CITY COMMENTS
3 6-1-18 CITY COMMENTS
3 5-29-18 HARRIOTT COMMENTS
NO DATE REMARKS

REVISIONS

**FAIRFIELD INN /
SELF STORAGE**

1616 EAST SEMORAN BOULEVARD
APOPKA
FLORIDA

PROJECT NO: 2016.0341
DATE: 9-13-17

**C4.1
DETAILS**
SHEET 7 OF 25
CHECKED: CDB DRAWN: H.M

PLANT LEGEND

SHADE TREES

- OV LIVE OAK - QUERCUS VIRGINIANA
4" CAL./6' SPRD./14' HT.
- OVH SWEET GUM - LIQUIDAMBAR STYRACIFLUA
4" CAL./6' SPRD./14' HT.
- UA ALLEE ELM - ULMAS AMERICANA
4" CAL./6' SPRD./14' HT.
- JV SOUTHERN RED CEDAR - JUNIPERUS SILICICOLA
3" CAL./5' SPRD./12' HT.
- PE PINUS ELLIOTTII - SLASH PINE
BALD CYPRESS - TAXODIUM DISTICHUM (AT LAKE EDGE)
3" CAL./5' SPRD./12' HT.
2" CAL./3' SPRD./10' HT.
- MG SOUTHERN MAGNOLIA - MAGNOLIA GRANDIFLORA
3" CAL./5' SPRD./12' HT.

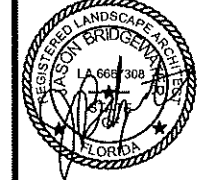
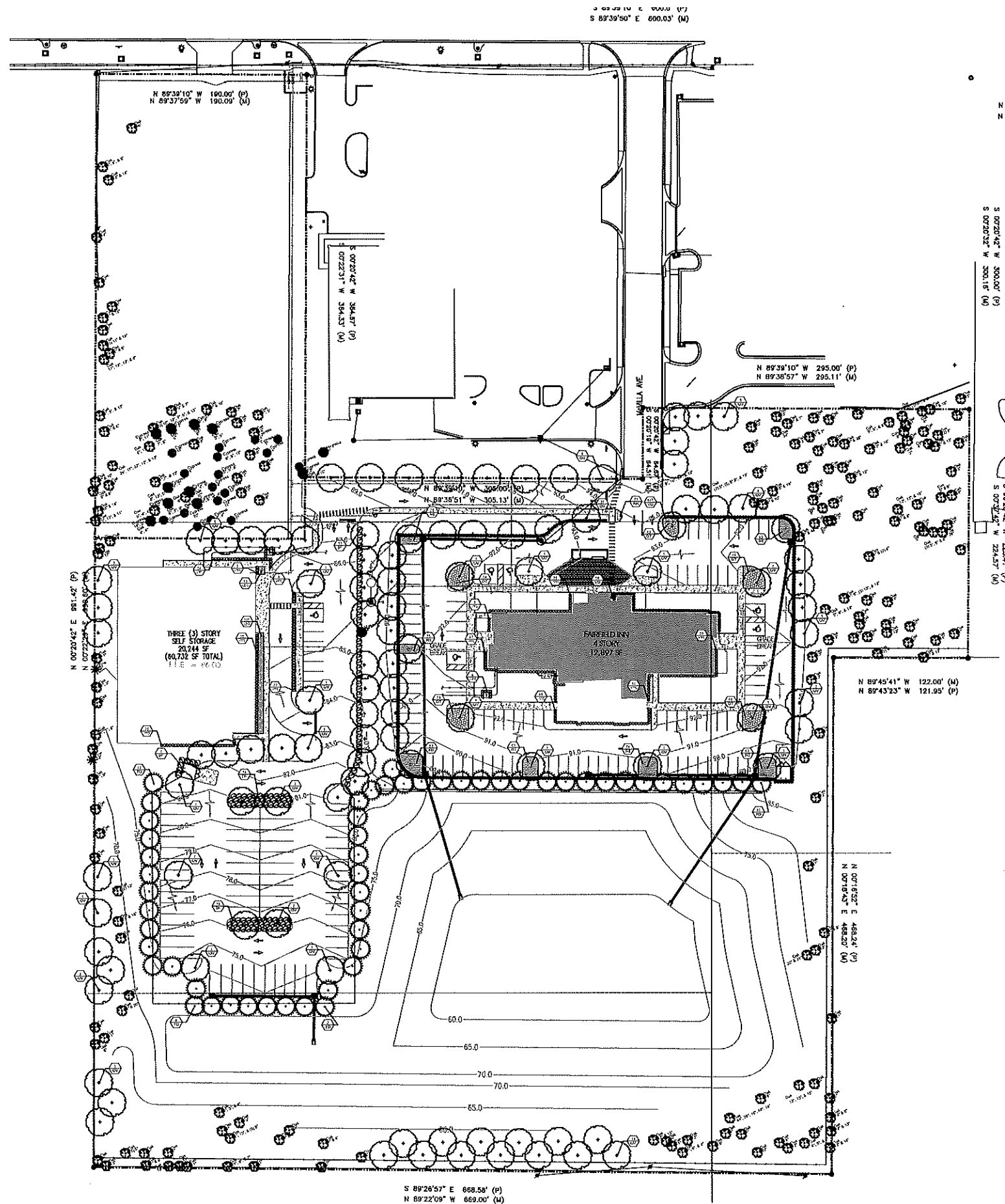
UNDERSTORY TREE

- LL LIGUSTRUM TREE - LIGUSTRUM LUCIDUM
3" CAL./6' SPRD./8' HT./MULTI-TRUNKED
- LI CRAPE MYRTLE - LAGERSTROEMIA INDICA
3" CAL./6' SPRD./10' HT.
- CS BRODIE JUNIPER - JUNIPERUS SILICICOLA 'BRODIE'
3" CAL./2' SPRD./10' HT.

SHRUBS / GROUND COVER

- CA DWARF WALTER'S VIBURNUM, SWEET VIBURNUM,
FAKHAHATCHEE GRASS, AZALEA, BURFORD HOLLY,
PODOPARPUS, PINEAPPLE GUAVA, PHILODENDRON,
WILD COFFEE, MIRROR-LEAF VB., FLORIDA ANISE,
CRINUM LILY, CARDBOARD PALM, SAGO PALM
- ES LIRIOPE, ASIAN JASMINE, INDIAN HAWTHORN,
BUGLE WEED, BULBINE, MONDO GRASS, JUNIPER,
ANNUALS - SIZES VARY
- PT
- VA
- GJ
- VWS

ALL LANDSCAPE AREAS TO BE IRRIGATED WITH A LOW VOLUME IRRIGATION SYSTEM.



Jason P. Bridgewater
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FL Registration - LA 6667308

NO	DATE	REVISIONS
3	04/11/17	CITY COMMENTS
2	01/12/18	CITY COMMENTS
1	09/25/17	CITY COMMENTS
	NO DATE	REVISIONS

FARISH ENTERPRISES
1616 EAST SEMORAN BOULEVARD
APOPKA
FLORIDA

PROJECT NO: 2016.0341
DATE: 04/11/17

OVERALL LANDSCAPE PLAN

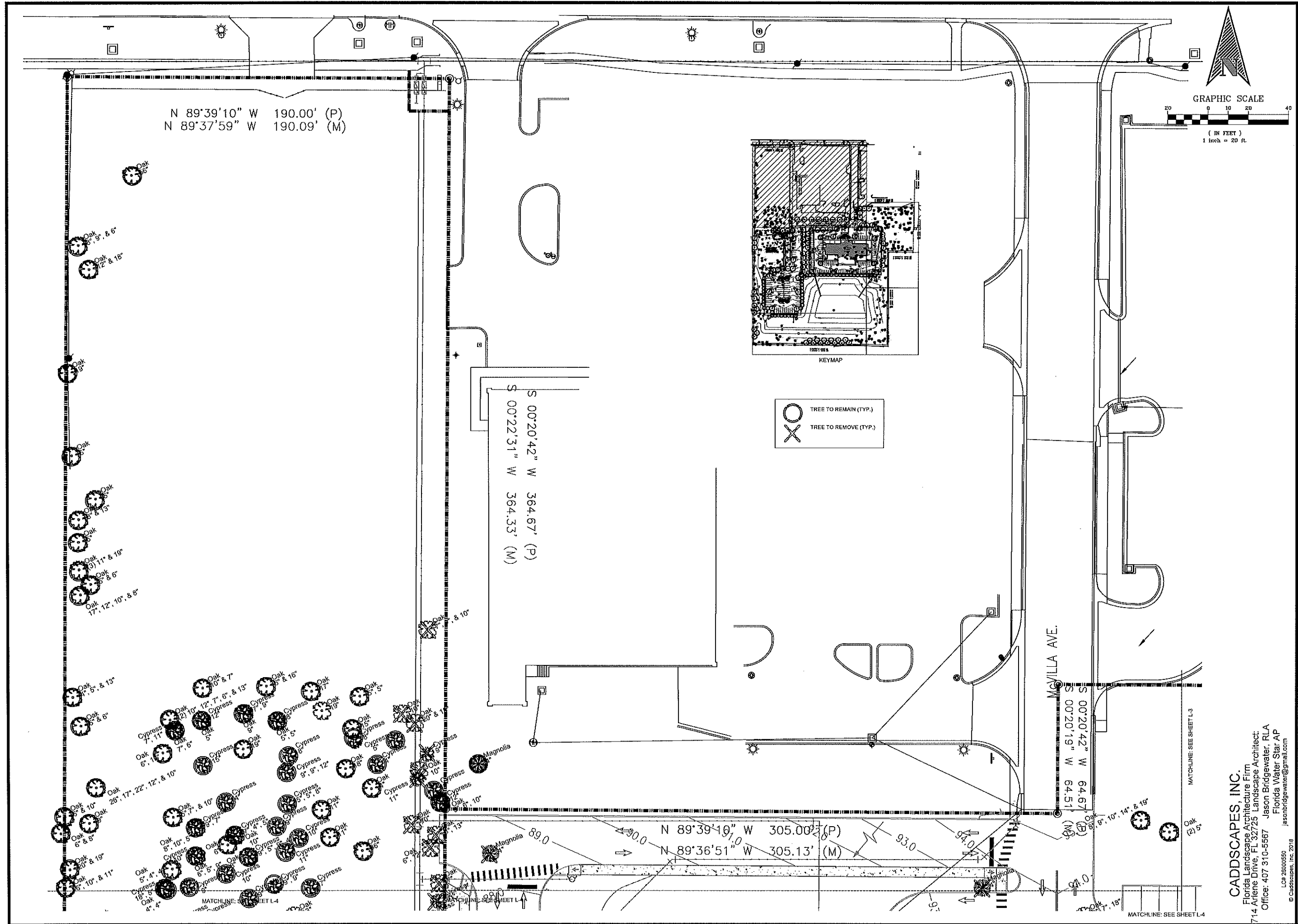
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2	01/12/18	CITY COMMENTS
1	09/25/17	CITY COMMENTS

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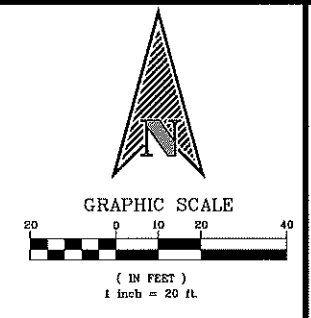
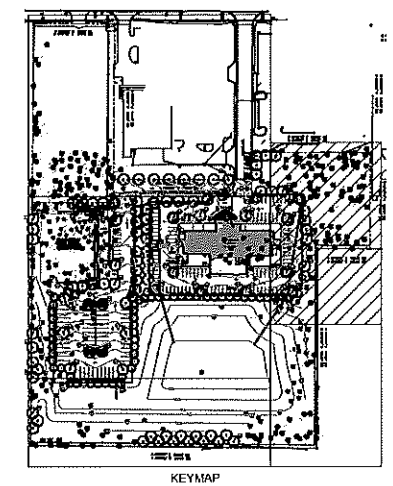
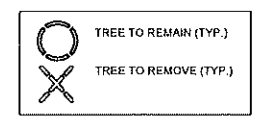
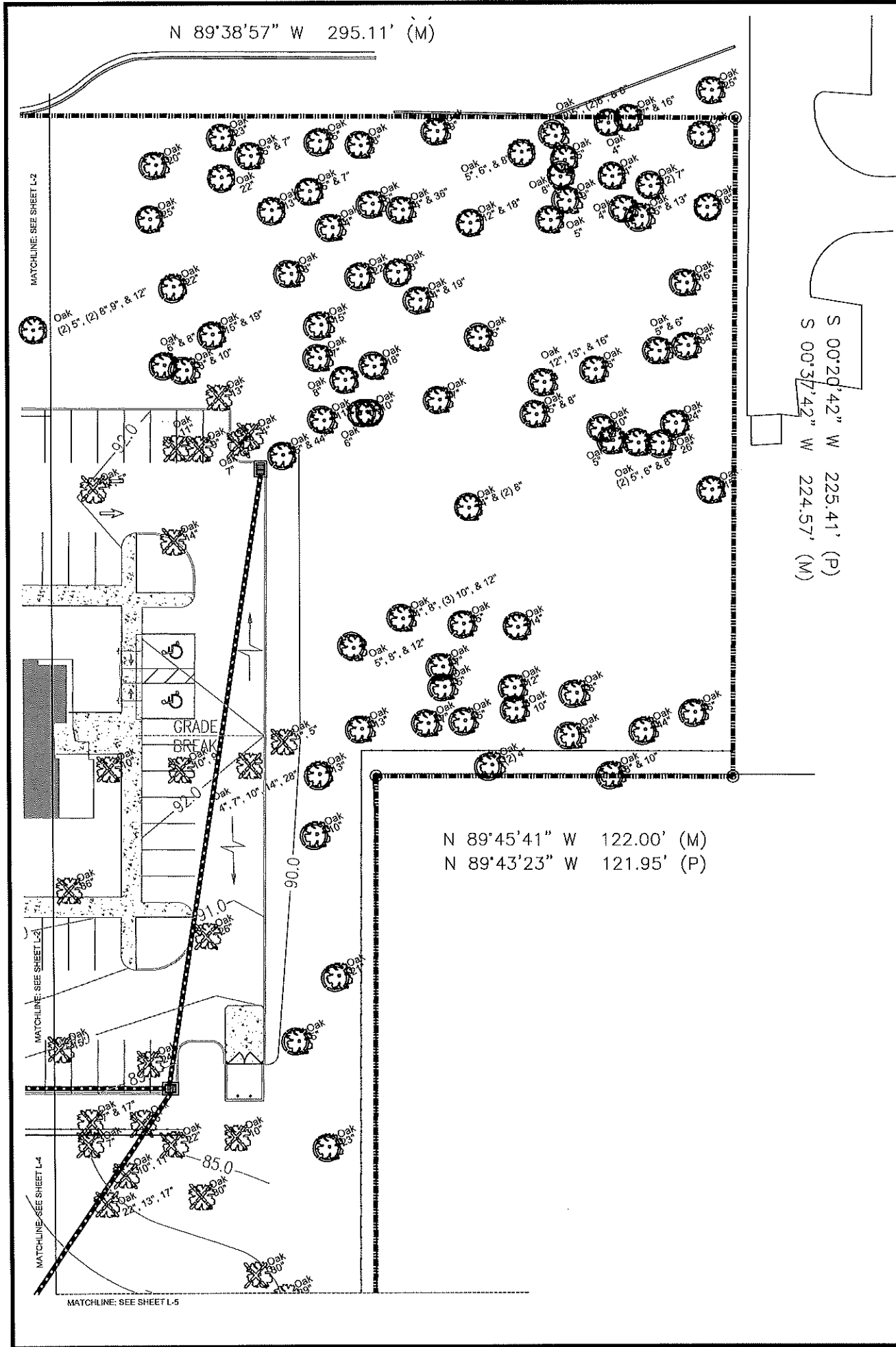
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FLORIDA

PROJECT NO: 2016.0341
DATE: 04/11/17
TREE MITIGATION PLAN

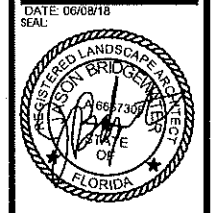
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3	05/09/18	CITY COMMENTS
2	01/12/18	CITY COMMENTS
1	09/29/17	CITY COMMENTS
NO	DATE	REVISIONS

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 Jason Bridgewater, RLA
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 jasonbridgewater@gmail.com
 Lic# 26000550
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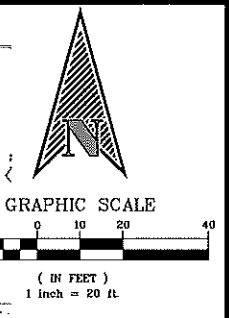
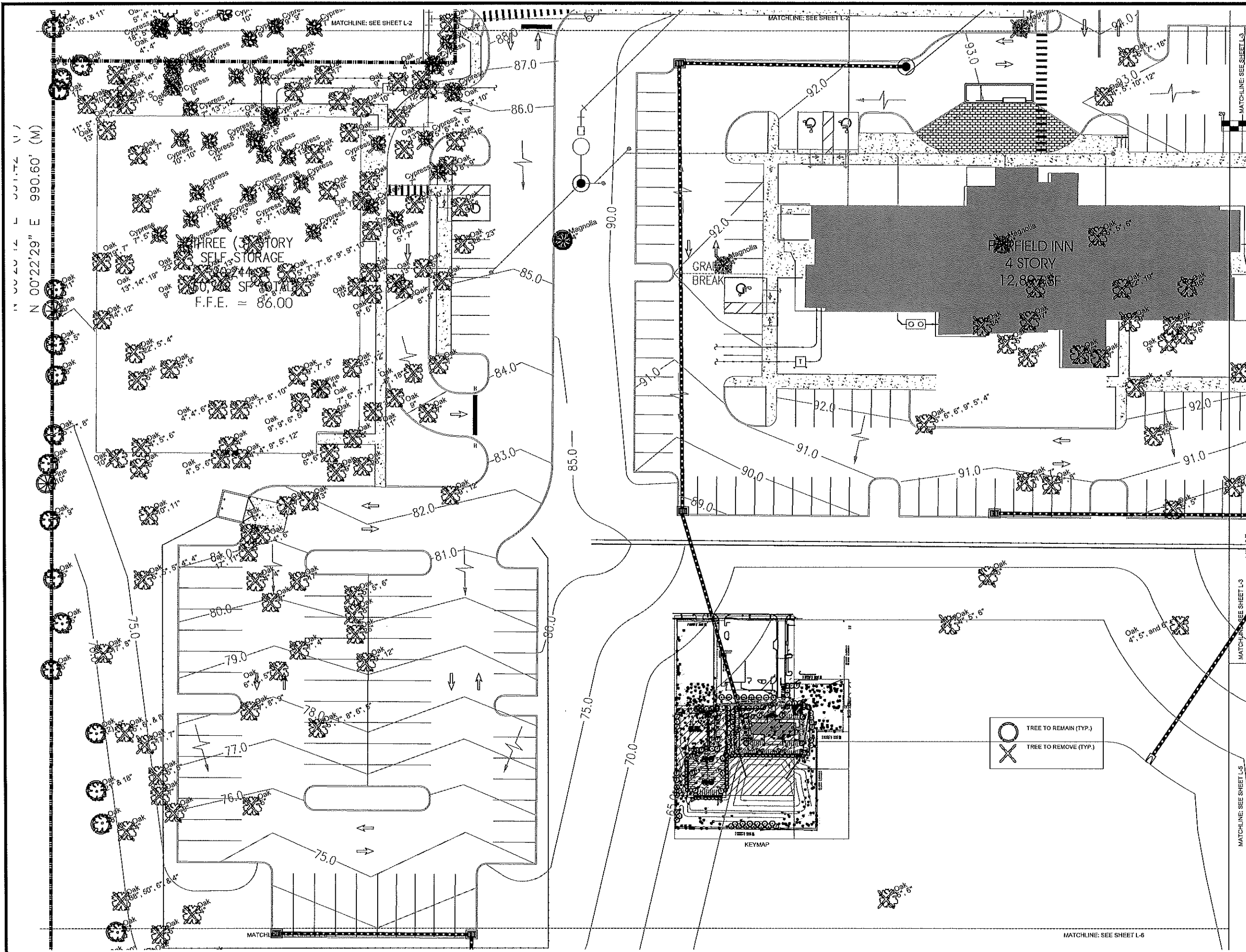
1616 EAST SEMORAN BOULEVARD
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PROJECT NO: 2016.0341
 DATE: 04/11/17

TREE MITIGATION PLAN

L-3
 SHEET: 10 OF 25
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Jason P. Bridgewater
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NO	DATE	REVISIONS
3	06/08/18	CITY COMMENTS
2	07/12/18	CITY COMMENTS
1	05/29/17	CITY COMMENTS
	NO DATE	REMARKS

FARISH ENTERPRISES

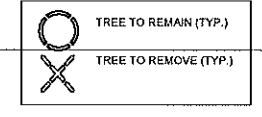
1616 EAST SEMORAN BOULEVARD
 APOPKA
 FLORIDA

PROJECT NO: 2016.0341
 DATE: 04/11/17

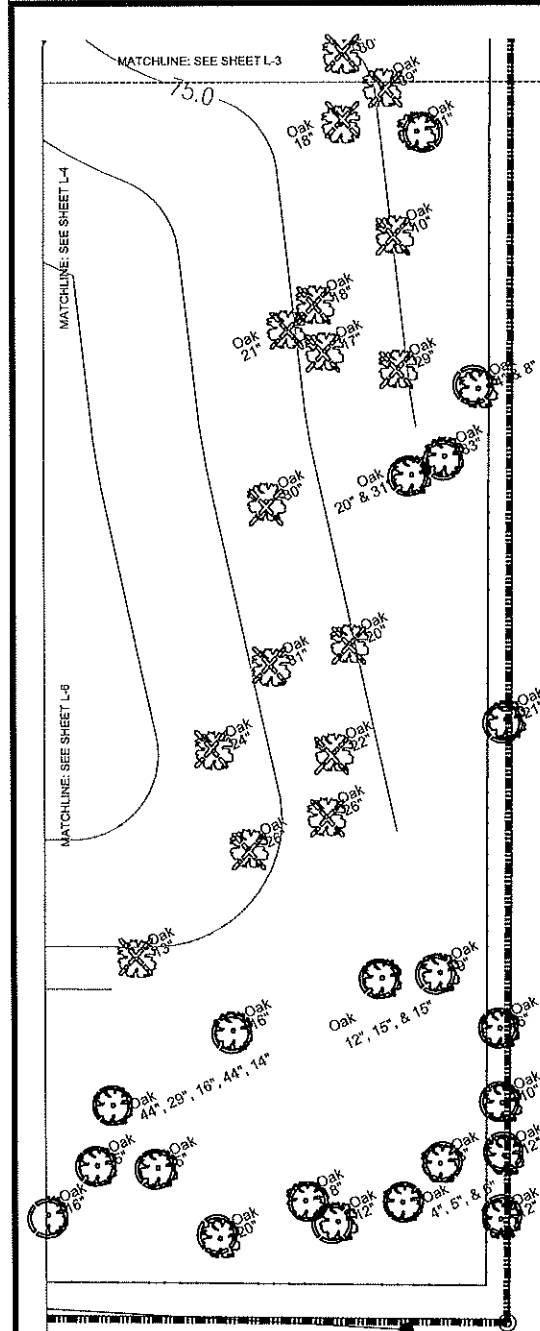
TREE MITIGATION PLAN

L-4
 SHEET: 11 OF 25
 CHECKED: JB DRAWN: JB

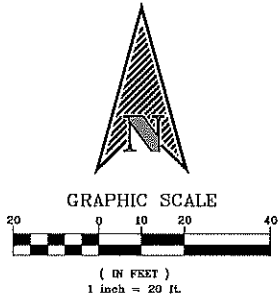
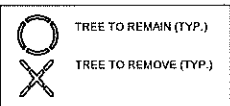
CADSCAPES INC
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 LCA 28000550
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N 00'16'52" E 468.24' (P)
 N 00'18'43" E 468.20' (M)



527,899 - 8,000 = 521,899 / 1,000 = 521.899
 521,899 * 5 = 2,608,495 + 30 = 2,638,495
 2,639 / 3 = 879.6 Specimen Maximum Replacement
 783 Specimen Trees to Remove
 783 - 557 Specimen Trees to Remain = 208 / 3 = 68.6 Specimen Tree Requirement

527,899 - 6,000 = 521,899 / 1000 = 521.899
 521,899 * 3.5 = 1,825,946.5 + 21 = 1,846,946.5
 1,847 / 3 = 615.6 Tree Maximum Replacement
 2,992 Trees to remove. Defer to Maximum Replacement
 1,847 Trees to remove - 3,290 Trees to Remain = 0 Tree Mitigation Required
 68.6 (3") Caliper Trees Required
 The Following Trees are Not being Mitigated:
 Ear Trees Invasive Category I PER FLEPPC
 Mulberry Trees Invasive Category II Per FLEPPC
 Chinaberry Trees Invasive Category II Per FLEPPC

Existing Specimen Trees to Remove		
Count	SIZE	TYPE
1	28"	28 Oak
4	26"	104 Oak
1	27"	27 Oak
1	4", 7", 10", 14", 28"	28 Oak
1	38"	38 Oak
3	30"	90 Oak
1	31"	31 Oak
1	38", 50", 6", & 4"	98 Oak
1	39"	39 Oak
3	24"	72 Oak
2	36"	72 Oak
2	29"	58 Oak
1	28", 23"	28 Oak
2	25"	50 Oak
		783

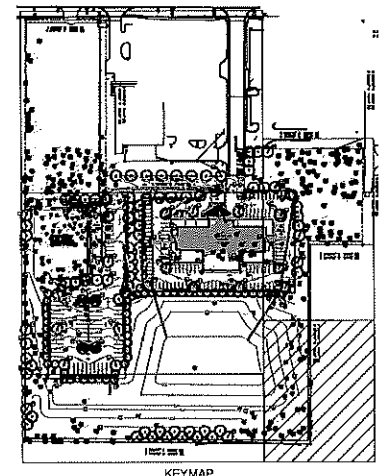
Existing Trees to Remove		
Count	SIZE	TYPE
1	8", 7", 10"	23 Cypress
1	11"	11 Cypress
2	13"	26 Cypress
1	8", 4", 5"	17 Cypress
1	5", 6", 4", 6"	21 Cypress
1	4", 4"	8 Cypress
1	5", 7"	12 Cypress
1	7", 5"	12 Cypress
1	5", 5"	10 Cypress
1	7", 14"	21 Cypress
1	12"	12 Cypress
4	7"	28 Cypress
2	6"	12 Cypress
4	8"	36 Cypress
1	7", 13", 12"	32 Cypress
1	10", 10"	20 Cypress
2	10"	20 Cypress
1	6", 8"	14 Cypress
1	15"	15 Cypress
4	4"	16 Magnolia
1	8"	8 Komquat
1	4", 6"	10 Oak
1	6", 6"	12 Oak
1	13", 12"	25 Oak
1	6", 18"	24 Oak
1	17", 11"	28 Oak
1	7", 4"	11 Oak
1	6", 4", 5"	15 Oak
1	4", 4"	8 Oak
2	5", 5", 6"	32 Oak
1	7", 6", 4", 7"	24 Oak
1	5", 5", 5", 4", 4"	23 Oak
2	10", 11"	42 Oak
2	9", 12"	42 Oak
1	22", 5", 4"	31 Oak
2	6", 9"	30 Oak
1	7", 9", & 10"	26 Oak
1	20" & 15"	35 Oak
6	6"	36 Oak
1	10", 14"	24 Oak
1	6", 7", 8", 10"	31 Oak
1	9", 9", 8", 5"	29 Oak
1	4", 4", 6"	14 Oak
1	4", 4", 9", 5", 12"	34 Oak
3	4", 5", 6"	45 Oak
1	6", 7", 8", 6", 5"	32 Oak
1	5", 13", 9"	27 Oak
1	6", 6", 6", 8", 5", 4"	38 Oak
1	22", 13", 17"	52 Oak
1	11", 7"	18 Oak
1	9", 7", 5"	21 Oak
1	5", 6", & 8"	19 Oak
1	22", 19"	41 Oak
1	10", 9"	19 Oak
		1270

Existing Trees to Remove (Cont.)		
Count	SIZE	TYPE
1	5", 6"	11 Oak
1	14", 9"	23 Oak
1	10", 16"	26 Oak
1	6", 5"	11 Oak
1	7", 8", 9"	24 Oak
2	17", 7"	48 Oak
1	20"	20 Oak
1	21"	21 Oak
2	22"	44 Oak
1	14", 12"	26 Oak
1	9", 10"	19 Oak
5	10"	50 Oak
1	6", 13"	19 Oak
1	6", 12"	18 Oak
2	12"	24 Oak
1	17", 8"	25 Oak
3	19"	57 Oak
1	9", 4"	13 Oak
1	4", 10"	14 Oak
1	4", 12"	16 Oak
4	17"	68 Oak
3	15"	45 Oak
1	3"	3 Oak
4	4"	16 Oak
12	9"	108 Oak
16	7"	112 Oak
1	4", 5", and 6"	15 Oak
3	18"	54 Oak
2	11"	22 Oak
1	4", 5", 10", 12"	31 Oak
2	5", 5"	20 Oak
1	6", 7", 18"	31 Oak
2	14"	28 Oak
2	4", 5"	18 Oak
9	5"	45 Oak
1	12", 13"	25 Oak
1	5", 7"	12 Oak
1	23"	23 Oak
1	19", 7"	26 Oak
1	13", 14", 19"	46 Oak
1	5", 7", 7", 8", 9", 9", 10"	55 Oak
1	8", 6"	14 Oak
1	7", 8", 8"	23 Oak
3	8"	24 Oak
1	7", 10", 18"	35 Oak
1	11", 6", 9", 12"	38 Oak
7	13"	91 Oak
1	5", 14"	19 Oak
2	7", 8"	30 Oak
1	17", 5"	22 Oak
1	9", 7"	16 Oak
1	16"	16 Oak
1	7", 7"	14 Oak
1	4", 16"	20 Oak
2	8", 9"	34 Oak
1	14"	14 Pine
		1722

Existing Trees to Remain		
Count	SIZE	TYPE
1	4" & 36"	36 Oak
2	25"	50 Oak
1	24"	24 Oak
1	26"	26 Oak
1	44"	44 Oak
1	5" & 44"	44 Oak
1	58"	58 Oak
1	26", 17", 22", 12", & 10"	26 Oak
1	36"	36 Oak
1	34"	34 Oak
1	44", 29", 16", 44", 14"	117 Oak
1	20" & 31"	31 Oak
1	33"	33 Oak
		557,00
		0000

Existing Trees to Remain		
Count	SIZE	TYPE
2	12"	24 Cypress
5	8"	40 Cypress
1	9", 7"	18 Cypress
1	5", 5", 8"	18 Cypress
2	4"	8 Cypress
1	9", 9", 12"	30 Cypress
1	7", 9"	16 Cypress
1	7", 11"	18 Cypress
1	7", 4", 5"	16 Cypress
1	18", 5"	23 Cypress
1	5"	5 Cypress
1	9", 9"	18 Cypress
3	10"	30 Cypress
3	6"	27 Cypress
1	11"	11 Cypress
1	7"	7 Cypress
1	9", 5", 9", 4"	27 Cypress
1	15"	15 Cypress
2	4"	8 Magnolia
1	4" & 36"	40 Oak
2	12" & 18"	60 Oak
1	4" & 19"	23 Oak
1	15" & 19"	34 Oak
2	5" & 7"	24 Oak
3	15"	45 Oak
1	5" & 8"	13 Oak
1	12", 13", & 16"	41 Oak
1	4" & (2) 8"	29 Oak
1	(2) 5", 6" & 8"	24 Oak
1	4", 8", (3) 10", & 12"	54 Oak
1	5", 8", & 12"	25 Oak
1	(2) 4"	8 Oak
3	22"	66 Oak
2	23"	46 Oak
2	8" & 10"	36 Oak
1	8", 9", 10", 14", & 19"	60 Oak
1	(2) 5", (2) 8", 9", & 12"	47 Oak
2	6" & 8"	28 Oak
2	14"	28 Oak
1	5" & 44"	5 Oak
1	4", 5", & 13"	22 Oak
1	26", 17", 22", 12", & 10"	61 Oak
1	(3) 11" & 19"	52 Oak
1	8" & 13"	21 Oak
1	8", 9", & 6"	23 Oak
1	7" & 11"	18 Oak
1	6" & 10"	16 Oak
1	10" & 7"	17 Oak
1	6" & 16"	22 Oak
2	17"	34 Oak
1	6", 10", & 11"	27 Oak
1	20" & 19"	39 Oak
1	(2) 7"	14 Oak
1	5", 6", & 8"	19 Oak
1	(2) 5", (2) 8", & 8"	30 Oak
3	5" & 6"	33 Oak
1	5" & 13"	18 Oak
1	7" & 16"	23 Oak
		1573

Existing Trees to Remain (cont.)		
Count	SIZE	TYPE
3	16"	57 Oak
1	17", 12", 10", & 8"	47 Oak
1	5", 7", & 10"	23 Oak
1	(2) 10", 12", 7", 6", & 13"	58 Oak
1	7", 6"	13 Oak
1	6", 12"	18 Oak
8	10"	80 Oak
1	8", 10", 5"	23 Oak
1	5", 6", 10"	21 Oak
1	5", 4", 4"	13 Oak
1	(2) 10"	20 Oak
1	8" & 20"	28 Oak
1	21" & 18"	39 Oak
1	38", 50", 6", & 4"	10 Oak
7	4"	28 Oak
19	5"	95 Oak
8	9"	72 Oak
1	17", 8"	25 Oak
1	13"	52 Oak
4	8"	104 Oak
1	6", 5", 9"	11 Oak
10	6"	60 Oak
1	7", 9"	16 Oak
6	7"	42 Oak
1	5", 7", 8"	20 Oak
3	12"	36 Oak
4	18"	72 Oak
3	15"	48 Oak
1	12" & 13"	25 Oak
1	12" & 16"	28 Oak
1	4", 5", & 6"	15 Oak
1	7", 8", & 4"	17 Oak
1	4" & 8"	12 Oak
1	17" & 13"	30 Oak
1	20" & 31"	20 Oak
1	4", 5", & 9"	18 Oak
1	9", 10", & (2) 8"	35 Oak
1	4", 4"	8 Oak
1	9" & 8"	17 Oak
8	11"	88 Oak
1	5" & 4"	9 Oak
1	11", 8", & 7"	26 Oak
3	21"	63 Oak
1	12", 15", & 15"	42 Oak
1	10" & 8"	18 Oak
1	7" & 9"	16 Oak
3	(2) 5"	30 Oak
2	20"	40 Oak
1	9"	9 Pine
		1717



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 Lic# 26000950
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FARISH ENTERPRISES
 1616 EAST SEMORAN BOULEVARD
 APOPKA
 FLORIDA

PROJECT NO: 2016-0341
 DATE: 04/11/17
TREE MITIGATION PLAN
L-5
 SHEET: 12 OF 25
 CHECKED: JB DRAWN: JB

INTERPLAN
 ARCHITECTURE
 ENGINEERING
 INTERIOR DESIGN
 PROJECT MANAGEMENT

AA 603420
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DATE: 06/08/18
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Jason P. Bridgewater
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NO	DATE	REVISIONS
3	06/08/18	CEY COMMENTS
2	01/12/18	CEY COMMENTS
1	06/23/17	CEY COMMENTS
	NO DATE	REMARKS

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NO.	DATE	REMARKS
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2	01/12/18	CITY COMMENTS
1	09/25/17	CITY COMMENTS

REVISIONS

FARISH ENTERPRISES

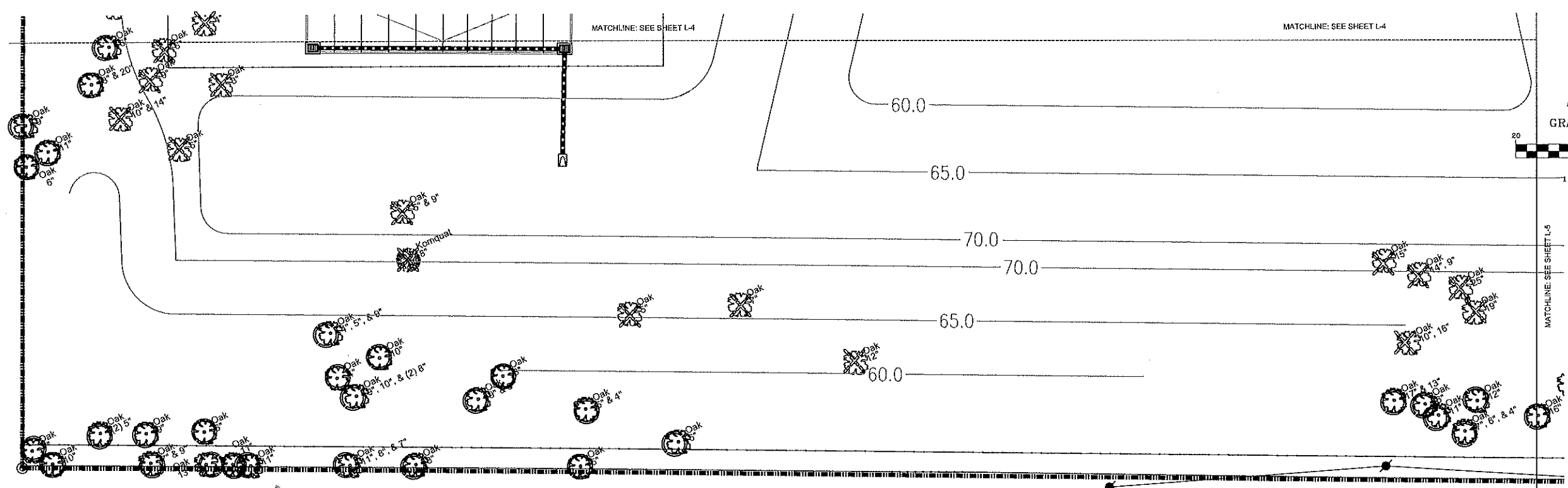
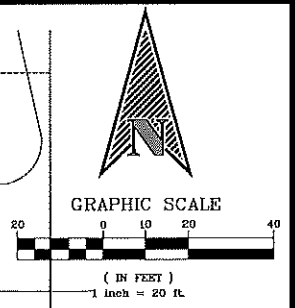
1616 EAST SEMORAN BOULEVARD
APOPKA
FLORIDA

PROJECT NO: 2016.0341
DATE: 04/11/17

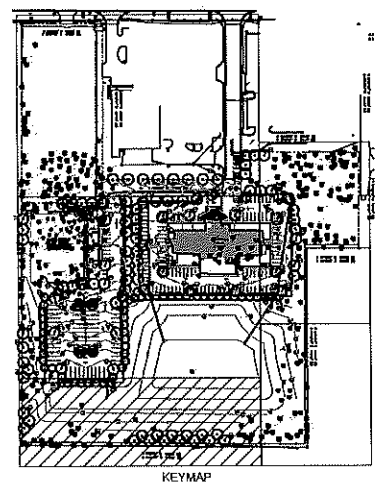
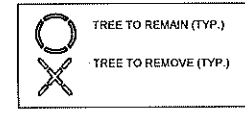
TREE MITIGATION PLAN

L-6

SHEET: 13 OF 25
CHECKED: JB DRAWN: JB



S 89°26'57" E 668.58' (P)
N 89°22'09" W 669.00' (M)



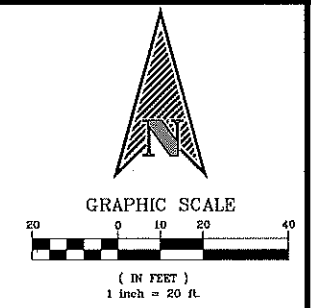
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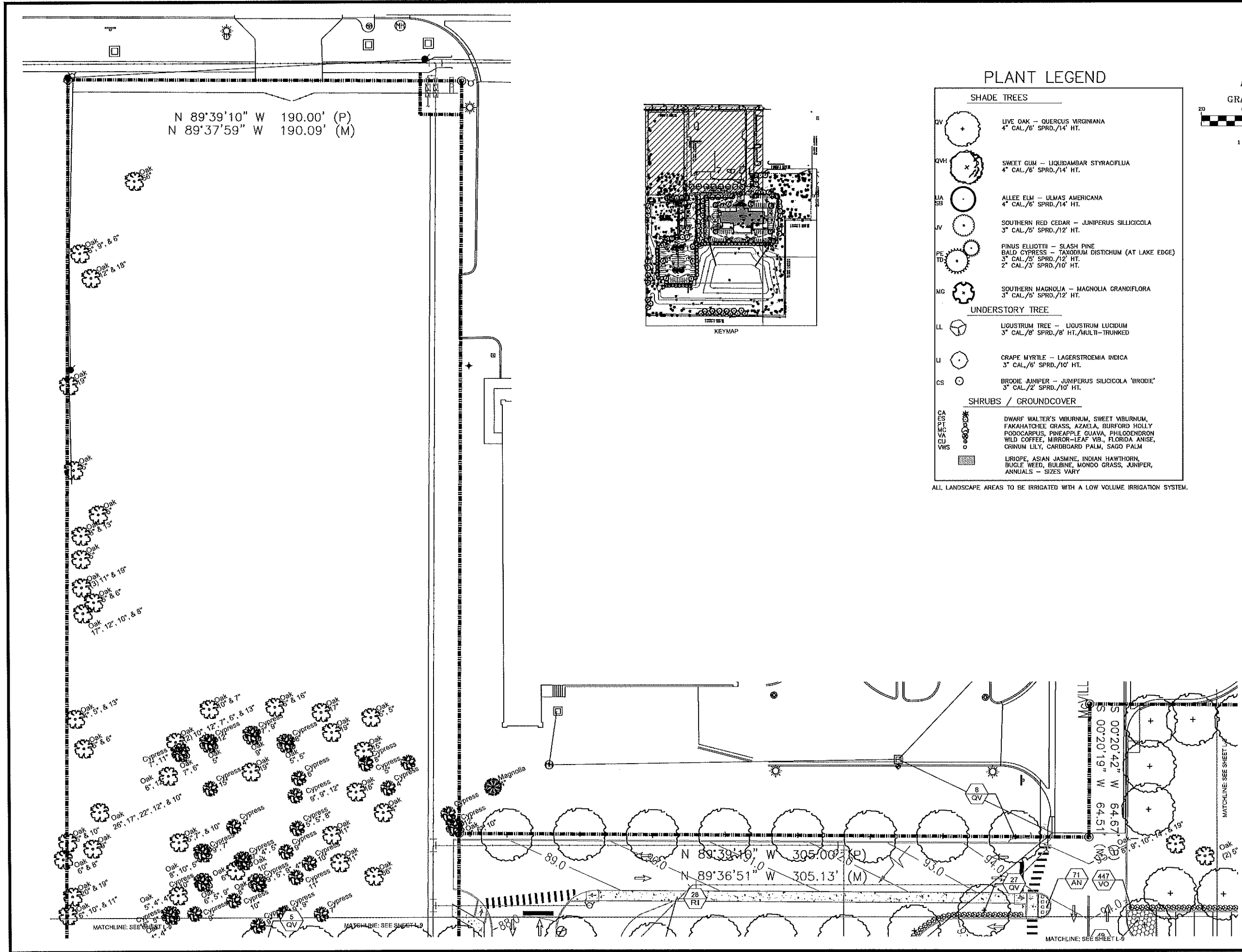
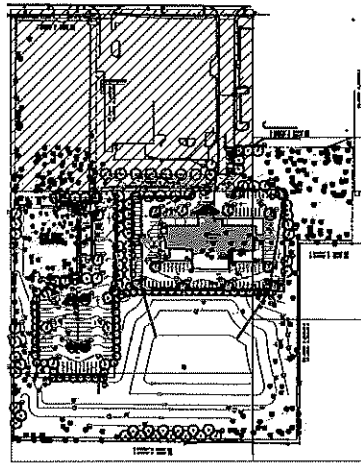
Jason P. Bridgewater
Registered Landscape Architect
FL Registration -LA 6667308



PLANT LEGEND

SHADE TREES	
QV	LIVE OAK - QUERCUS VIRGINIANA 4" CAL./6' SPRD./14' HT.
QVH	SWEET GUM - LIQUIDAMBAR STYRACIFLUA 4" CAL./6' SPRD./14' HT.
JA SB	ALLEE ELM - ULMAS AMERICANA 4" CAL./6' SPRD./14' HT.
JV	SOUTHERN RED CEDAR - JUNIPERUS SILICICOLA 3" CAL./5' SPRD./12' HT.
PE TD	PINUS ELLIOTTI - SLASH PINE BALD CYPRESS - TAXODIUM DISTICHUM (AT LAKE EDGE) 3" CAL./5' SPRD./12' HT. 2" CAL./3' SPRD./10' HT.
MG	SOUTHERN MAGNOLIA - MAGNOLIA GRANDIFLORA 3" CAL./5' SPRD./12' HT.
UNDERSTORY TREE	
LL	LIGUSTRUM TREE - LIGUSTRUM LUCIDUM 3" CAL./8' SPRD./8' HT./MULTI-TRUNKED
U	CRAPE MYRTLE - LAGERSTROEMIA INDICA 3" CAL./6' SPRD./10' HT.
CS	BRODIE JUNIPER - JUNIPERUS SILICICOLA 'BRODIE' 3" CAL./2' SPRD./10' HT.
SHRUBS / GROUNDCOVER	
CA ES PT MC VA GU VWS	DWARF WALTER'S VIBURNUM, SWEET VIBURNUM, FAKAHATCHEE GRASS, AZALEA, BURFORD HOLLY, PODOPHYLLUM, PINEAPPLE GUAVA, PHILLODENDRON, WILD COFFEE, MIRROR-LEAF VB., FLORIDA ANISE, CRINUM LILY, CARDBOARD PALM, SAGO PALM
	LIRIOPE, ASIAN JASMINE, INDIAN HAWTHORN, BUGLE WEED, BULBINE, MONDO GRASS, JUNIPER, ANNUALS - SIZES VARY

ALL LANDSCAPE AREAS TO BE IRRIGATED WITH A LOW VOLUME IRRIGATION SYSTEM.



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FARISH ENTERPRISES

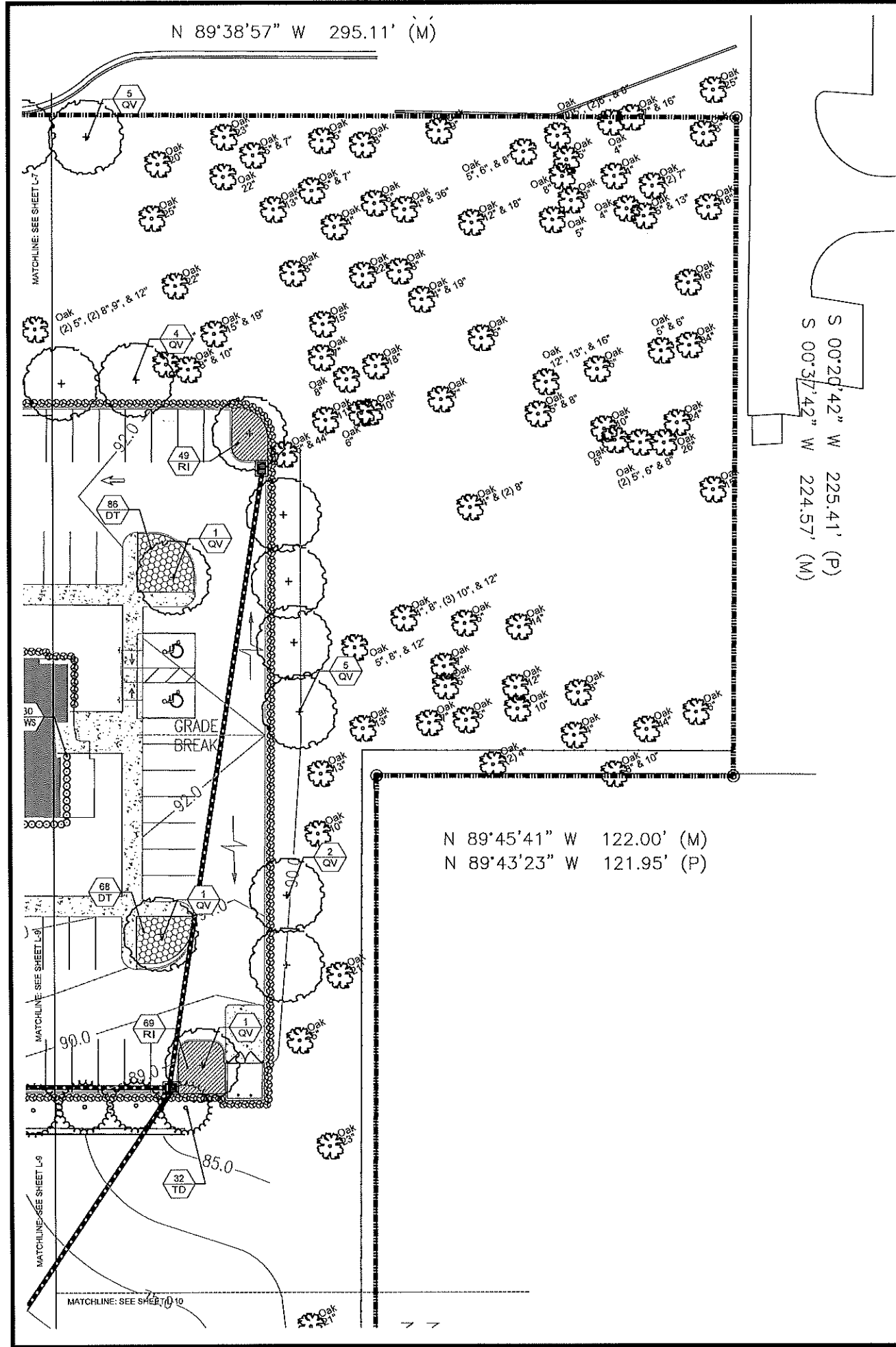
1616 EAST SEMORAN BOULEVARD
APOPKA
FLORIDA

PROJECT NO: 2016.0341
DATE: 04/11/17

LANDSCAPE PLAN

L-7
SHEET 14 OF 25
CHECKED: JB DRAWN: JB

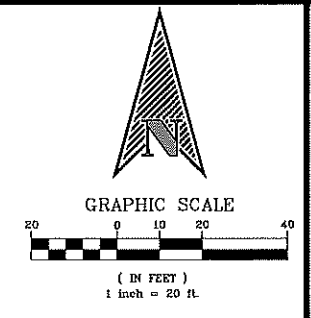
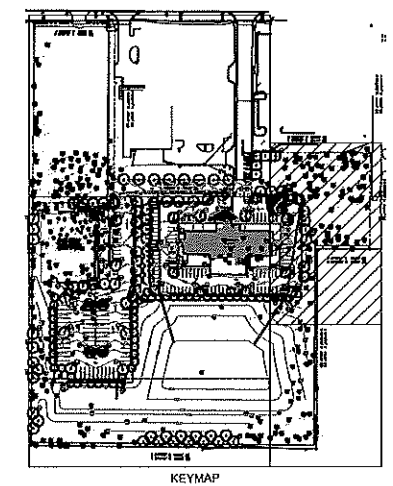
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PLANT LEGEND

SHADE TREES	
QV	LIVE OAK - QUERCUS VIRGINIANA 4" CAL./6' SPRD./14' HT.
QVH	SWEET GUM - LIQUIDAMBAR STYRACIFLUA 4" CAL./6' SPRD./14' HT.
JA SB	ALLEE ELM - ULMUS AMERICANA 4" CAL./6' SPRD./14' HT.
JV	SOUTHERN RED CEDAR - JUNIPERUS SILICICOLA 3" CAL./5' SPRD./12' HT.
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UNDERSTORY TREE	
LL	LIGUSTRUM TREE - LIGUSTRUM LUCIDUM 3" CAL./8' SPRD./8' HT./MULTI-TRUNKED
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SHRUBS / GROUNDCOVER	
CA ES FT MC VC CU WVS	DWARF WALTER'S VIBURNUM, SWEET VIBURNUM, FAKAHATCHEE GRASS, AZAELA, BURFORD HOLLY, PODOCARPUS, PINEAPPLE GUAVA, PHILODENDRON, WILD COFFEE, MIRROR-LEAF VIB., FLORIDA ANISE, CRINUM LILY, CARDBOARD PALM, SAGO PALM LIRIOPE, ASIAN JASMINE, INDIAN HAWTHORN, BUGLE WEED, BULBINE, MONDO GRASS, JUNIPER, ANNUALS - SIZES VARY

ALL LANDSCAPE AREAS TO BE IRRIGATED WITH A LOW VOLUME IRRIGATION SYSTEM.



INTERPLAN

ARCHITECTURE
ENGINEERING
INTERIOR DESIGN
PROJECT MANAGEMENT

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DATE: 06/08/18
SEAL:



Jason P. Bridgewater
Registered Landscape Architect
FL Registration -LA 6657308

NO	DATE	REMARKS
3	06/08/18	CEY COMMENTS
2	01/12/18	CEY COMMENTS
1	09/25/17	CEY COMMENTS

REVISIONS

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LCA# 26000550
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FARISH ENTERPRISES

1616 EAST SEMORAN BOULEVARD
APOPKA
FLORIDA

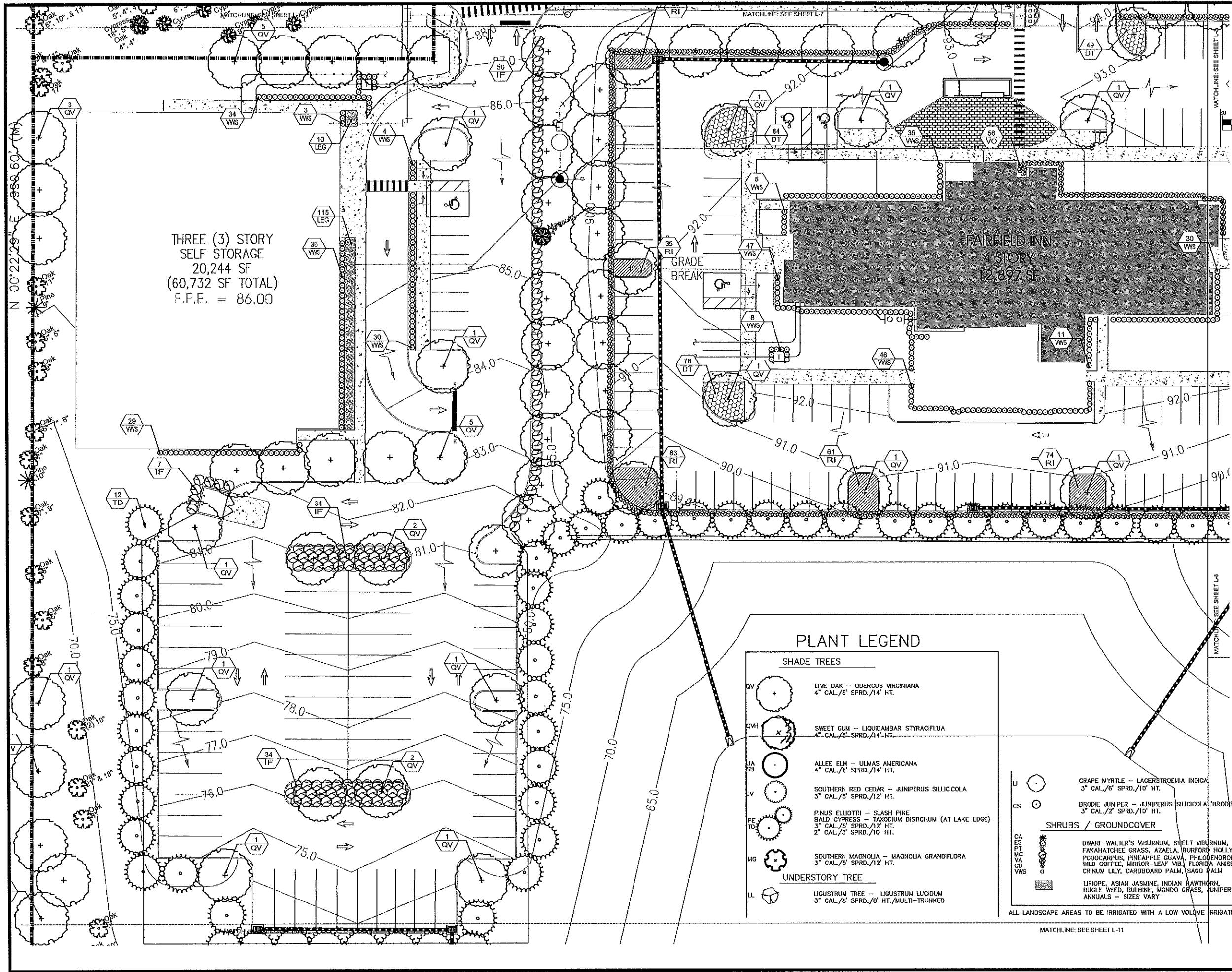
PROJECT NO: 2016.0341
DATE: 04/11/17

LANDSCAPE PLAN

L-8

SHEET 15 OF 25
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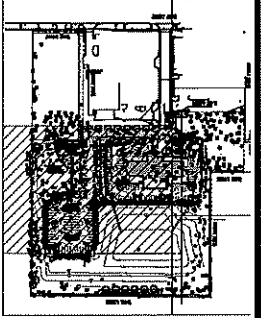
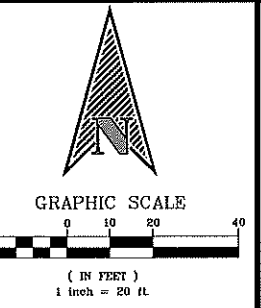
THREE (3) STORY
SELF STORAGE
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(60,732 SF TOTAL)
F.F.E. = 86.00

FAIRFIELD INN
4 STORY
12,897 SF

PLANT LEGEND

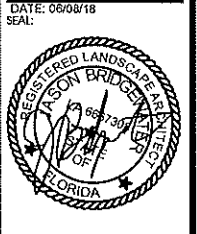
SHADE TREES	
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JA SB	ALLEE ELM - ULMAS AMERICANA 4" CAL./6" SPRD./14' HT.
JV	SOUTHERN RED CEDAR - JUNIPERUS SILICICOLA 3" CAL./5" SPRD./12' HT.
PE TD	PINUS ELLIOTTII - SLASH PINE BALD CYPRESS - TAXODIUM DISTICHUM (AT LAKE EDGE) 3" CAL./5" SPRD./12' HT. 2" CAL./3" SPRD./10' HT.
MG	SOUTHERN MAGNOLIA - MAGNOLIA GRANDIFLORA 3" CAL./3" SPRD./12' HT.
UNDERSTORY TREE	
LL	LIGUSTRUM TREE - LIGUSTRUM LUCIDUM 3" CAL./8" SPRD./8' HT./MULTI-TRUNKED
SHRUBS / GROUNDCOVER	
LI	GRAPE MYRTLE - LAGERSTROEMIA INDICA 3" CAL./6" SPRD./10' HT.
CS	BRODIE JUNIPER - JUNIPERUS SILICICOLA 'BRODIE' 3" CAL./2" SPRD./10' HT.
CA ES PT VC VA CU VWS	DWARF WALTER'S VIBURNUM, SWEET VIBURNUM, FAKAHATCHEE GRASS, AZALEA, BURFORD HOLLY, PODOCARPUS, PINEAPPLE GUAVA, PHLOENDRON, WILD COFFEE, MIRROR-LEAF VIB, FLORIDA ANISE, CRINUM LILY, CARDBOARD PALM, SAGO PALM
	LIRIOPE, ASIAN JASMINE, INDIAN HAWTHORN, BUGLE WEED, BULBINE, MONDO GRASS, JUNIPER, ANNUALS - SIZES VARY

ALL LANDSCAPE AREAS TO BE IRRIGATED WITH A LOW VOLUME IRRIGATION SYSTEM.



INTERPLANS
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ENGINEERING
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Jason P. Bridgewater
Registered Landscape Architect
FL Registration -LA 6667308

NO	DATE	REVISIONS
3	05/08/18	CITY COMMENTS
2	01/12/18	CITY COMMENTS
1	09/25/17	CITY COMMENTS
	NO DATE	REMARKS

FARISH ENTERPRISES

1616 EAST SEMORAN BOULEVARD
APOPKA
FLORIDA

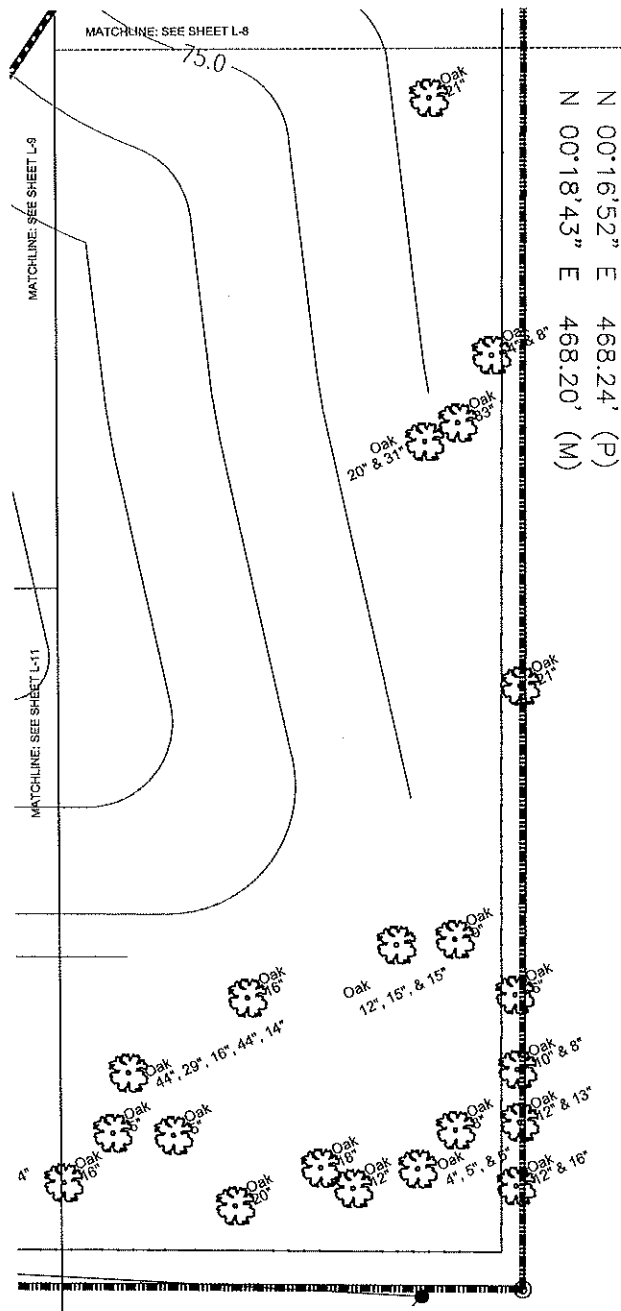
PROJECT NO: 2016.0341
DATE: 04/11/17

LANDSCAPE PLAN

L-9
SHEET 18 OF 25
CHECKED: JB DRAWN: JB

CADSCAPES, INC.
Florida Landscape Architecture Firm
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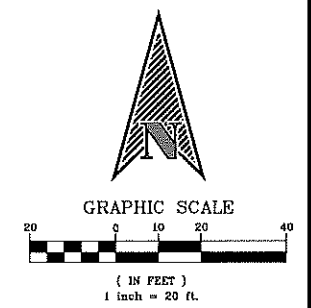
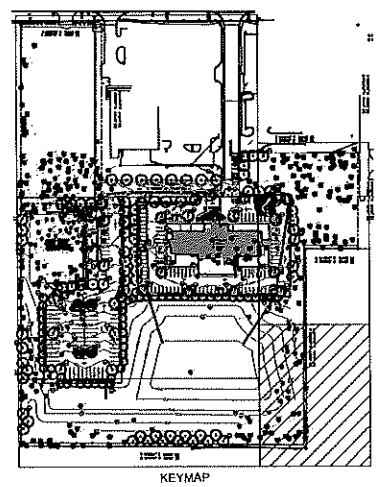


N 00°16'52" E 468.24' (P)
 N 00°18'43" E 468.20' (M)

PLANT LEGEND

SHADE TREES	
QV	LIVE OAK - QUERCUS VIRGINIANA 4" CAL./6" SPRD./14' HT.
QVH	SWEET GUM - LIQUIDAMBAR STYRACIFLUA 4" CAL./6" SPRD./14' HT.
UA SB	ALLEE ELM - ULMAS AMERICANA 4" CAL./6" SPRD./14' HT.
JV	SOUTHERN RED CEDAR - JUNIPERUS SILICICOLA 3" CAL./5" SPRD./12' HT.
PE TD	PINUS ELLIOTTI - SLASH PINE BALD CYPRESS - TAXODIUM DISTICHUM (AT LAKE EDGE) 3" CAL./5" SPRD./12' HT. 2" CAL./3" SPRD./10' HT.
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SHRUBS / GROUNDCOVER	
CA ES PT MC VA CU VWS	DWARF WALTER'S YBURNUM, SWEET YBURNUM, FAKAHATCHEE GRASS, AZAELA, BURFORD HOLLY, PODOPHYLLUM, PINEAPPLE GUAVA, PHILODENDRON, WILD COFFEE, MIRROR-LEAF VIB., FLORIDA ANISE, CRINUM LILY, CARDBOARD PALM, SAGO PALM LIRIOPE, ASIAN JASMINE, INDIAN HAWTHORN, BUGLE WEED, BULBINE, MONDO GRASS, JUNIPER, ANNUALS - SIZES VARY

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INTERPLAN

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DATE: 06/08/18
 SEAL:



Jason P. Bridgewater
 Registered Landscape Architect
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NO	DATE	REMARKS
3	05/09/18	CITY COMMENTS
2	04/12/18	CITY COMMENTS
1	09/25/17	CITY COMMENTS

REVISIONS

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 jasonbridgewater@gmail.com
 LCP# 28000560
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FARISH ENTERPRISES

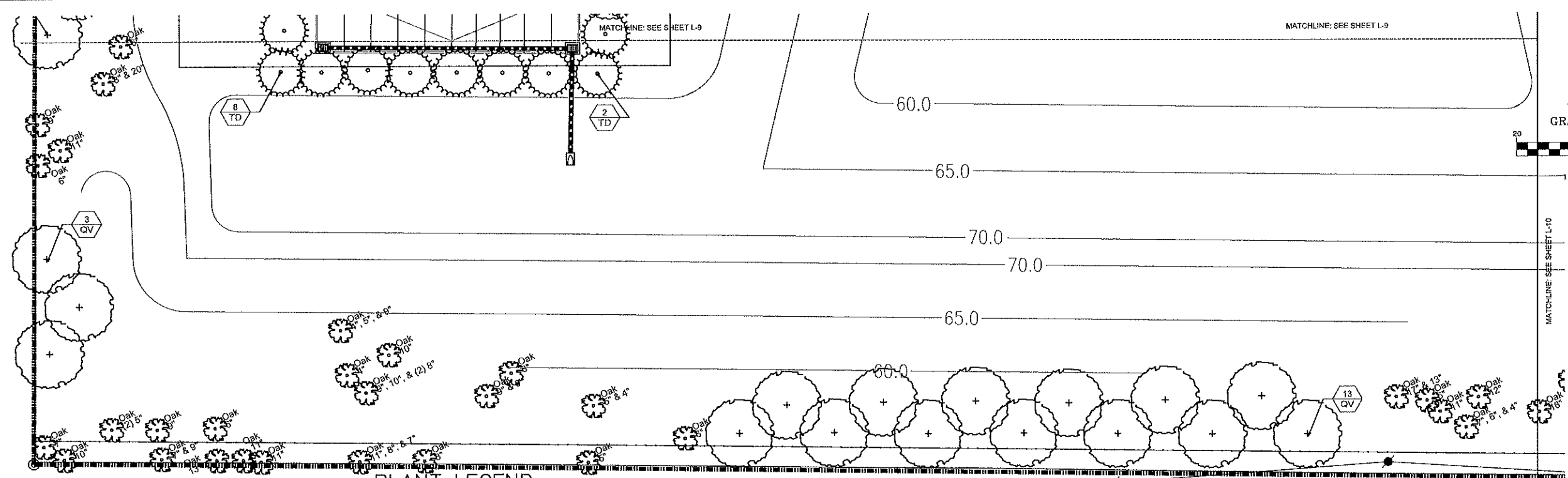
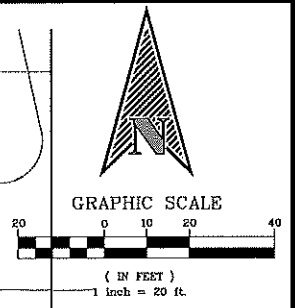
1616 EAST SEMORAN BOULEVARD
 APOPKA
 FLORIDA

PROJECT NO: 2016.0341
 DATE: 04/11/17

LANDSCAPE PLAN

L-10
 SHEET: 17 OF 25
 CHECKED: JB DRAWN: JB

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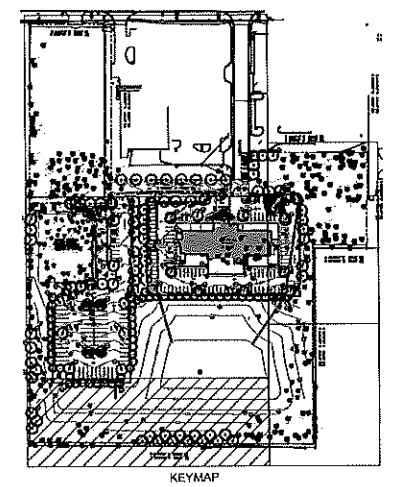


PLANT LEGEND

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	LIRIOPE, ASIAN JASMINE, INDIAN HAWTHORN, BUGLE WEED, BULBINE, MONDO GRASS, JUNIPER, ANNUALS - SIZES VARY

ALL LANDSCAPE AREAS TO BE IRRIGATED WITH A LOW VOLUME IRRIGATION SYSTEM.

S 89°26'57" E 668.58' (P)
N 89°22'09" W 669.00' (M)



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REVISIONS

3	04/08/18	CITY COMMENTS
2	01/12/18	CITY COMMENTS
1	09/25/17	CITY COMMENTS
NO	DATE	REMARKS

FARISH ENTERPRISES
1616 EAST SEMORAN BOULEVARD
APOPKA
FLORIDA

PROJECT NO: 2016.0341
DATE: 04/11/17
LANDSCAPE PLAN
L-11
SHEET: 18 OF 25
CHECKED: JB DRAWN: JB



Jason P. Bridgewater
Registered Landscape Architect
FL Registration -LA 6667308

NO	DATE	REVISIONS
3	06/28/18	CITY COMMENTS
2	07/12/18	CITY COMMENTS
1	09/25/17	CITY COMMENTS
	NO DATE	REMARKS

REVISIONS

FARISH ENTERPRISES

1616 EAST SEMORAN BOULEVARD
APOPKA
FLORIDA

PROJECT NO: 2016.0341
DATE: 04/11/17

LANDSCAPE PLAN

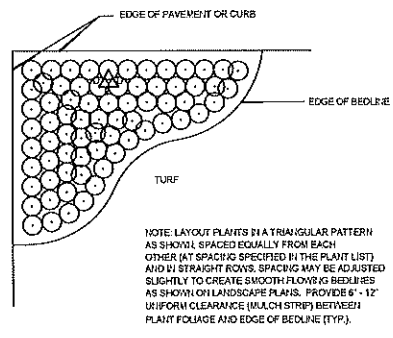
L-12

SHEET: 19 OF 25
CHECKED: JB DRAWN: JB

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LOW 28000550
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SHRUB/GROUNDCOVER SPACING DETAIL
NOT TO SCALE

NOTE: LAYOUT PLANTS IN A TRIANGULAR PATTERN AS SHOWN, SPACED EQUALLY FROM EACH OTHER (AT SPACING SPECIFIED IN THE PLANT LIST) AND IN STRAIGHT ROWS. SPACING MAY BE ADJUSTED SLIGHTLY TO CREATE SMOOTH FLOWING BEDLINES AS SHOWN ON LANDSCAPE PLANS. PROVIDE 6" - 12" UNIFORM CLEARANCE (MULCH STRIP) BETWEEN PLANT FOLIAGE AND EDGE OF BEDLINE (TYP.).

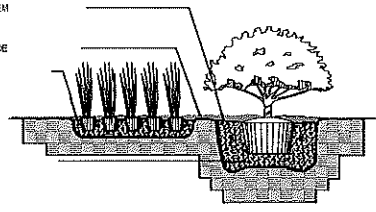
PROVIDE AGRIFORM (20-10-5) FERTILIZER TABLETS AT THE FOLLOWING RATES:
3 GAL/2 TABLETS; 1 GAL/1 TABLET.

PROVIDE 8" MINIMUM CLEARANCE AROUND ROOT BALL (SIDES AND BOTTOM).

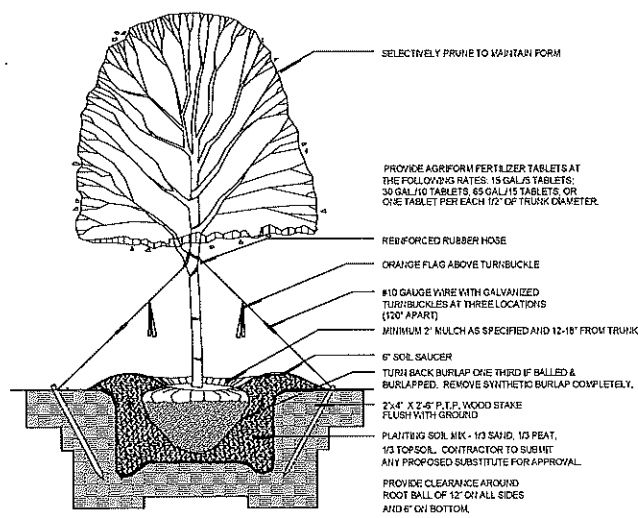
2" MULCH MINIMUM - DO NOT COVER MAIN STEM

SET TOP OF ROOTBALL 1" ABOVE FINISH GRADE
12" MINIMUM DEPTH OF PLANTING SOIL MIX IN SHRUB/GROUNDCOVER PLANTING BEDS.

PLANTING SOIL MIX - 1/3 SAND, 1/3 PEAT, 1/3 TOPSOIL. CONTRACTOR TO SUBMIT ANY PROPOSED SUBSTITUTE FOR APPROVAL.



SHRUB AND GROUNDCOVER PLANTING DETAIL
NOT TO SCALE



TREE PLANTING DETAIL
NOT TO SCALE

PROVIDE AGRIFORM FERTILIZER TABLETS AT THE FOLLOWING RATES: 15 GAL/5 TABLETS; 30 GAL/10 TABLETS; 65 GAL/15 TABLETS; OR ONE TABLET PER EACH 1/2" OF TRUNK DIAMETER.

REINFORCED RUBBER HOSE

ORANGE FLAG ABOVE TURBUCKLE

#10 GAUGE WIRE WITH GALVANIZED TURBUCKLES AT THREE LOCATIONS (120° APART)

MINIMUM 2" MULCH AS SPECIFIED AND 12-18" FROM TRUNK

6" SOIL SAUCER

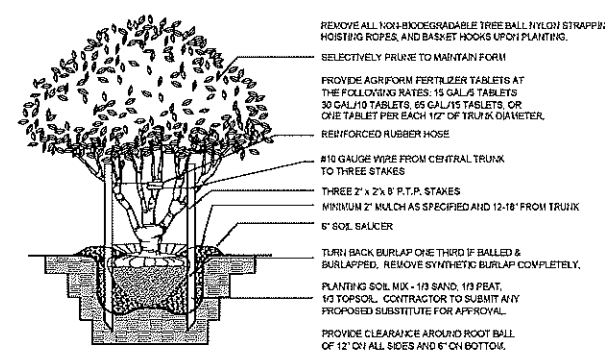
TURF BACK BURLAP ONE THIRD IF BALLED & BURLAPPED. REMOVE SYNTHETIC BURLAP COMPLETELY.

2x4" X 2x2" P.T.P. WOOD STAKE FLUSH WITH GROUND

PLANTING SOIL MIX - 1/3 SAND, 1/3 PEAT, 1/3 TOPSOIL. CONTRACTOR TO SUBMIT ANY PROPOSED SUBSTITUTE FOR APPROVAL.

PROVIDE CLEARANCE AROUND ROOT BALL OF 12" ON ALL SIDES AND 6" ON BOTTOM.

REMOVE ALL NON-BIODEGRADABLE TREE BALL NYLON STRAPPING, HOISTING ROPES, AND BASKET HOOKS UPON PLANTING.



MULTI-TRUNK TREE PLANTING DETAIL
NOT TO SCALE

REMOVE ALL NON-BIODEGRADABLE TREE BALL NYLON STRAPPING, HOISTING ROPES, AND BASKET HOOKS UPON PLANTING.

SELECTIVELY PRUNE TO MAINTAIN FORM

PROVIDE AGRIFORM FERTILIZER TABLETS AT THE FOLLOWING RATES: 15 GAL/5 TABLETS; 30 GAL/10 TABLETS; 65 GAL/15 TABLETS; OR ONE TABLET PER EACH 1/2" OF TRUNK DIAMETER.

REINFORCED RUBBER HOSE

#10 GAUGE WIRE FROM CENTRAL TRUNK TO THREE STAKES

THREE 2" X 2x8" P.T.P. STAKES

MINIMUM 2" MULCH AS SPECIFIED AND 12-18" FROM TRUNK

6" SOIL SAUCER

TURF BACK BURLAP ONE THIRD IF BALLED & BURLAPPED. REMOVE SYNTHETIC BURLAP COMPLETELY.

PLANTING SOIL MIX - 1/3 SAND, 1/3 PEAT, 1/3 TOPSOIL. CONTRACTOR TO SUBMIT ANY PROPOSED SUBSTITUTE FOR APPROVAL.

PROVIDE CLEARANCE AROUND ROOT BALL OF 12" ON ALL SIDES AND 6" ON BOTTOM.

LANDSCAPE PLANTING NOTES:

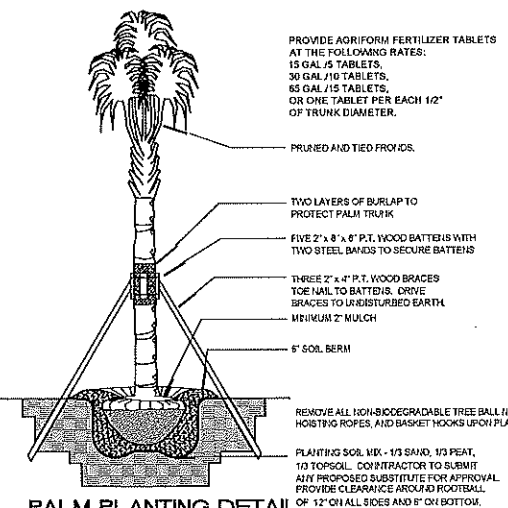
1. ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL FREE OF PESTS AND DISEASES.
2. ALL PLANTS SHALL BE FLORIDA FANCY, AS GRADED IN FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS.
3. ALL PLANTS ARE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT AND OWNER BEFORE, DURING, AND AFTER INSTALLATION.
4. ALL SINGLE-TRUNKED TREES SHALL BE STRAIGHT TRUNKED WITH ONE CENTRAL LEADER AND HAVE A FULL, DENSE CROWN.
5. ALL TREES SHALL BE STAKED AND GUYED AS SHOWN IN PLANTING DETAILS.
6. ALL MULCH PLANTING AREAS SHALL BE A MINIMUM OF 2" IN DEPTH.
7. ALL PLANTING AREAS SHALL HAVE A MINIMUM OF 3" TOPSOIL.
8. ALL TREES SHALL BE FREE OF OPEN WOUNDS AND WOUND SCARS IN THE CLEAR TRUNK AREA.
9. ANY SYNTHETIC BURLAP AND/OR WIRE BASKETS MUST BE TOTALLY REMOVED PRIOR TO INSTALLATION OF PLANT MATERIAL. IF NATURAL BURLAP IS USED, IT MAY BE TURNED DOWN 1/3 OF THE ROOTBALL.
10. CALIPER TO BE MEASURED (6) SIX INCHES ABOVE ROOTBALL.

LANDSCAPE CONTRACTOR NOTES:

1. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING, IN FULL, ALL LANDSCAPE PLANTING AREAS, UNTIL THE JOB IS ACCEPTED IN FULL BY THE OWNER. "IN FULL" MEANS WATERING, PEST CONTROL, MULCHING, MOWING, FERTILIZING AND RESETTING TREES THAT ARE OUT OF PLUMB.
2. THE LANDSCAPE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL INSTALLED PLANT MATERIAL FOR A PERIOD OF ONE CALENDAR YEAR BEGINNING ON THE DATE OF 100% COMPLETION. ANY AND ALL REQUIRED PLANT REPLACEMENTS SHALL BE MADE PROMPTLY AND AT NO ADDITIONAL COST TO THE OWNER.
3. THE LANDSCAPE CONTRACTOR SHALL STAKE THE LOCATIONS OF ALL PLANT MATERIAL AND PLANTING BED LINES FOR REVIEW BY THE LANDSCAPE ARCHITECT AND OWNER.
4. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL WRITTEN PLANT QUANTITIES PRIOR TO INITIATION OF THE WORK. IN THE EVENT THAT THE PLANS CONTRADICT THE PLANT LIST, THE PLANS SHALL RULE.
5. THE LANDSCAPE CONTRACTOR SHALL BE FAMILIAR WITH AND ACCEPT THE EXISTING SITE CONDITIONS PRIOR TO INITIATION OF THE WORK. ANY VARIATION FROM THE SPECIFIED WORK SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
6. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES, DRAINAGE STRUCTURES, CURBS, SIDEWALKS, AND ANY OTHER OBJECTS WHICH MIGHT BE DAMAGED DURING THE WORK.
7. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ANY AND ALL NECESSARY REPAIRS TO DAMAGE CAUSED BY HIS WORK AT NO ADDITIONAL COST TO THE OWNER OR LANDSCAPE ARCHITECT.
8. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, AND FOLLOWING ALL APPLICABLE LOCAL CODES PERTAINING TO THE PROJECT DURING THE COURSE OF HIS WORK.

NOTE: LANDSCAPING AND IRRIGATION PLANS SHALL BE IN ACCORDANCE WITH LDC ARTICLE V, WATER-WISE ORDINANCE NO. 2069.

NOTE: IRRIGATION SYSTEMS ARE TO BE DESIGNED WITH POP-UP TYPE DEVICES ONLY. RISERS ARE NOT ALLOWED. NOTE ON THE IRRIGATION PLAN (LARGE FONT): "IRRIGATION RISERS ARE NOT ALLOWED."



PALM PLANTING DETAIL
NOT TO SCALE

PROVIDE AGRIFORM FERTILIZER TABLETS AT THE FOLLOWING RATES: 15 GAL/5 TABLETS; 30 GAL/10 TABLETS; 65 GAL/15 TABLETS; OR ONE TABLET PER EACH 1/2" OF TRUNK DIAMETER.

PRUNED AND TIED FRONDS

TWO LAYERS OF BURLAP TO PROTECT PALM TRUNK

FIVE 2" X 8" X 8" P.T. WOOD BATTENS WITH TWO STEEL BANDS TO SECURE BATTENS

THREE 2" X 4" P.T. WOOD BRACES TOE NAIL TO BATTENS. DRIVE BRACES TO UNDISTURBED EARTH

MINIMUM 2" MULCH

6" SOIL BERM

REMOVE ALL NON-BIODEGRADABLE TREE BALL NYLON STRAPPING, HOISTING ROPES, AND BASKET HOOKS UPON PLANTING.

PLANTING SOIL MIX - 1/3 SAND, 1/3 PEAT, 1/3 TOPSOIL. CONTRACTOR TO SUBMIT ANY PROPOSED SUBSTITUTE FOR APPROVAL.

PROVIDE CLEARANCE AROUND ROOTBALL OF 12" ON ALL SIDES AND 6" ON BOTTOM.

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LEGEND

- WINDOW TAG
- FINISH TAG
- KEY NOTE

GENERAL NOTES

1. S.O. TO CONTINUE FINISH TO INSIDE CORNER VERSUS FINISH TRANSITIONS AT OUTSIDE CORNER

KEY NOTES

1. TYPICAL GUESTROOM WINDOW @ GROUND FLOOR
2. TYPICAL GUESTROOM WINDOW FOR UPPER FLOOR
3. CHANNEL LETTER SIGNAGE ON SIDES OF BUILDING
4. ALIGN AND COORDINATE REVEALS ALONG FACADE OF BUILDING. SEE ENLARGED DETAILS FOR DIMENSIONS
5. CONTINUE REVEALS ALONG EXTENDED EDGE OF BUILDING
6. SIDE ENTRY CANOPY. SEE ENLARGED ELEVATIONS FOR DETAILS
7. ROOF SHADE CANOPY. SEE SHEET A202 FOR DETAILS
8. WINDOW TO BE "PROSTED" TO CREATE VISUAL SCREEN TO LAUNDRY ROOM. SEE WINDOW SCHEDULE
9. CHANNEL LETTER SIGNAGE AT FRONT OF BUILDING. SEE SIGNAGE MANUAL - EXTERIOR SIGNAGE PACKAGE FOR REQUIREMENTS
10. PTTAC COVER INTEGRAL WITH WINDOW FRAME. FINISH TO MATCH WINDOW FRAME
11. RAIN LEADER OVERFLOW LOCATION

EXTERIOR FINISH KEY

- EF1 PEARLESCENT ACCENT EIFS FINISH
- EF2 DARK EIFS FINISH COLOR
- EF3B ACCENT EIFS COLOR
- EF3C DARK EIFS FINISH COLOR - TEXTURED
- EF3 STAIR TOWER EIFS COLOR
- EF4 MAIN BUILDING EIFS COLOR
- EF4a ACCENT EIFS COLOR
- ST1 CULTURED STONE
- COOPG COPING
- SP1 EXTERIOR ACCENT FINISH AT RAINSCREEN - SOLID FIBREGLASS BOARD SIDING - CEMENT BOARD SIDING (OPTION)
- PT1 PAINT COLOR - ALUM. ROOF SHADE CANOPY & OTHER METAL COPINGS, FASCIA, ETC.

NO DATE REVISIONS

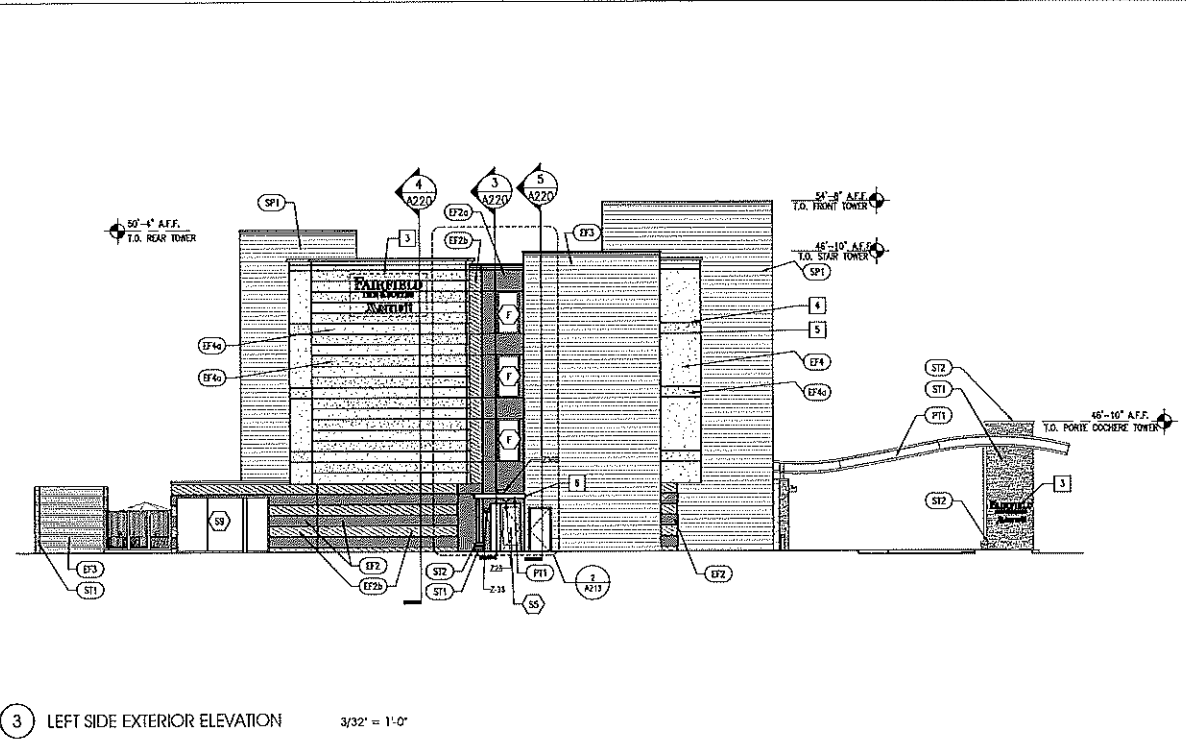
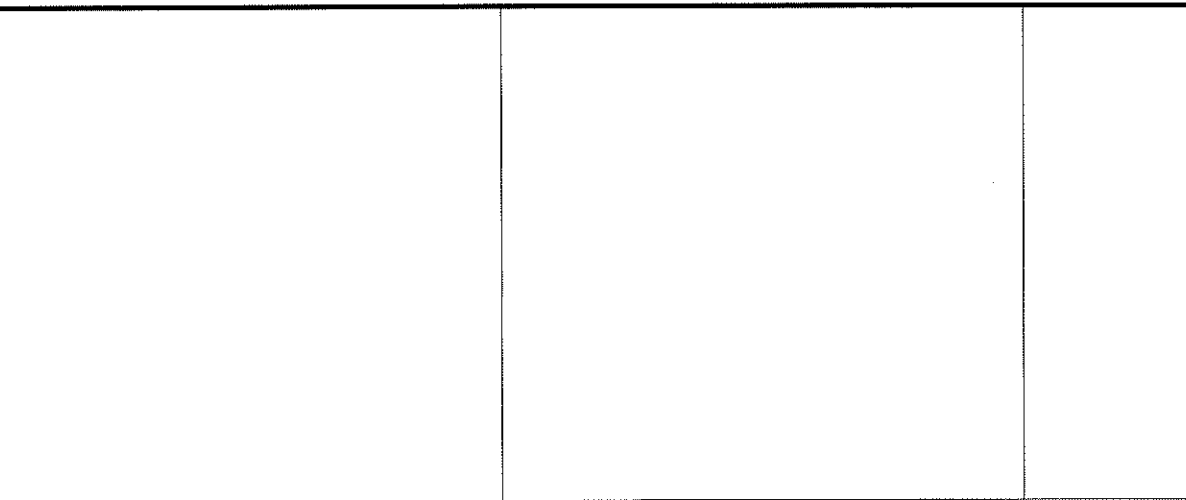
REVISIONS

FAIRFIELD INN & SUITES
Marriott
SR 436 & McVick Ave
Apopka, FL

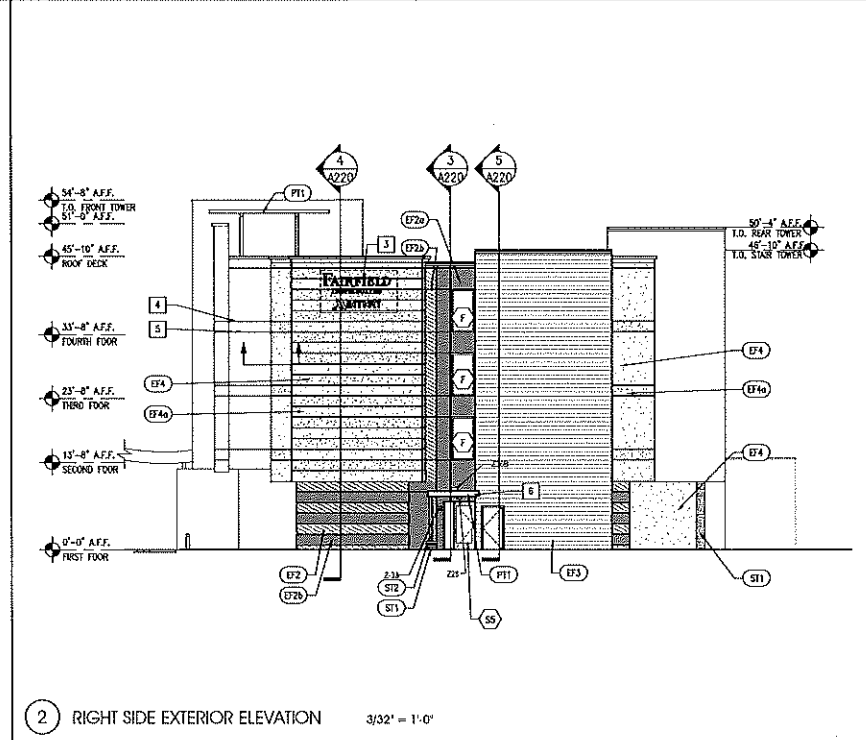
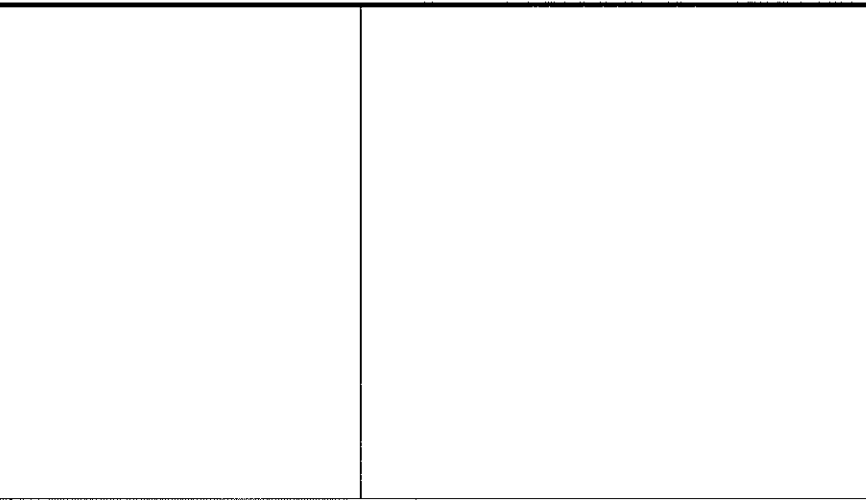
PROJECT NO. 2017 0023
DATE: 07/10/2017

A211
EXTERIOR ELEVATIONS
SHEET 20 OF 25

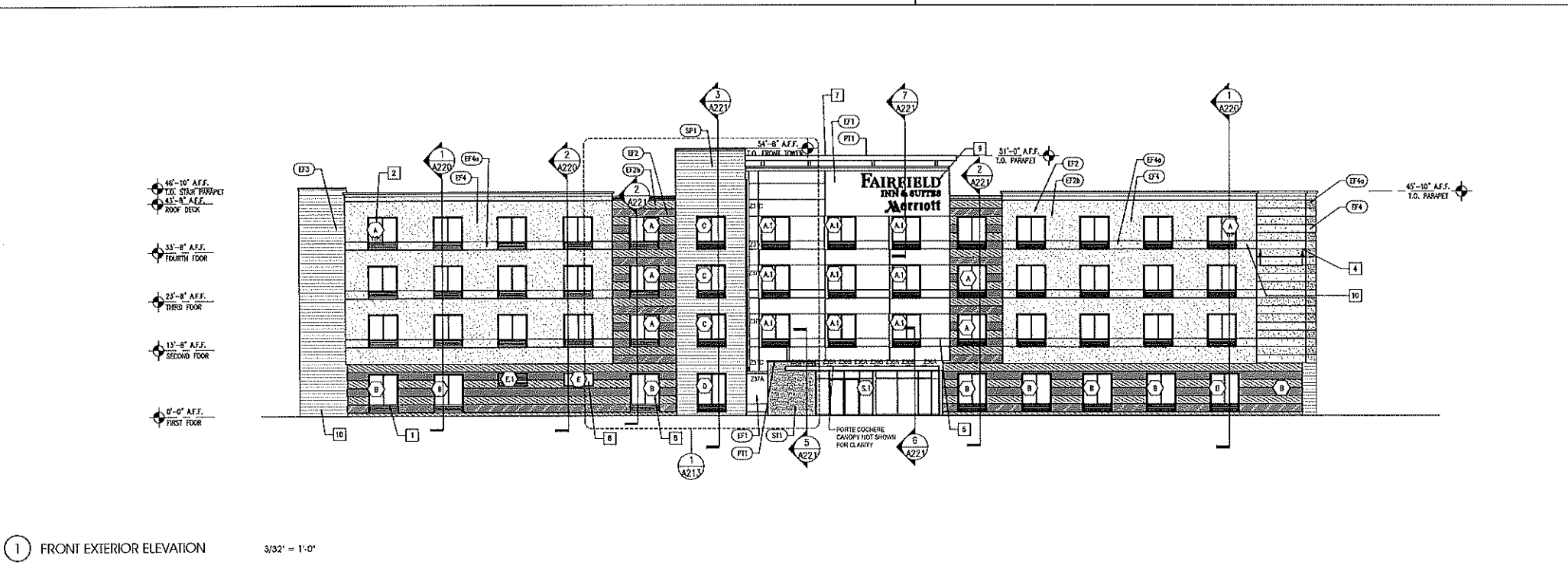
CHECKED: JAM ORRMAN, HS



3 LEFT SIDE EXTERIOR ELEVATION 3/32" = 1'-0"



2 RIGHT SIDE EXTERIOR ELEVATION 3/32" = 1'-0"



1 FRONT EXTERIOR ELEVATION 3/32" = 1'-0"

CONTRACTOR: INTERPLAN ARCHITECTURE, ENGINEERING, INTERIOR DESIGN, PROJECT MANAGEMENT
 CONTRACT NO. 2017 0023
 DATE: 07/10/2017
 PROJECT NO. 2017 0023
 SHEET 20 OF 25
 CHECKED: JAM ORRMAN, HS

FAIRFIELD INN & SUITES - Exterior Finish Index
Gen 4 - Slate Gray Scheme
Issue: December 31, 2016

Item No.	Description	Material	Finish	Notes	Ref.
04 71 00	Manufactured Stone Masonry	Espresso Stone	Pattern: Custom Color: Espresso		
04 72 00	Cast Stone Masonry	Eldorado Stone	Pattern: Custom Color: To match adjacent wall color, as approved by Marriott Representative		
05 00 00	Aluminum	Roof Shade Canopy	Panel: Liquid Fluoropolymer Finish Color: 3666: To Match Bone White (PVD) - PPG #643346 (DuraSeal)		
05 70 00	Aluminum Ratings	Flat	Color: Black Powder Coat		
07 25 10	Exterior Insulation & Finish System	Entry Bay	Control Color: Color: Dryvit #6312 "Weight Gray"		
		Base	Control Color: Color: Dryvit #6312 "Weight Gray" Finish: 2 1/2" thickness System: Ovation Plus MD		
		Side of Entry Bay, Side Entrances	Control Color: Color: Dryvit #6312 "Weight Gray" Finish: 4" thickness System: Ovation Plus MD		
		Accent Texture on Entry Bay Side	Control Color: Color: Dryvit #6312 "Weight Gray" Finish: 2 1/2" thickness System: Ovation Plus MD		3423.4
		Star Tower	Control Color: Color: Dryvit #6312 "Weight Gray" Finish: 2 1/2" thickness System: Ovation Plus MD		
		Main Body	Control Color: Color: Dryvit #6312 "Weight Gray" Finish: 2 1/2" thickness System: Ovation Plus MD		
		Accent Texture	Control Color: Color: Dryvit #6312 "Weight Gray" Finish: 2 1/2" thickness System: Ovation Plus MD		
07 40 50	Solid Phenolic Exterior Wall Panels	Underwalk	Style: Refer to Project Manual Master Color: 0603 X/M" Tonal Pine		16705.1
07 40 65	Fiber Cement Siding	Red Alternates for SPT (A1)	Style: Atlantic Lap Size: 6-1/4" (7" exposure) Color: Painted: Benjamin Moore "Log Cabin 2143-10"		10477.1
07 62 00	Metal Panels	PAC Clad Coping	Color: Match Aluminum Window Color, as approved by Marriott Representative		104. 13-0906. 15
07 72 30	Roof Hatch	None	Color: Match adjacent roof surface color		15110.1
07 80 00	Joint Sealants	Doors and Windows	Color: Match adjacent wall surface color		
08 11 10	Steel Doors	Control Color	Color: Powder Coat		14381.1
08 41 10	Aluminum Framed Entrances and Storefronts	Control Color	Color: Powder Coat		
08 41 20	Automatic Entrance Doors	Control Color	Color: Powder Coat		
08 51 10	Aluminum Windows	Control Color	Color: Powder Coat		15021.1
08 60 00	Glass Color	Color:	Color: Clear		
09 04 20	Linear Metal Ceiling	Color:	Color: White		
09 10 00	Special Coatings	Color:	Color: White		
09 20 00	Exterior Louvers & Grilles	Color:	Color: Match Window Frames		
12 13 10	Impressed Concrete	Color:	Color: Match adjacent surface as approved by Owner's Representative		
12 35 30	Exterior Concrete Post Deck and Patio	Color:	Color: Match adjacent surface as approved by Owner's Representative		
12 31 20	Wood Fences & Gates	Color:	Color: Natural Cedar Finish		



2 REAR EXTERIOR 3D VIEW 3/32" = 1'-0"

LEGEND

- WINDOW TAG
- FINISH TAG
- KEY NOTE

INTERPLAN

ARCHITECTURE
ENGINEERING
INTERIOR DESIGN
PROJECT MANAGEMENT
AA 003420
CA 95600
604 COURTLAND STREET
SUITE 100
ORLANDO, FLORIDA 32804
PH 407 645 5008
FX 407 629 9124

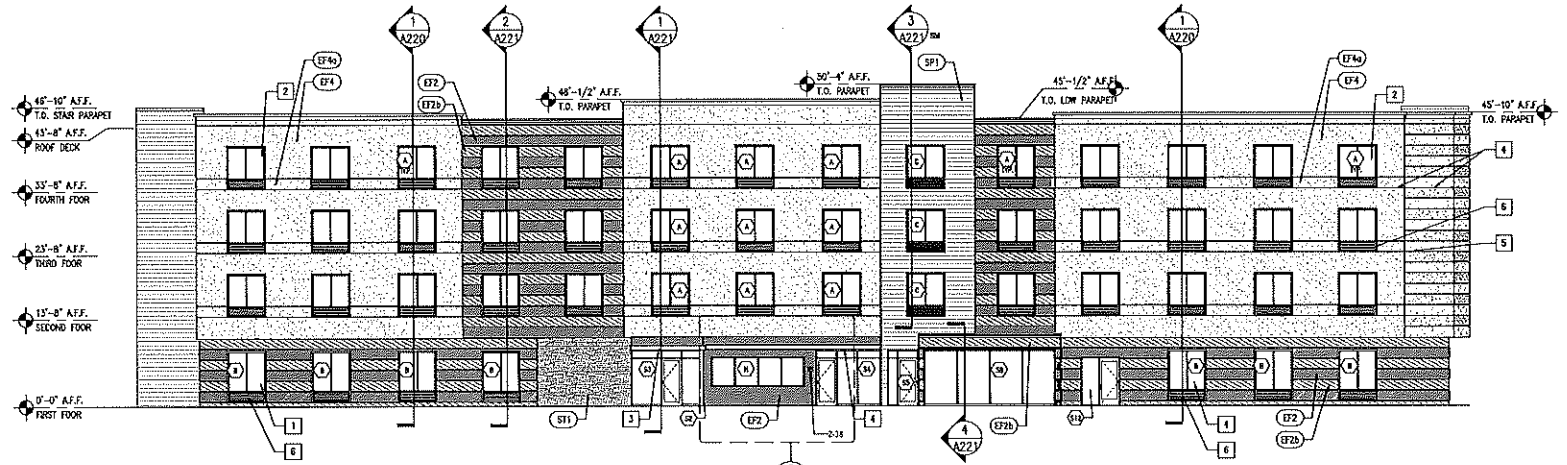
SEAL:
THESE DOCUMENTS HAVE BEEN EXAMINED AND FOUND TO BE IN ACCORDANCE WITH THE PROFESSIONAL SEALING REQUIREMENTS OF THE BOARD OF PROFESSIONAL ENGINEERS AND ARCHITECTS OF THE STATE OF FLORIDA.

GENERAL NOTES

1. O.C. TO CONTRAST FINISH TO INSIDE CORNER VERSUS FINISH TRANSITIONS AT OUTSIDE CORNER.

KEY NOTES

1. TYPICAL GUESTROOM WINDOW @ GROUND FLOOR
2. TYPICAL GUESTROOM WINDOW FOR UPPER FLOOR
3. LOUVERED SUNSHADE, WAFES CAN BE REVERSED LUM SHADE
4. ALSO ARE COORDINATE REVEALS ALONG FACIAGE OF BUILDING. SEE ENLARGED DETAILS FOR DIMENSIONS
5. COINTIVE REVEALS ALONG EXTENDED EDGE OF BUILDING
6. PTAC COVER INTEGRATE WITH WINDOW FRAME FINISH TO MATCH WINDOW FRAME



1 REAR EXTERIOR ELEVATION 3/32" = 1'-0"

EXTERIOR FINISH KEY

- EP1 PEARLESCEENT ACCENT EPS FINISH
- EP2 DARK EPS FINISH COLOR
- EP3 ACCENT EPS COLOR
- EP4 DARK EPS FINISH COLOR - TEXTURED
- EP5 STAR TOWER EPS COLOR
- EP6 MAIN BUILDING EPS COLOR
- EP7 ACCENT EPS COLOR
- EP8 CULTURED STONE
- EP9 COPING
- EP10 EXTERIOR ACCENT FINISH AT RAINFOREST - SOLID PHENOLIC BOARD Siding - CEMENT BOARD Siding (OPTION)
- EP11 PAINT COLOR - ALUM ROOF SHADE CANOPY & OTHER METAL COPINGS, FASCIA, ETC

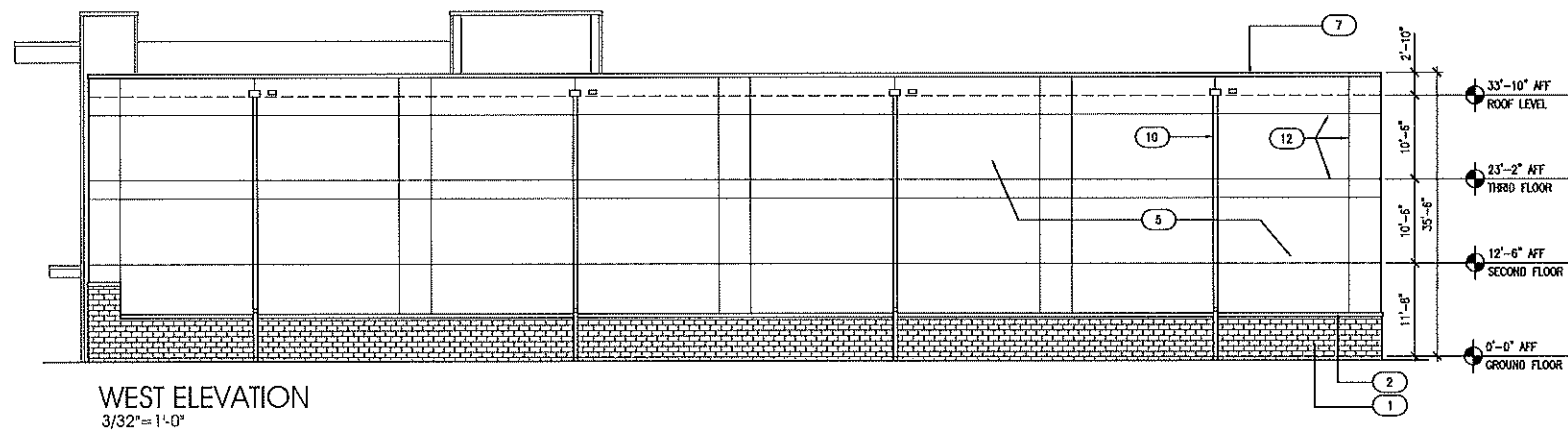
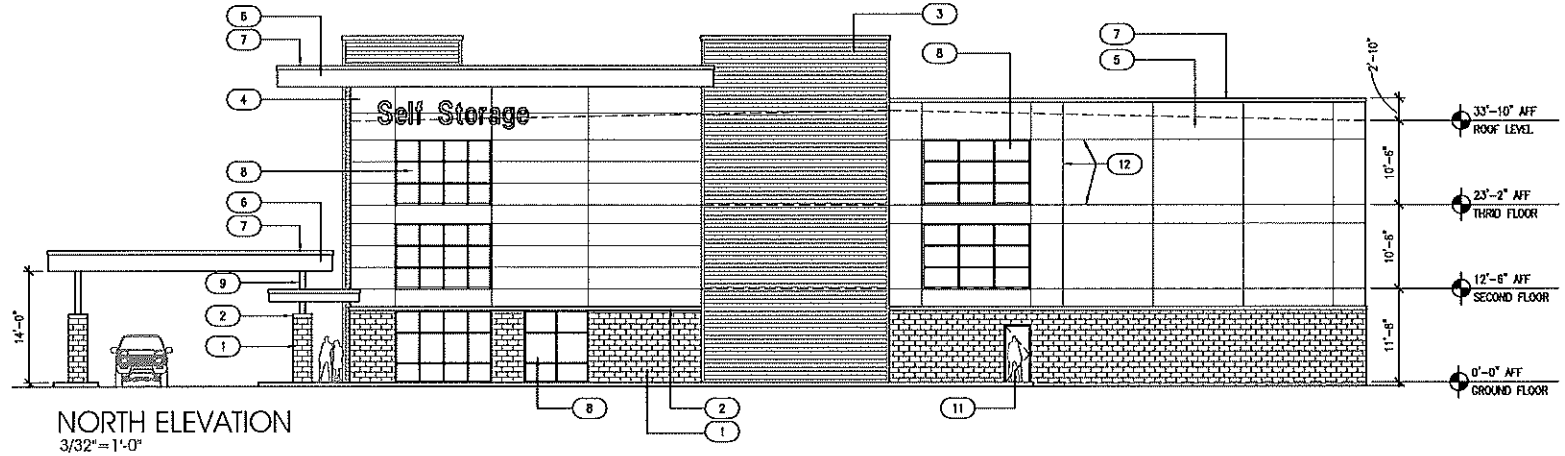
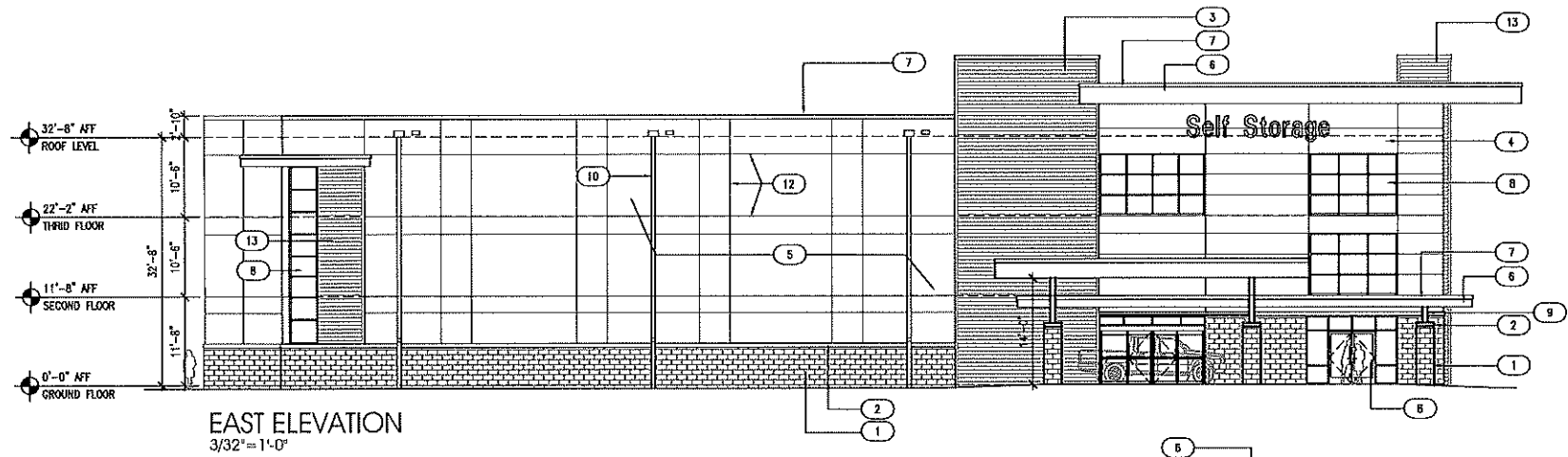
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REVISIONS

FAIRFIELD INN & SUITES
Marriott
SR 436 & McVie Ave
Apopka, FL

PROJECT NO. 2017 0023
DATE: 02/10/2017

A212
EXTERIOR ELEVATIONS
SHEET 21 OF 25

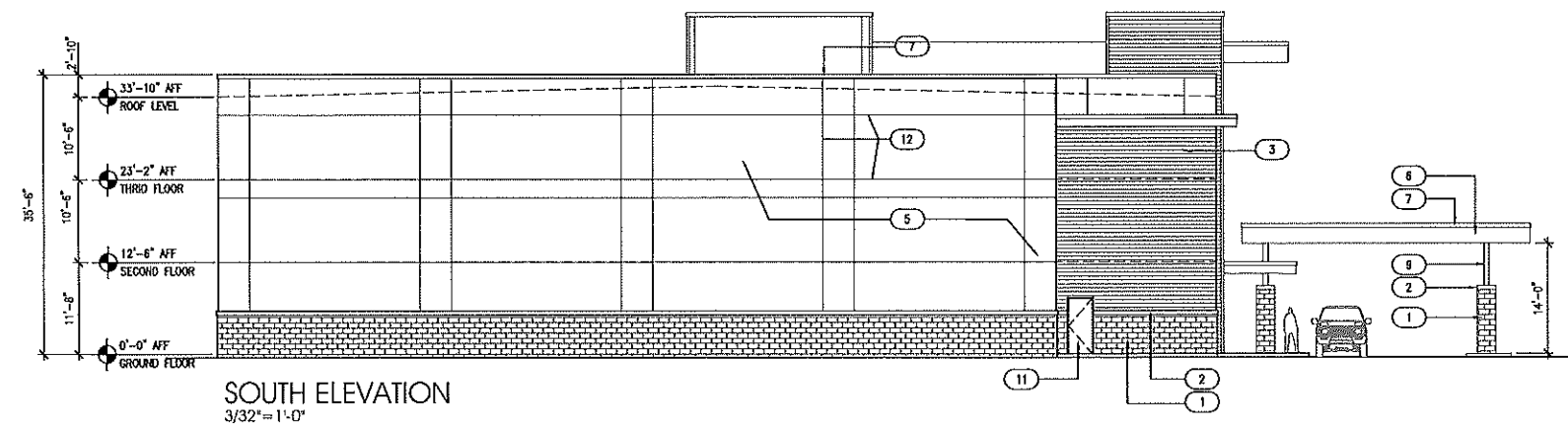
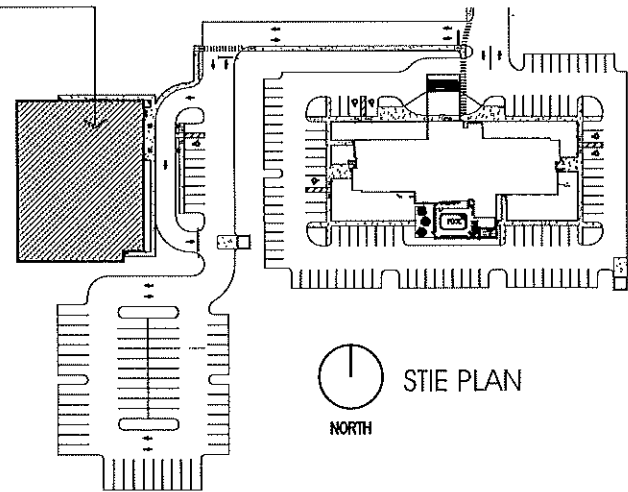
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KEY	MATERIAL	FINISH/COLORS	COMMENTS
1	CONCRETE BLOCK WITH PAINT FINISH	SHERWIN WILLIAMS: BLACK FOX 7820	BLACKISH
2	EIPS BAND	SHERWIN WILLIAMS: EIDER WHITE 7814	OFF-WHITE
3	METAL SIDING	SHERWIN WILLIAMS: FLYWAY 6784	BLUE
4	EIPS WALL FINISH	SHERWIN WILLIAMS: ESSENTIAL GRAY 6862	GRAY
5	EIPS WALL FINISH	SHERWIN WILLIAMS: EIDER WHITE 7814	OFF-WHITE
6	EIPS ACCENT BANDING AND CANOPY FINISH	SHERWIN WILLIAMS: DARK ROOM 7883	BLACK
7	METAL COPING	SHERWIN WILLIAMS: GAUNTLET GRAY 7819	GRAY
8	ALUMINUM STOREFRONT	DARK BRONZE	DARK BRONZE
9	STEEL COLUMN	DARK BRONZE	GRAY
10	METAL DOWN SPOUTS	SHERWIN WILLIAMS: GAUNTLET GRAY 7819	GRAY
11	HOLLOW METAL EGRESS DOOR	SHERWIN WILLIAMS: EIDER WHITE 7814	OFF-WHITE
12	EIPS SCORE LINE	NA	NA

1 4-23-18 PLANNING COMMENTS
NO DATE REVISIONS
REVISIONS

SELF STORAGE BUILDING
THREE STORIES
20,244 SF PER FLOOR
60,732 GSF



FARISH
ENTERPRISES

1616
East Semoran Blvd
Apopka, Florida

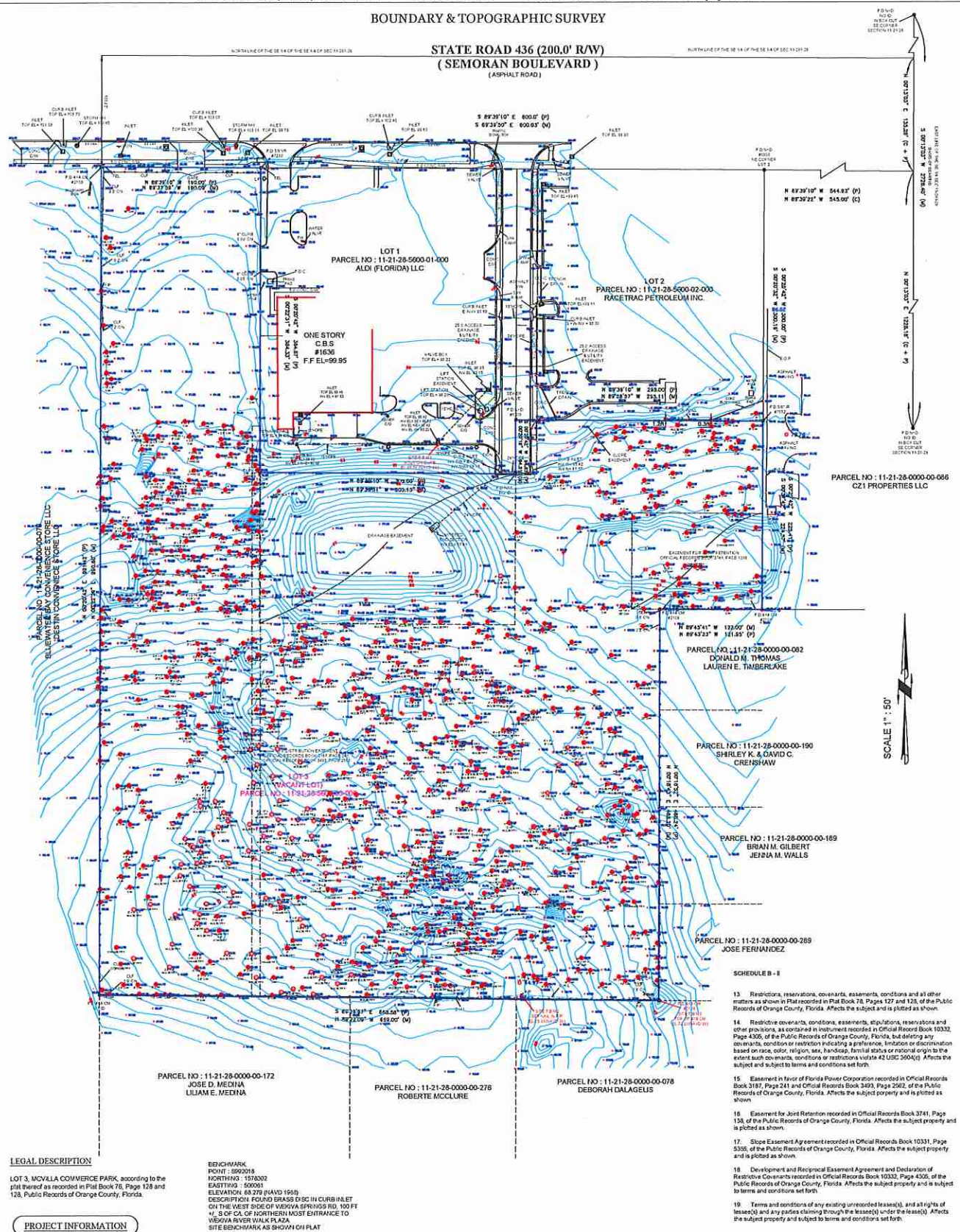
PROJECT NO: 2017.0253
DATE: 4-13-18

A0.1

PRELIMINARY
EXTERIOR ELEVATIONS
PAGE 22 OF 25
CHECKED: DRAWN:

BOUNDARY & TOPOGRAPHIC SURVEY

STATE ROAD 436 (200.0' R/W) (SEMORAN BOULEVARD) (ASPHALT ROAD)



PARCEL NO: 11-21-28-0000-00-066 C21 PROPERTIES LLC

PARCEL NO: 11-21-28-0000-00-082 DONALD M. THOMAS LAUREN E. TIMBERLAKE

PARCEL NO: 11-21-28-0000-00-190 SHIRLEY K. & DAVID C. CRENSHAW

PARCEL NO: 11-21-28-0000-00-169 BRIAN M. GILBERT JEAN M. WALLS

PARCEL NO: 11-21-28-0000-00-269 JOSE FERNANDEZ

PARCEL NO: 11-21-28-0000-00-172 JOSE D. MEDINA LILIAM E. MEDINA

PARCEL NO: 11-21-28-0000-00-276 ROBERTE MCCLEURE

PARCEL NO: 11-21-28-0000-00-078 DEBORAH DALAGELUS

- SCHEDULE B - I
13. Reservations, reservations, covenants, easements, conditions and all other matters as shown in Plat recorded in Plat Book 78, Pages 127 and 128, of the Public Records of Orange County, Florida. Affects the subject and is plotted as shown.
14. Restorative covenants, conditions, easements, stipulations, reservations and other provisions, as combined in instrument recorded in Official Record Book 10332, Page 4306, of the Public Records of Orange County, Florida, but deleting any easements, conditions or restrictions indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status or national origin to the extent such easements, conditions or restrictions violate 42 USC 3604(d). Affects the subject and subject to terms and conditions set forth.
15. Easement in favor of Florida Power Corporation recorded in Official Records Book 3187, Page 241 and Official Records Book 3493, Page 2562, of the Public Records of Orange County, Florida. Affects the subject property and is plotted as shown.
16. Easement for Joint Retention recorded in Official Records Book 3741, Page 134, of the Public Records of Orange County, Florida. Affects the subject property and is plotted as shown.
17. Slope Easement Agreement recorded in Official Records Book 10331, Page 5350, of the Public Records of Orange County, Florida. Affects the subject property and is plotted as shown.
18. Development and Reciprocal Easement Agreement and Declaration of Restorative Covenants recorded in Official Records Book 10332, Page 4305, of the Public Records of Orange County, Florida. Affects the subject property and is subject to terms and conditions set forth.
19. Terms and conditions of any existing unrecorded lease(s), and all rights of lease(s) and any parties claiming through the lease(s) under the lease(s). Affects the subject property and subject to terms and conditions set forth.

LEGAL DESCRIPTION

LOT 3, MCVILLA COMMERCE PARK, according to the plat thereof as recorded in Plat Book 78, Pages 128 and 129, Public Records of Orange County, Florida.

BENCHMARK POINT: 8902018 NORTHING: 1576302 EASTING: 500951 ELEVATION: 48.278 (DAVID 1949) DESCRIPTION: FOUND GRASS DISC IN CURB ALLEY ON THE WEST SIDE OF MEDINA SPRINGS RD 100 FT +/- S OF CL OF NORTHERN MOST ENTRANCE TO WEDIVA RIVER WALK PLAZA. SITE BENCHMARK AS SHOWN ON PLAT

PROJECT INFORMATION

Bearings shown herein are based on the East line of the SE 1/4 of Section 11-21-28 as being S 00° 13'03" W per Plat.
Field Date : 06/30/16
Date Completed : 07/05/16
Revised Date : 03/09/17 Topographic Survey

Property Address : 1616 E. SEMORAN BLVD APOPKA, FL 32703.
SURVEY NO: VS 1656

FLOOD ZONE INFORMATION: Community: 120160 Panel: 0140 Suffix: F F.J.R.M. Date: 09/25/2009 Flood Zone: X

LEGEND

Table with columns for symbols and descriptions: Survey Lines, Property Lines, Easements, etc.

Surveyor's Notes

- 1. The survey is based on the legal description as shown on the plat.
2. The survey is based on the benchmark as shown on the plat.
3. The survey is based on the topographic map as shown on the plat.
4. The survey is based on the aerial photograph as shown on the plat.
5. The survey is based on the ground truth as shown on the plat.
6. The survey is based on the ground truth as shown on the plat.
7. The survey is based on the ground truth as shown on the plat.
8. The survey is based on the ground truth as shown on the plat.
9. The survey is based on the ground truth as shown on the plat.
10. The survey is based on the ground truth as shown on the plat.

SURVEYOR'S CERTIFICATION

This survey is made for the benefit of Earth Enterprise, L.L.C., Fred Oates, Mark Johnson, P.L.L., William L.P., Anantharam The Resource Company and DM Property National Title Insurance Company.
This is to certify that this is a true and correct survey as shown on the plat and that the survey was made in accordance with the 2011 Minimum Standards and Ethical Requirements for ALTA and NSPS Land Title Surveys jointly authored and adopted by ALTA and NSPS.
The accuracy of this survey is to be ascertained from the actual instrument recorded in the Public Records of Orange County, Florida.
Date of Plat or Map: 07/05/16
Survey No.: VS1656 Topographic Survey

RECEIVED
OCT 13 2017

FAIRFIELD
INN & SUITES
Marriott



LEGEND

- WINDOW TAG
- FINISH TAG
- KEYNOTE

GENERAL NOTES

1. O.C. TO CONTIGUOUS FINISH TO INSIDE CORNER VERSUS FINISH TRACKS AT OUTSIDE CORNER.

KEY NOTES

1. TYPICAL GUESTROOM WINDOW @ GROUND FLOOR
2. TYPICAL GUESTROOM WINDOW FOR UPPER FLOOR
3. CHANNEL LETTER SIGNAGE ON SIDES OF BUILDING
4. ALIGN AND COORDINATE REVEALS ALONG FACADE OF BUILDING. SEE ENLARGED DETAILS FOR DIMENSIONS.
5. CONTIGUOUS REVEALS ALONG EXTENDED EDGE OF BUILDING
6. SIDE ENTRY CANOPY. SEE SHEET A212 FOR DETAILS
7. ROOF SHADE CANOPY. SEE SHEET A212 FOR DETAILS
8. WINDOW TO BE "PROTECTED" TO CREATE VISUAL SCREEN TO LAUNDRY ROOM. SEE WINDOW SCHEDULE.
9. CHANNEL LETTER SIGNAGE AT FRONT OF BUILDING. SEE SIGNAGE MANUAL - EXTERIOR SIGNAGE PACKAGE FOR REQUIREMENTS
10. PTAC COVER INTEGRAL WITH WINDOW FRAME FINISH TO MATCH WINDOW FRAME
11. RAILEDGE OVERFLOW LOCATION

NO DATE REVISIONS
REVISIONS

EXTERIOR FINISH KEY

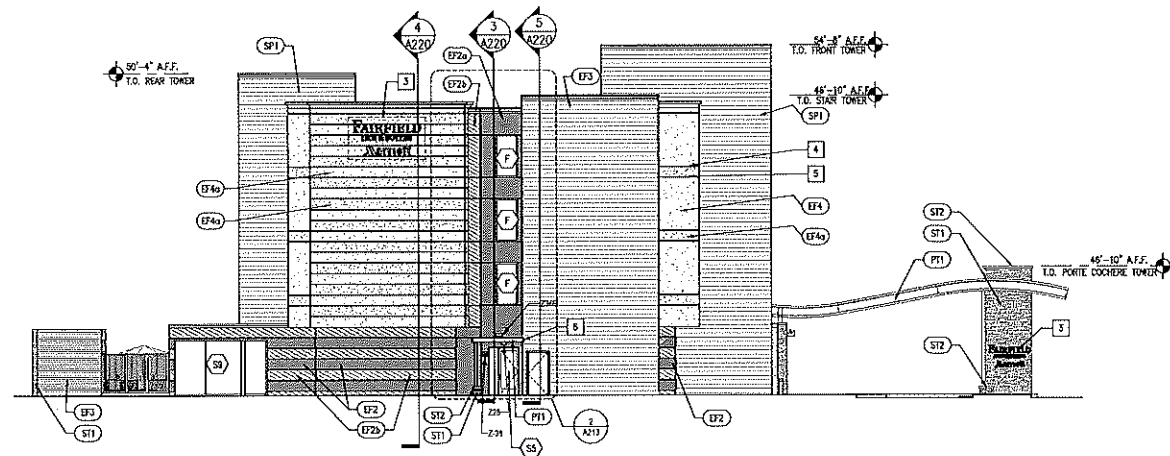
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- EF2 DARK EIFS FINISH COLOR
- EF3 ACCENT EIFS COLOR
- EF3a DARK EIFS FINISH COLOR - TEXTURED
- EF3b STAIR TOWER EIFS COLOR
- EF4 MASH BUILDING EIFS COLOR
- EF4a ACCENT EIFS COLOR
- ST1 CULTURED STONE
- ST2 COPING
- SP1 EXTERIOR ACCENT FINISH AT RAINSCREEN - SOLID PHENOLIC BOARD SYSTEM - CEMENT BOARD SUBSTRATE (OPTION)
- PT1 PAINT COLOR - ALUM. ROOF SHADE CANOPY & OTHER METAL COPINGS, FASCIA, ETC.

FAIRFIELD
INN & SUITES
Marriott

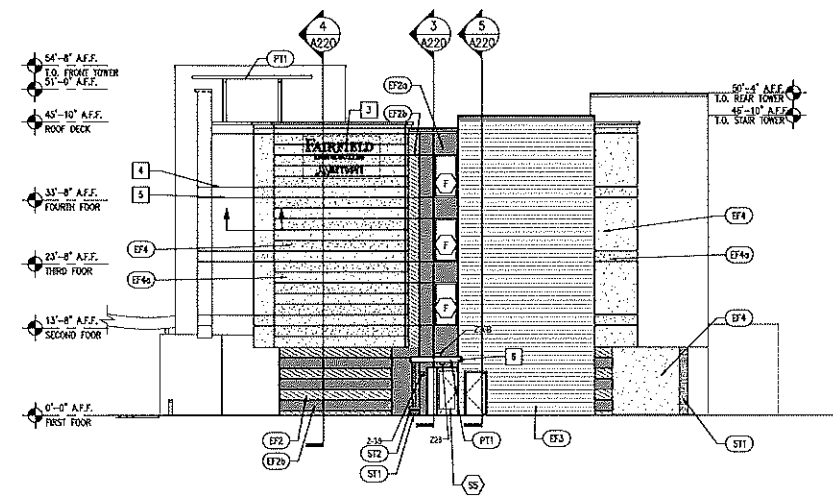
58436 & McVida Ave
Apopka, FL

PROJECT NO: 2017.0023
DATE: 07/10/2017

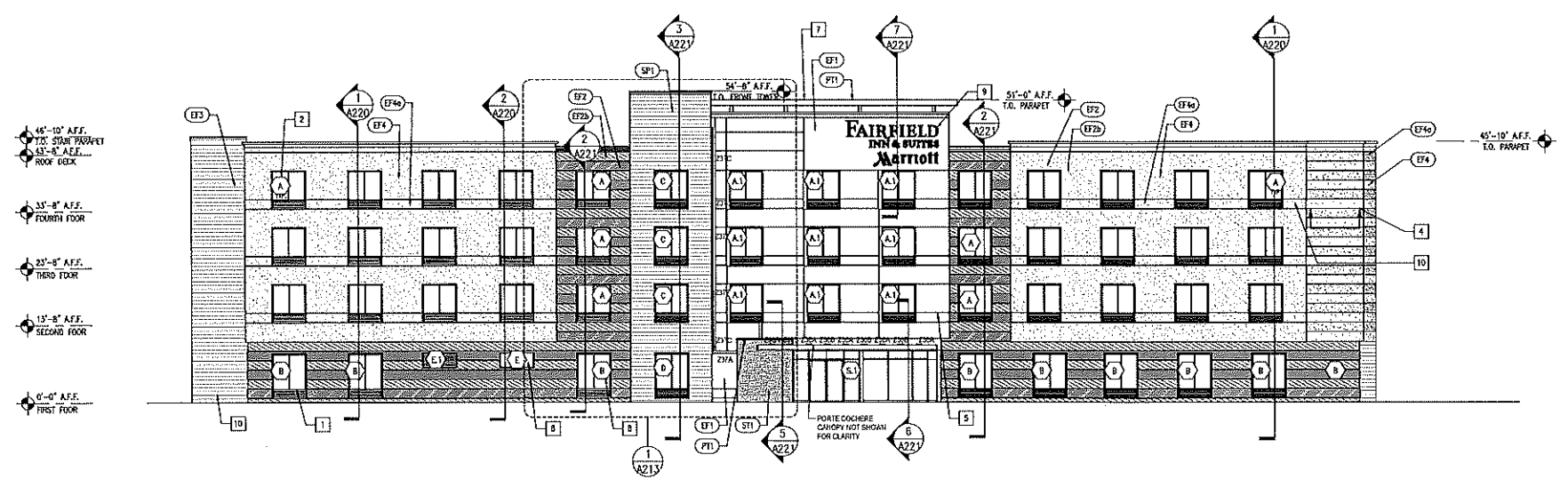
A211
EXTERIOR ELEVATIONS
SHEET 20 OF 25
CHECKED: JAM ORLANDO, FL



3 LEFT SIDE EXTERIOR ELEVATION 3/32" = 1'-0"



2 RIGHT SIDE EXTERIOR ELEVATION 3/32" = 1'-0"

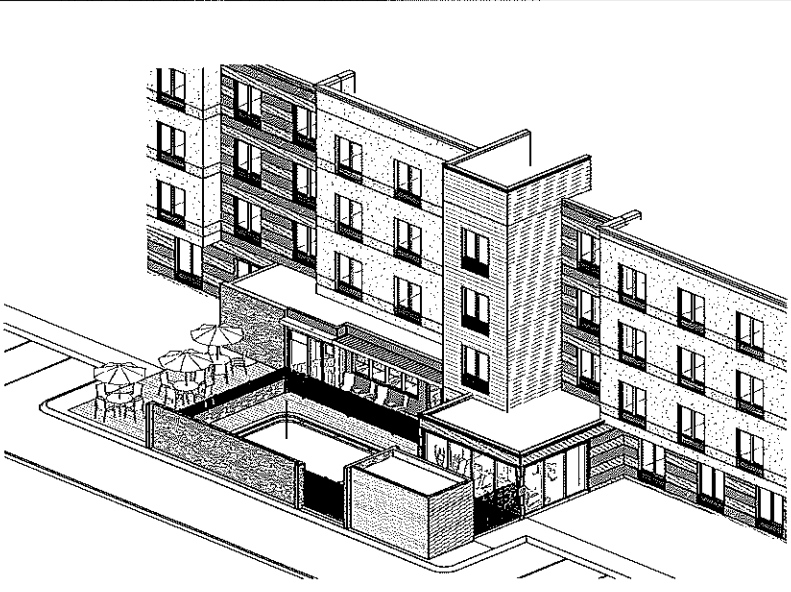


1 FRONT EXTERIOR ELEVATION 3/32" = 1'-0"

INTERPLAN ARCHITECTURE, ENGINEERING, INTERIOR DESIGN, PROJECT MANAGEMENT, 404 COLTRAND STREET, SUITE 100, ORLANDO, FLORIDA 32804, PH 407.655.5008, FX 407.629.9124

FAIRFIELD INN & SUITES - Exterior Finish Index
Gen 4 - Slate Gray Scheme
Issue: December 31, 2016

Item #	Description	Material	Finish	Notes	Quantity
04 71 00	Manufactured Stone Masonry	EIF1	Exterior Wall	Color: Slate Gray	
04 72 00	Cast Stone Masonry	S31	Exterior Lobby Parapet Surround	Color: Slate Gray	
06 50 00	Aluminum	P11	Roof Shade Canopy	Color: MA68 - To Match Stone White (PVDI) - PPG RUC43188 (Bureau)	
06 73 00	Aluminum Railings	RF1	Pool	Color: Black Powder Coat	
07 25 18	Exterior Insulation & Finish System	EF1	Entry Bay	Color: Dyrn #8212 "Twilight Gray"	
		EF2	Base	Color: MAFA 31 1356 "Twilight Gray" Texture: "Stone" Hydrophobic Water Repellent System Oxidation Plus MD	
		EF2a	Side of Entry Bay, Side Entrances	Color: Benjamin Moore "Deep Space 2125-20" Texture: Sandpiper System: Oxidation Plus MD	
		EF2b	Accent Texture on Entry Bay Side	Color: Benjamin Moore "Gray Shower 2125-20" Texture: Sandpiper System: Oxidation Plus MD	3429.4
		EF3	Star Tower	Color: Benjamin Moore "New Chestnut AC-6" Texture: Sandpiper System: Oxidation Plus MD	
		EF4	Main Body	Color: Benjamin Moore "Fossil Buff HC-35" Texture: Sandpiper System: Oxidation Plus MD	
		EF4a	Accent Texture	Color: Benjamin Moore "Wilmington Tan HC-34" Texture: Sandpiper System: Oxidation Plus MD	
07 42 53 01	Solid Phenolic Exterior Wall Panels	SF1	FunctionMAX	Color: White to Drawings Rise: Rise to Project Manual Master Color: 0803 XMI Tyrol Pine	16705.1
07 46 46	Fiber Cement Siding	SF1 (ALT)	James Hardie	Style: Atlantic Lap	14071.1
07 63 00	Metal Façade Metal Copings	PAC Clad Copings	PAC Clad Copings	Color: Match Aluminum Window Color, as approved by Marriott Representative Color: Match Aluminum Window Color, as approved by Marriott Representative	NOA: 13-0008 15
07 72 33	Roof Hatch			Color: Match adjacent roof surface color	16110.1
07 80 00	Door Schedules			Color: Match adjacent wall surface color	
08 11 13	Steel Frames			Color: Painted, to match adjacent surface, to be approved by Owner's Representative	
08 41 13	Aluminum-Framed Entrances and Storefronts	Kenner T-100 Vana-Gate 4511	Control Color Powder Coat	Color: Painted, to match adjacent surface, to be approved by Owner's Representative Color: AAMA 2605; Custom Color to match Aluminum Window Color, as approved by Marriott Representative (Polyester Similar to Emvirocon 4) (Note: Clear or Color Anodized Finish NOT permitted) Color: AAMA 2605; Custom Color to match Aluminum Window Color, as approved by Marriott Representative (PVDF Similar to Coralon) (Note: Clear or Color Anodized Finish NOT permitted) Color: AAMA 2605; Custom Color to match Aluminum Window Color, as approved by Marriott Representative (PVDF Similar to Acrymat) (Note: Clear or Color Anodized Finish NOT permitted) Color: AAMA 2605; Custom Color to match Aluminum Window Color, as approved by Marriott Representative (PVDF Similar to Duranox) (Note: Clear or Color Anodized Finish NOT permitted) Color: AAMA 2605; Custom Color to match Aluminum Window Color, as approved by Marriott Representative (PVDF Similar to Duranox) (Note: Clear or Color Anodized Finish NOT permitted) Color: AAMA 2605; Custom Color to match Aluminum Window Color, as approved by Marriott Representative (PVDF Similar to Duranox) (Note: Clear or Color Anodized Finish NOT permitted)	34381.1
08 42 29	Automatic Entrance Doors	Starley Access Technologies, LLC Dura-Gate Series 2000	Control Color Powder Coat	Color: Painted, to match adjacent surface, to be approved by Owner's Representative Color: AAMA 2605; Custom Color to match Aluminum Window Color, as approved by Marriott Representative (Polyester Similar to Emvirocon 4) (Note: Clear or Color Anodized Finish NOT permitted) Color: AAMA 2605; Custom Color to match Aluminum Window Color, as approved by Marriott Representative (PVDF Similar to Coralon) (Note: Clear or Color Anodized Finish NOT permitted) Color: AAMA 2605; Custom Color to match Aluminum Window Color, as approved by Marriott Representative (PVDF Similar to Acrymat) (Note: Clear or Color Anodized Finish NOT permitted) Color: AAMA 2605; Custom Color to match Aluminum Window Color, as approved by Marriott Representative (PVDF Similar to Duranox) (Note: Clear or Color Anodized Finish NOT permitted) Color: AAMA 2605; Custom Color to match Aluminum Window Color, as approved by Marriott Representative (PVDF Similar to Duranox) (Note: Clear or Color Anodized Finish NOT permitted)	
08 51 13	Aluminum Windows	TRACO TR600 (PAV-SHEER)	Control color Powder coat	Color: Painted, to match adjacent surface, to be approved by Owner's Representative Color: AAMA 2605; Custom Color to match Aluminum Window Color, as approved by Marriott Representative (Polyester Similar to Emvirocon 4) (Note: Clear or Color Anodized Finish NOT permitted) Color: AAMA 2605; Custom Color to match Aluminum Window Color, as approved by Marriott Representative (PVDF Similar to Coralon) (Note: Clear or Color Anodized Finish NOT permitted) Color: AAMA 2605; Custom Color to match Aluminum Window Color, as approved by Marriott Representative (PVDF Similar to Acrymat) (Note: Clear or Color Anodized Finish NOT permitted) Color: AAMA 2605; Custom Color to match Aluminum Window Color, as approved by Marriott Representative (PVDF Similar to Duranox) (Note: Clear or Color Anodized Finish NOT permitted) Color: AAMA 2605; Custom Color to match Aluminum Window Color, as approved by Marriott Representative (PVDF Similar to Duranox) (Note: Clear or Color Anodized Finish NOT permitted)	16021.1
08 60 00	Glass Color			Color: Clear	
09 34 23	Linear Metal Ceiling	Porta Cochere		Color: White	
09 56 00	Special Coatings	Pipe Bolts Exterior Steel Rainage (Stairs & Ramp)		Color: Safety Yellow Color: White	
09 60 23	Exterior Louvers & Onits	PTAC Flu/Flashing around PTAC louvers All Other Louvers & Onits Flu/Flashing around louvers & onits		Color: Match Window Frames Color: Match Window Frames Color: Match Window Frames Color: Match adjacent surface as approved by Owner's Representative	
09 13 13	Impressed Concrete	Outdoor Pool Deck and Patio	Sunkat	Texture: Classic Texture Color: To match lobby tile as approved by Marriott Pattern: 6" x 12" Ashes to match Lobby tile See Drawings	
		Accent Fining at Porta Cochere	Sunkat	Texture: Classic Texture, Antique Shading Color: To match color of Lobby Tile, as approved by Owner's Representative Pattern: 6" custom length planks to match Lobby Tile	
09 35 36	Exterior Concrete Pool Deck and Patio	Outdoor Pool Deck and Patio	Sunkat	Texture: Classic Texture Color: Stone White (Hard) & Pewter Gray (Accent)	
09 31 29	Wood Fences & Gates	Wood Trash Enclosure		Color: Natural Cedar Finish	



2 REAR EXTERIOR 3D VIEW 3/32" = 1'-0"



1 REAR EXTERIOR ELEVATION 3/32" = 1'-0"

LEGEND

- WINDOW TAG
- FINISH TAG
- KEY NOTE

GENERAL NOTES

1. O.C. TO CONTINUE FINISH TO INSIDE CORNER VERSUS FINISH TRANSITIONS AT CORNER CORNER

KEY NOTES

1. TYPICAL GUESTROOM WINDOW @ GROUND FLOOR
2. TYPICAL GUESTROOM WINDOW FOR UPPER FLOOR
3. LOWERED SUNSHADE, MAPES CAN'T LEVERED LUM SHADE
4. ALSO AND COORDINATE REVEALS ALONG FACADE OF BUILDING SEE ENLARGED DETAILS FOR DIMENSIONS
5. CONTINUE REVEALS ALONG EXTENDED EDGE OF BUILDING
6. FINISH LOWER INTEGRAL WITH WINDOW FRAME FINISH TO MATCH WINDOW FRAME

EXTERIOR FINISH KEY

- EIF1 REAR EXTERIOR ACCENT EIFS FINISH
- EIF2 DARK EIFS FINISH COLOR
- EIF20 ACCENT EIFS COLOR
- EIF25 DARK EIFS FINISH COLOR - TEXTURED
- EIF3 STAR TOWER'S COLOR
- EIF4 MAIN BUILDING EIFS COLOR
- EIF60 ACCENT EIFS COLOR
- S1 CULTURED STONE
- S71 COPINGS
- SPT1 EXTERIOR ACCENT FINISH AT RAINSCREEN
* SOLID FIBREGLASS BOARD S7103
* CEMENT BOARD S605 (OPTION)
- P11 PAINT COLOR - ALUM. ROOF SHADE CANOPY & OTHER METAL COPINGS, FASCIA, ETC.

INTERPLAN

ARCHITECTURE
ENGINEERING
INTERIOR DESIGN
PROJECT MANAGEMENT
AA 003430
CA 94560
604 COURTLAND STREET
SUITE 100
ORLANDO, FLORIDA 32804
PH 407.643.5608
FX 407.629.9124

SEAL:
THESE DRAWINGS & NOT FOR CONSTRUCTION
UNLESS THE ARCHITECT OR ENGINEER'S
TOP PROPER SEAL APPEARS BELOW.

NO DATE REVISIONS
REVISIONS

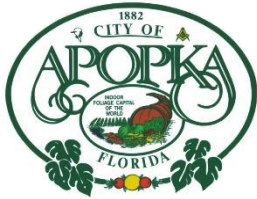
**FAIRFIELD
INN & SUITES
Marriott.**
SR 436 & McVie Ave
Apopka, FL

PROJECT NO: 2017-0023
DATE: 07/10/2017

A212
EXTERIOR ELEVATIONS
SHEET 21 OF 26

CHECKED: JAM DROWN: HS

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CITY OF APOPKA PLANNING COMMISSION

PUBLIC HEARING
 SITE PLAN
 SPECIAL REPORTS
 OTHER: Final Development Plan

MEETING OF: July 10, 2018
FROM: Community Development
EXHIBITS: Vicinity Map
Aerial Map
Final Development Plan
Architectural Elevations

SUBJECT: FINAL DEVELOPMENT PLAN – GREATER FAITH WORLD CENTER, INC., PHASE 1

REQUEST: RECOMMEND APPROVAL OF THE FINAL DEVELOPMENT PLAN FOR GREATER FAITH WORLD CENTER, INC., PHASE 1 LOCATED AT 700 VICK ROAD

SUMMARY:

OWNER: Center of Faith Church, Inc.
APPLICANT/ENGINEER: Kenneth H. Ehlers, P.E.
LOCATION: 700 Vick Road
PARCEL ID #: 04-21-28-0000-00-027
FLUM DESIG.: Institutional/Public Use
ZONING: PO/I (Professional Office/Institutional District)
EXISTING USE: Church
PROPOSED USE: Church
TRACT SIZE: 3.25 +/- acres
BUILDING SIZE: 10,669 square foot church

DISTRIBUTION

Mayor Nelson
Commissioners
City Administrator
Community Development Director

Finance Director
HR Director
IT Director
Police Chief

Public Services Director
Recreation Director
City Clerk
Fire Chief

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North	Institutional/Public Use	PO/I (Professional Office/Institutional District)	Martin Street/Apopka High School
East	Low Density Residential	R-1A (Residential Single-Family District)	Church
South	Medium Density Residential	R-3 (Residential Multiple-Family District)	Martin Place subdivision
West	Low Density Residential	PUD (Planned Unit Development)	Vick Road/Parkside at Errol Estates, Phase 3

ADDITIONAL COMMENTS: The applicant has submitted a Final Development Plan for a 10,669 square foot church. The subject property is located at 700 Vick Road, at the northeast corner of the intersection of Martin Street and Vick Road, south of Apopka High School. The subject property is approximately 3.25 acres in size and is zoned PO/I (Professional Office/Institutional District). The Final Development Plan is for Phase 1 of the Greater Faith World Center church. Phases II and III appear on the development plan for information and planning purposes only, and will require a Final Development Plan approval from the City Council at such time each phase moves forward. There is an existing two-story residence on the property that will be used as a parsonage.

PARKING: A total of 106 parking spaces will be provided for the church building. Five parking spaces are reserved as a handicapped parking spaces.

ACCESS: Access to the site is provided via a full access point located on Martin Street which lines up with the high school entrance, and a right-in/right-out on Martin Street, approximately 120-feet west of the right-in/right-out. An additional entrance consisting of a right-in/right-out is proposed on Vick Road.

TRANSPORTATION:

A. Road Jurisdiction.

1. Martin Street – City of Apopka
2. Vick Road – City of Apopka.

B. A Traffic Impact Analysis (TIA) was not required for this project because it is expected to generate less than 400 daily trips. The trip generation is anticipated to generate 97 daily trips and 6 PM Peak Hour trips.

C. Road/Intersection Improvements. A signal at the intersection of Vick Road and Martin Street has been warranted and will be installed by the City. The Church has conveyed right-of-way to the City along Martin Street to accommodate a slight realignment of the intersection at the time of the signal installation.

**PLANNING COMMISSION – JULY 10, 2018
GREATER FAITH WORLD CENTER, PHASE 1 - FINAL DEVELOPMENT PLAN
PAGE 3**

ARCHITECTURAL ELEVATIONS: The architectural elevations provided for the church building propose a one story building with architectural design elements including a porte-cochere, an architectural grade composition asphalt shingle roof, eifs, and stone veneer provided around the perimeter of the building. The building exhibits high quality architectural elements that are required in the Development Design Guidelines.

STORMWATER: Stormwater run-off and drainage will be accommodated onsite with a dry stormwater retention pond that is located in the southwestern corner of the site along Vick Road.

BUFFER/TREE PROGRAM: The applicant has provided a detailed landscape and irrigation plan that complies with the requirements of the City’s Land Development Code. The planting materials and irrigation system design are consistent with the water-efficient, Florida-friendly landscape standards set forth in Ordinance No. 2069.

In lieu of a masonry or brick wall along the southern property line, a 25-foot wide area of existing trees and landscaping will be preserved to provide a buffer for the adjacent residential neighborhood to the south. A standard five-foot wide buffer is provided along the eastern property line. A standard ten-foot wide buffer will be provided along Vick Road and Martin Street.

TREES: A tree mitigation payment will be assessed to mitigate existing trees that are proposed to be removed.

Total inches on-site:	1,440
Total inches removed	540
Total inches retained:	900
Total inches added:	178
Total inches post development:	1,078

PUBLIC HEARING SCHEDULE:

July 10, 2018 - Planning Commission (5:30 pm)
August 1, 2018 - City Council (1:30 pm)

RECOMMENDATION ACTION:

The **Development Review Committee** recommends approval of the Greater Faith World Center, Phase 1 Final Development Plan, subject to the findings of this staff report.

Planning Commission Recommendation: Find the Greater Faith World Center, Phase 1 Final Development Plan consistent with the Land Development Code and Comprehensive Plan, and recommend approval of the Greater Faith World Center, Phase 1 Final Development Plan, subject to the findings of this staff report.

Planning Commission Role: The role of the Planning Commission for this development application is to advise the City Council to approve, deny, or approve with conditions based on consistency with the Comprehensive Plan and Land Development Code.

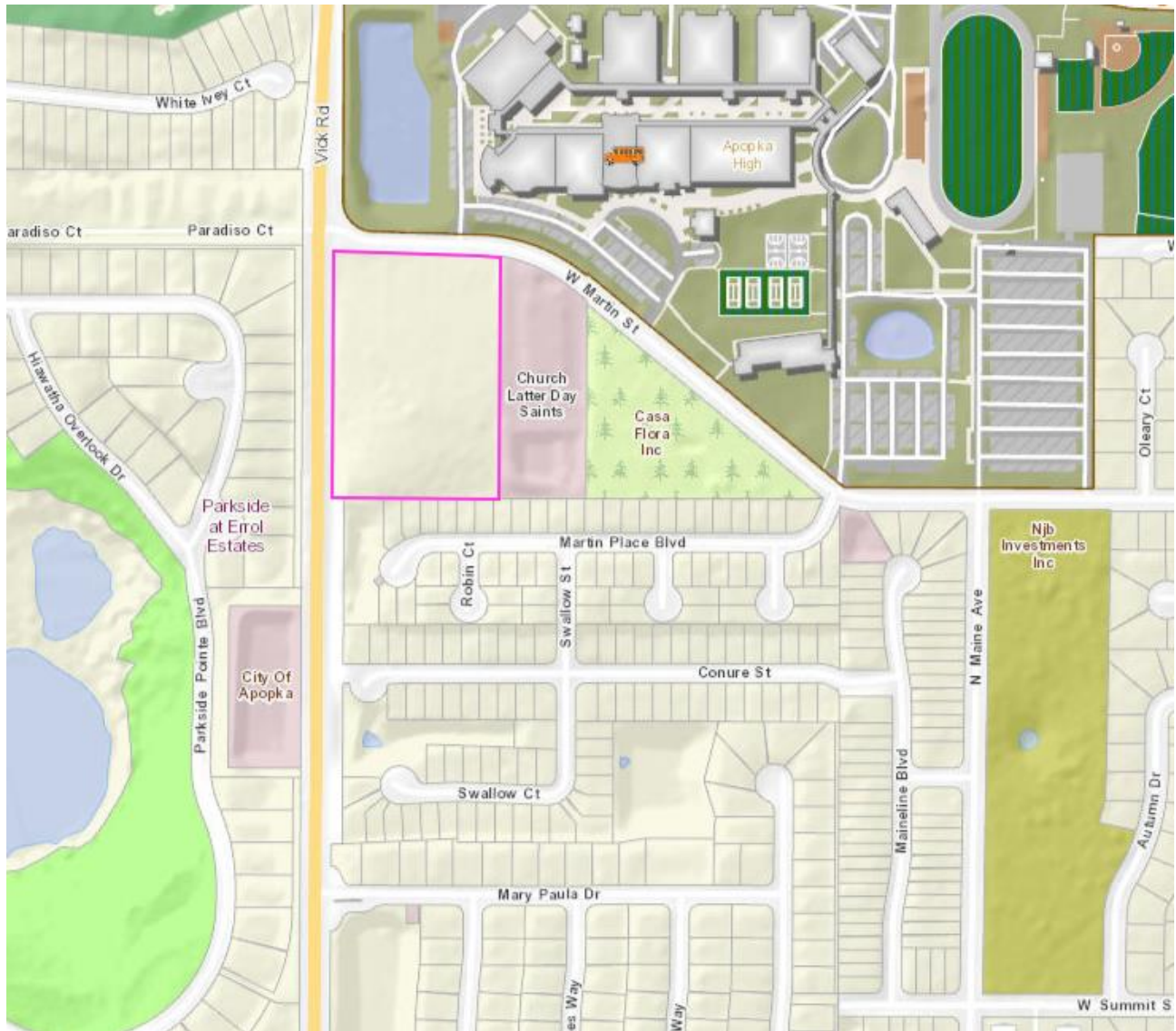
Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

**PLANNING COMMISSION – JULY 10, 2018
GREATER FAITH WORLD CENTER, PHASE 1 - FINAL DEVELOPMENT PLAN
PAGE 4**

Application: Final Development Plan
Owner: Center of Faith, Inc.
Applicant/Engineer: Kenneth H. Ehlers, P.E.
Parcel I.D. No: 04-21-28-0000-00-027
Location: 700 Vick Road
Acres: 3.25 acres

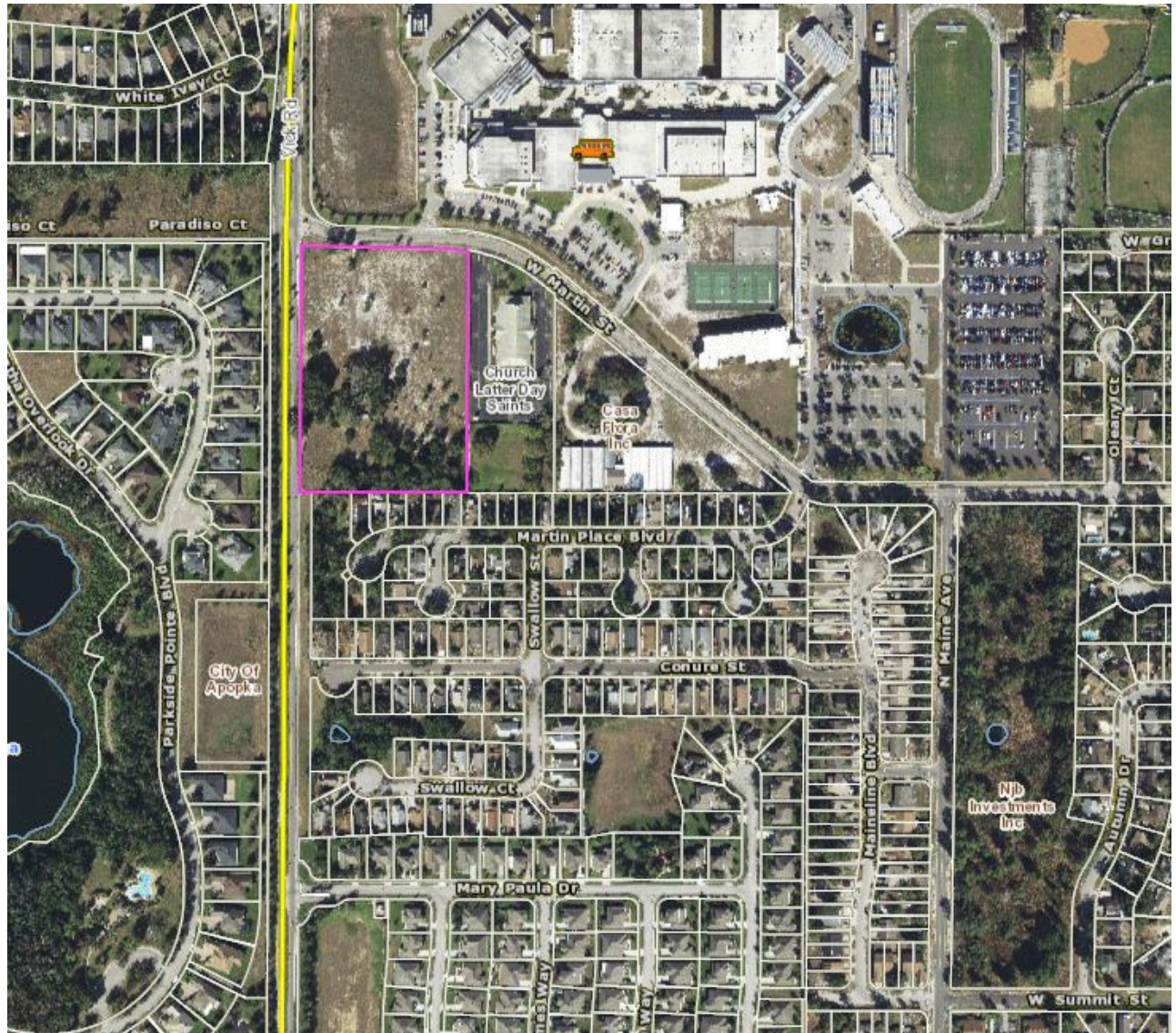


VICINITY MAP





AERIAL MAP



FINAL DEVELOPMENT PLAN

GREATER FAITH WORLD CENTER, INC.

(FKA CENTER OF FAITH, INC.)

700 VICK ROAD

APOPKA, FLORIDA 32704

AUGUST, 2017

ENGINEER

KENNETH H. EHLERS, P.E.
PROFESSIONAL ENGINEERING SERVICES
6034 FALCONBRIDGE PLACE
MOUNT DORA, FLORIDA 32757
(407) 448-3412, FAX (352) 383-2537
KEHLERS@COMCAST.NET

OWNER

GREATER FAITH WORLD CENTER, INC.
(FKA CENTER OF FAITH, INC.)
ATTN: PASTOR JAMES HICKS
700 VICK ROAD
APOPKA, FLORIDA 32704
(407) 464-9375, FAX (407) 464-9375
CENTEROFFAITH@GMAIL.COM

SURVEYOR

ACCURITE SURVEYS OF ORLANDO, INC.
ATTN: FRANK RAYMOND, PSM
2012 E. ROBINSON STREET
ORLANDO, FLORIDA 32803
(407) 894-6314, FAX (407) 897-3777
FRAYMOND@ACCURITESURVEYS.NET

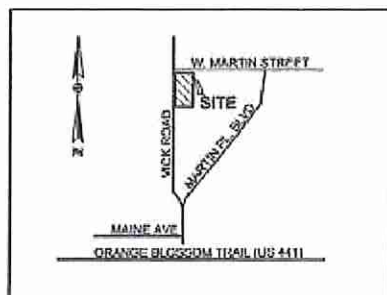
REAL PROPERTY DESCRIPTION

PARCEL 1: THE NORTH 450 FEET OF THE WEST 190 FEET OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECT. 4, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, LESS ROAD RIGHT OF WAY.

PARCEL 2: THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 4, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FL. LESS THE NORTH 450 FEET OF THE WEST 190 FEET AND LESS THE EAST 228 FEET, AND LESS ROAD RIGHT OF WAY.

TOGETHER WITH: THAT POINT OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 4, TOWNSHIP 22, RANGE 28 EAST, LYING SOUTHWESTERLY OF VICK ROAD, ORANGE COUNTY, FLORIDA.

CONTAINS 283,381 SQUARE FEET OR 6.508 ACRES.



LOCATION MAP

NOT TO SCALE

SEC. 04, TWN. 21 S, RNG. 28 E
PARCEL ID # 04-21-28-0000-00-027

CONTACT LIST:

GEOTECHNICAL/SOIL ENGINEER:

YOVAISH ENGINEERING SERVICES, LLC
603 BURNING LANE
ALTA MONTE SPRING, FLORIDA 32714
ATTN: DOUGLAS J. YOVAISH, P.E.
(407) 774-0583, FAX (407) 478-9278
DOUG@YOVAISH.COM

TELEPHONE:

CENTURYLINK
64 E. 2ND STREET
APOPKA, FLORIDA 32703
ATTN: DAVID R. BYRNES
(407) 814-5378 OR (321) 655-0036
DAVID.R.BYRNES@CENTURYLINK.COM

ELECTRIC:

DUKE ENERGY
3500 EXCHANGE PLACE, NP4A
LAKE MARY, FLORIDA 32740
ATTN: BENITA ROSTEL
DISTRIBUTION DEPARTMENT
(407) 842-8557 OR (407) 642-8374
BENITA.ROSTEL@DUKE-ENERGY.COM

GAS:

LAKE APOPKA NATURAL GAS DISTRICT
1320 WINTER GARDEN-VINLAND ROAD
WINTER GARDEN, FLORIDA 32787
ATTN: RICHARD W. GULLETT
MANAGER OF ENGINEERING & FIELD SERVICES
(407) 856-2734, EXT. 108
RGULLETT@LANDG.DIST

CABLE:

BRIGHT HOUSE NETWORKS LLC
814 MAGUIRE BOULEVARD
OCFEE, FLORIDA 34761
ATTN: MARVIN L. USRY, JR.
(407) 537-8409
MARVIN.USRY@MYBRIGHTHOUSE.COM

SANITARY SEWER, POTABLE AND RECLAIMED WATER:

CITY OF APOPKA
748 E. CLEVELAND STREET
P.O. BOX 1929
APOPKA, FLORIDA 32703
ATTN: R. JAY DAVOLL, P.E., PUBLIC SERVICES DIRECTOR
(407) 783-1721, FAX (407) 783-1748
JDVOLL@APOPKA.NET

ST. JOHNS RIVER WATER MANAGEMENT DISTRICT:

601 SOUTH LAKE DESTINY DRIVE
MAITLAND, FLORIDA 32751
ATTN: ALEX ABOODI, ENGINEER III
(407) 699-4837, FAX (407) 699-4905
AABOODI@SJRWMD.COM

UTILITY LOCATIONS:

PRIOR TO EXCAVATION CALL
ONE CALL UTILITY LOCATION SYSTEM
(800) 437-4773

INDEX OF DRAWINGS:

1. GENERAL NOTES
2. DEMOLITION AND EROSION CONTROL PLAN
3. PHASE I SITE PLAN
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4. PHASE I CONCEPT PLAN
5. TRAFFIC CONTROL PLAN
6. SOILS MAP
7. GRADING AND DRAINAGE PLAN
- 7A. ROOF DRAIN PLAN (OPTIONAL)
- 7B. RETAINING WALL DETAILS
- 7C. SOILS REPORT
8. UTILITY PLAN
- 8A. UTILITY PROFILE
- 8B. UTILITY PROFILE
- 8C. UTILITY PROFILE
9. LIFT STATION DETAILS
10. STANDARD DETAILS
11. DRAINAGE DETAILS
- 12-18. WATER DETAILS - CITY OF APOPKA
19. SEWER DETAILS - CITY OF APOPKA
20. SEWER DETAILS - CITY OF APOPKA
21. GENERAL DETAILS - CITY OF APOPKA
- 22-29. FDOT STANDARD DETAILS
30. PHOTOMETRIC PLAN
31. PHOTOMETRIC PLAN CUT SHEETS
32. PHOTOMETRIC PLAN CUT SHEETS
33. LANDSCAPE PLAN
34. IRRIGATION PLAN
35. BOUNDARY, TOPO AND TREE SURVEY
36. AERIAL PHOTOGRAPH
37. ARCHITECTURAL FLOOR PLAN
38. FRONT AND LEFT BUILDING ELEVATIONS
39. REAR AND RIGHT BUILDING ELEVATIONS

PROJECT UPDATE: 07/22/17



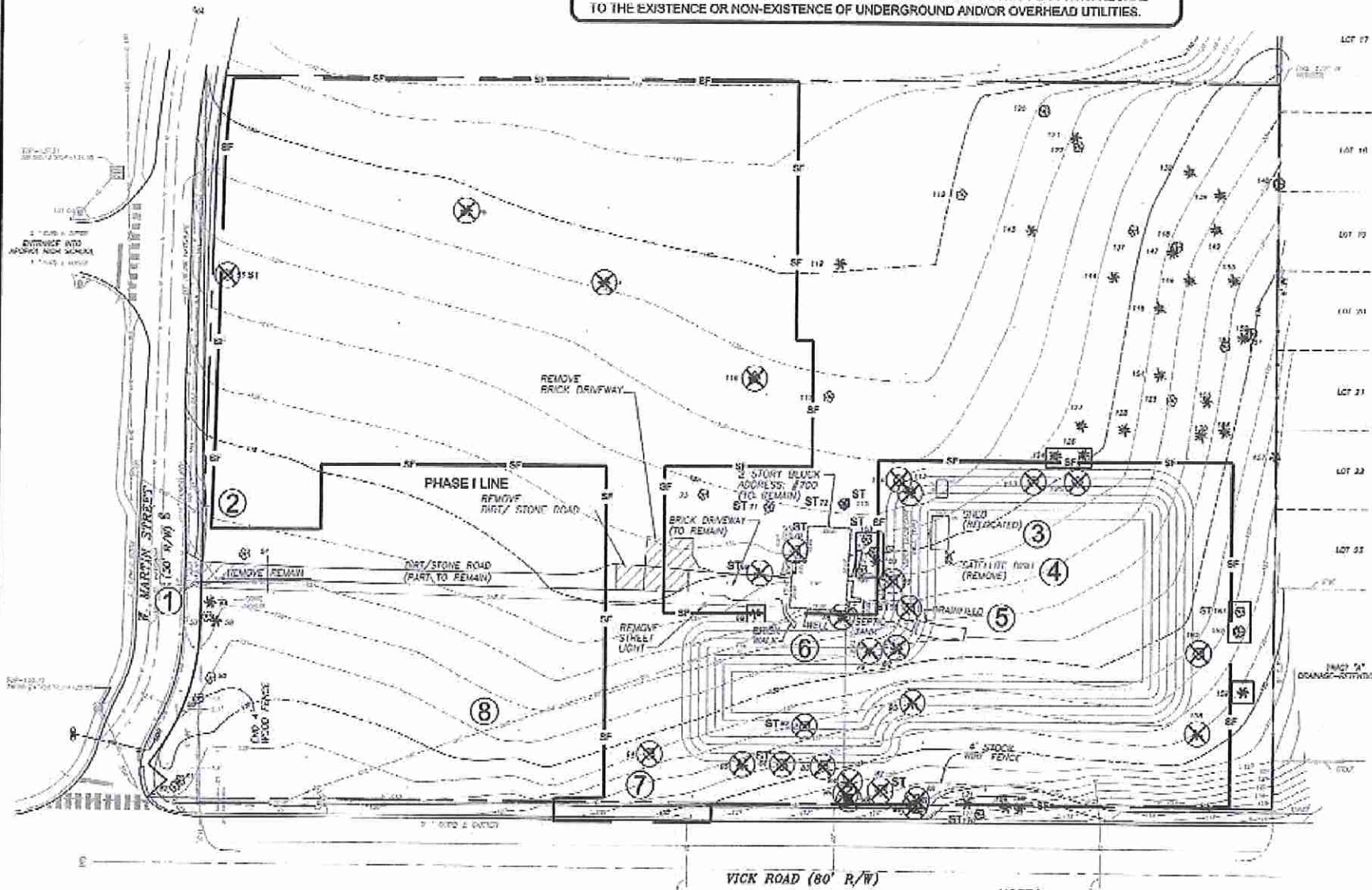
KENNETH H. EHLERS, P.E.
ENGINEER'S PROJECT (PASTOR JAMES HICKS)
1/26/18

GENERAL NOTES:

1. THE GENERAL CONTRACTOR SHALL MAINTAIN THE PRIVATE WASTEWATER AND DOMESTIC WATER SERVICES TO THE EXISTING BUILDING, STILL BEING USED AS A CHURCH, UNTIL PUBLIC ACCEPTANCE OF THE NEW UTILITY SYSTEMS AND CONNECTION TO THE EXISTING CHURCH.
2. EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CONSTRUCTION, SUBJECT TO AUTHORIZATION AND APPROVED VARIANCES, WAIVERS, AND/OR CORRECTIVE CHANGES.
3. ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM WITH THE CITY OF APOPKA SPECIFICATIONS, SUBJECT TO AUTHORIZATION AND APPROVED VARIANCES, WAIVERS, AND/OR CORRECTIVE CHANGES.
4. THE CONTRACTOR SHALL SUBMIT AN EROSION CONTROL PLAN AT PRE-CONSTRUCTION CONFERENCE. CONTRACTOR SHALL USE BEST MANAGEMENT PRACTICES IN CONTROLLING EROSION AND SEDIMENT DURING THE CONSTRUCTION.
5. ALL CLEARED AREAS FOR IMPROVEMENT AND/OR CONSTRUCTION SHALL BE WATERED TO PREVENT WIND EROSION.
7. PRIOR TO LAND CLEARING THE CONTRACTOR SHALL PROVIDE TREE PROTECTION BARRIERS TO MEET REQUIREMENTS OF THE CITY OF APOPKA.
8. THE CONTRACTOR SHALL SELECTIVELY CLEAR ONLY THE AREAS REQUIRED FOR CONSTRUCTION AND STABILIZE ANY POTENTIAL EROSION AREAS IMMEDIATELY FOLLOWING COMPLETION OF CONSTRUCTION.

EXISTING UNDERGROUND AND OVERHEAD UTILITIES:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING SIZE, MATERIAL TYPE, LOCATION, DEPTH AND CONDITION OF ALL EXISTING UNDERGROUND AND OVERHEAD UTILITIES PRIOR TO CONSTRUCTION. THE ENGINEER-OF-RECORD HAS NO RESPONSIBILITY WITH REGARD TO THE COMPLETENESS OR ACCURACY OF THE INFORMATION SHOWN ON THIS PLAN WITH REGARD TO THE EXISTENCE OR NON-EXISTENCE OF UNDERGROUND AND/OR OVERHEAD UTILITIES.



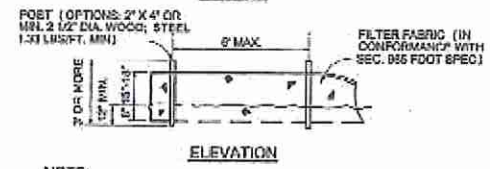
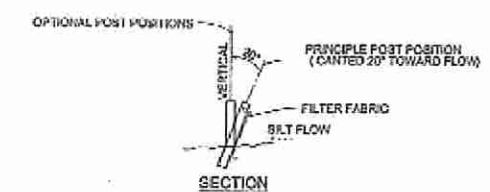
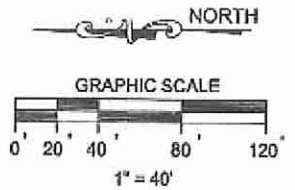
DEMOLITION AND EROSION CONTROL PLAN

NOTES:

1. REMOVE CONCRETE APRON AND A PORTION OF 5' SIDEWALK ON W. MARTIN STREET AND A PORTION OF DIRT/STONE ROAD.
2. REMOVE EXISTING LIGHT POLE AND FIXTURE ON W. MARTIN STREET. (SEE PLAN SHEET 5)
3. RELOCATE EXISTING SHED.
4. REMOVE EXISTING SATELLITE DISH.
5. ABANDON AND REMOVE SEPTIC TANK AND DRAINFIELD IN ACCORDANCE WITH THE ORANGE COUNTY HEALTH DEPARTMENT REQUIREMENTS.
6. ABANDON WELL IN ACCORDANCE WITH THE ST. JOHN'S RIVER WATER MANAGEMENT DISTRICT REQUIREMENTS.
7. REMOVE A SECTION OF FDOT TYPE 'F' CURB AND GUTTER, SIDEWALK AND SIX FOOT CHAIN LINK FENCE (ADD 30' GATE).
8. REMOVE EXISTING LIGHT POLES, FIXTURES AND OVERHEAD WIRE. ELECTRIC TO BE PLACED UNDERGROUND.

TREE CHART

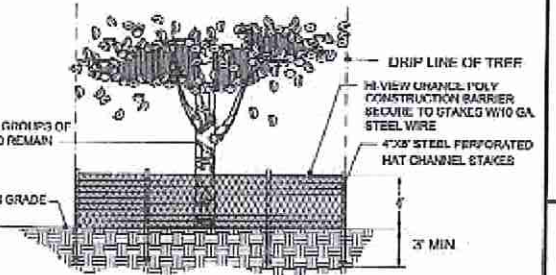
53	-	24" OAK (DISEASED AND REMOVED)
54	-	8" OAK
55	-	15" PALM
57	-	15" OAK
58	-	15" PALM
59	-	15" OAK
60	-	15" OAK
61	-	20" OAK
62	-	3-18" OAK
64	-	3-7" OAK
65	-	10" CHERRY LAUREL
66	-	30" OAK
68	-	10" HICKORY
69	-	24" HICKORY (DISEASED AND REMOVED)
70	-	32" OAK (DISEASED AND REMOVED)
71	-	32" OAK
72	-	36" OAK
73	-	8" OAK
74	-	14" PALM
75	-	14" PALM
78	-	13" CEDAR
79	-	14" HICKORY
80	-	15" PALM
82	-	24" OAK
83	-	10" OAK
84	-	10" CHERRY LAUREL
85	-	7" HICKORY
88	-	9" HICKORY
87	-	2-25" OAK
88	-	18" PALM
89	-	15" PALM
90	-	3-8" CHERRY LAUREL
95	-	30" OAK
99	-	12" OAK
100	-	12" PALM
101	-	20" OAK
102	-	19" OAK
103	-	30" OAK
113	-	2-7" MAGNOLIA
114	-	14" CAMPHOR
115	-	36" OAK
116	-	6" OAK
117	-	12" OAK
118	-	15" PALM
119	-	12" OAK
120	-	6" CHERRY
121	-	20" PALM
122	-	9" OAK
123	-	18" OAK
124	-	14" PINE
125	-	2-10" OAK
126	-	12" PINE
127	-	12" PINE TREE OR GROUPS OF TREES TO REMAIN
128	-	15" PINE
129	-	3-12" OAK
130	-	18" PINE
137	-	11" OAK
138	-	12" PINE
139	-	20" PINE
140	-	9" CHERRY
143	-	15" PALM
144	-	12" PALM
145	-	20" PINE
146	-	18" PINE
147	-	3-12" PINE
148	-	2-7" CHINA
149	-	14" PINE
150	-	20" PINE
151	-	9" CHINA
152	-	12" PINE
153	-	5-8" CAMPHOR
154	-	15" PINE
155	-	12" PALM
156	-	20" PINE
157	-	9" CHERRY LAUREL
158	-	12" HICKORY
159	-	13" PALM
160	-	23" OAK
162	-	15" CHERRY
163	-	24" OAK
168	-	15" PALM
169	-	15" PALM
170	-	38" OAK
171	-	15" PALM



NOTE:
SILT FENCE TO BE PAID FOR UNDER THE CONTRACT UNIT PRICE FOR STAKED SILT FENCE (LF).

TYPE III SILT FENCE (FDOT INDEX #102) NOT TO SCALE

NOTE:
NO STUMPING OF MATERIALS, TRASH OR DEBRIS SHALL BE PERMITTED WITHIN THE BARRIER.



TREE PROTECTION BARRIER NOT TO SCALE

LEGEND:

- ⊗ EXISTING TREE 527
- ⊗ TREE TO BE REMOVED
- TREE PROTECTION BARRIER (SEE DETAIL ABOVE)
- SF - SILT FENCE (SEE DETAIL ABOVE)
- ST SPECIMEN TREE

40 HOURS BEFORE DIGGING
CALL 811 FOR INFO
1-800-432-4770
SUNSHINE STATE ONE CALL
OF FLORIDA, INC.

1126118
10 Ehlert
KENNETH H. EHLERS, P.E.
CONSULTING ENGINEER
NO. 15243
STATE OF FLORIDA
REGISTERED PROFESSIONAL ENGINEER

NO.	REVISION	DATE
1		
2		
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4		
5		
6		
7		

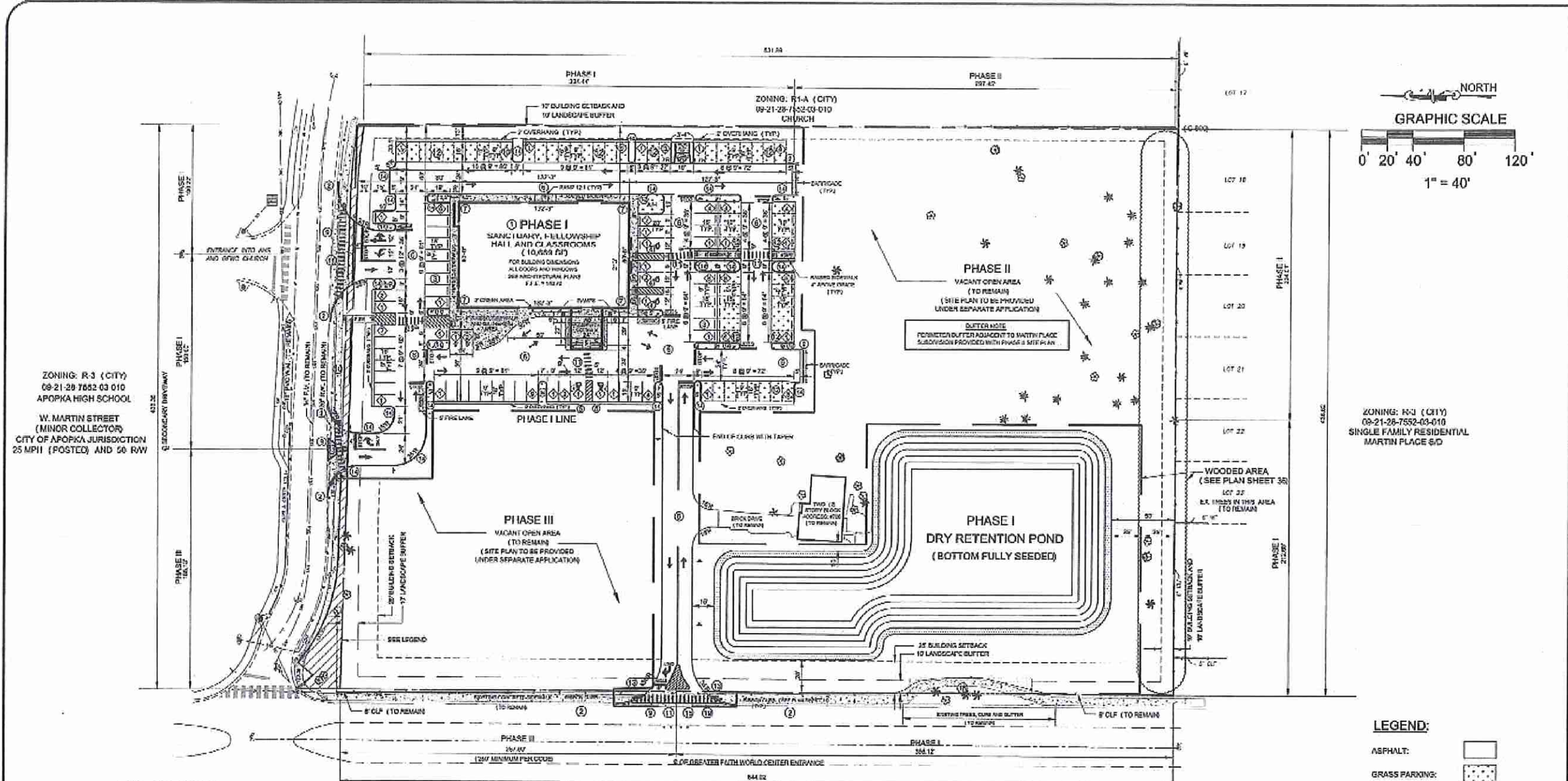
KENNETH H. EHLERS, P.E.
CONSULTING ENGINEER
6034 FALCONBRIDGE PLACE
MOUNT DORA, FLORIDA 32757
TEL 1-400-446-3412
FAX 1-352-383-2537

DEMOLITION AND EROSION CONTROL PLAN

GREATER FAITH WORLD CENTER, INC.
(FKA CENTER OF FAITH CHURCH, INC.)
PARCEL ID #04-21-28-0000-00-027
APOPKA, FLORIDA

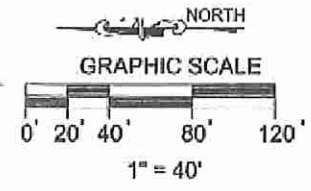
DRAWING NO.
2

JOB NO. 17100



ZONING: R-3 (CITY)
09-21-28-7552-03-010
APOPKA HIGH SCHOOL

W. MARTIN STREET
(MINOR COLLECTOR)
CITY OF APOPKA JURISDICTION
25 MPH (POSTED) AND 50' RW



ZONING: R-3 (CITY)
09-21-28-7552-03-010
SINGLE FAMILY RESIDENTIAL
MARTIN PLACE SD

GENERAL NOTES:

1. FINAL DEVELOPMENT PLANS WILL BE REQUIRED WITH EACH DEVELOPMENT PHASE.
2. BUILDINGS OVER 7,500 SF, OR TWO (2) STORIES IN HEIGHT, SHALL BE EQUIPPED WITH A FULLY AUTOMATIC FIRE SPRINKLER SYSTEM MEETING THE REQUIREMENTS OF NFPA 13 AND APPLICABLE CODE REQUIREMENTS.
3. CANOPY SHALL HAVE A MINIMUM 13' 6" VERTICAL CLEARANCE.
4. CONTRACTOR SHALL OBTAIN CITY APPROVAL FOR EXTERIOR LIGHTING PRIOR TO COMMENCING CONSTRUCTION.
5. CHAIN LINK FENCING IS NOT AN ALLOWABLE FENCING TYPE OR SCREENING MATERIAL. (EXCEPT ON VICK ROAD).
6. ALL DIMENSIONS MEASURED FROM INSIDE FACE OF CURB UNLESS OTHERWISE NOTED.
7. PERIMETER WALLS SHALL BE DESIGNED BY OTHERS AND SHALL MEET CITY OF APOPKA BUILDING CODE STANDARDS.
8. WHERE BERMS OR EMBANKMENTS ARE PROPOSED THE DESIGN SHALL BE CERTIFIED BY A GEOTECHNICAL ENGINEER.
9. COORDINATE WITH LANDSCAPE CONTRACTOR TO ENSURE THAT POND IS SODDED TO PREVENT SCOURING.
10. MINIMUM GRADE OF SODDED AREAS SHALL BE 1.00% GRADE TO PROVIDE DRAINAGE AWAY FROM ALL STRUCTURES.
11. SIGN DRAWINGS TO BE SUBMITTED BY OTHERS AND SHALL MEET THE CITY OF APOPKA BUILDING CODE STANDARDS.
12. INTENDED USE: CHURCH. NO OUTSIDE STORAGE ALLOWED.
13. FOR TRAFFIC CONTROL SIGNS AND PAVEMENT MARKINGS SEE PLAN SHEET 5.
14. THE EXISTING TWO (2) STORY STRUCTURE WILL BE USED BY THE CHURCH FOR PARSONARY / MISSIONARY.
15. CONTRACTOR TO USE STANDARD DECORATIVE TYPE POLES AND FIXTURES. (SEE PLAN SHEET 30).
16. LIGHT FIXTURES SHALL BE A MAXIMUM OF TWENTY (20) FEET HIGH (SEE PLAN SHEET 30).
17. LIGHTING SHALL BE DESIGNED SO AS TO PREVENT DIRECT GLARE, LIGHT SPILLAGE ON ADJACENT STREETS AND PROPERTY.
18. USE SHALL BE RESTRICTED TO THOSE OUTLINED IN THE APPLICATION AND ON THE PLANS.
19. PAVEMENT ACCESS, DRAINAGE, ROADWAY IMPROVEMENTS, AND CONCURRENCY MANAGEMENT SHALL BE DETERMINED BY THE COMMUNITY DEVELOPMENT DEPARTMENT.
20. LANDSCAPING SHALL BE IN ACCORDANCE WITH THE CITY OF APOPKA LAND DEVELOPMENT CODE (SEE PLAN SHEET 33).
21. GRASS PARKING IS CONSIDERED TEMPORARY. IF SOIL EROSION PROBLEMS EMERGE, OR GRASS CANNOT BE SUSTAINED BECAUSE OF FREQUENT PARKING, THEN GRASS PARKING SHALL BE PAVED IF REQUIRED BY THE CITY.
22. HANDICAPPED SPACES MUST MEET THE REQUIREMENTS OF THE FLORIDA STATUTES AND THE APPROPRIATE FLORIDA BUILDING CODE (SEE PLAN SHEETS 28 AND 29).

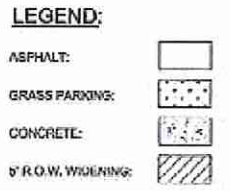
PHASE I SITE PLAN

ZONING: R-3 (CITY)
09-21-28-7552-03-010
SINGLE FAMILY RESIDENTIAL
PARKSIDE AT ERROL ESTATE PH.3

VICK ROAD (COLLECTOR ROAD)
CITY OF APOPKA JURISDICTION
35 MPH (POSTED) AND 80' RW

CONSTRUCTION NOTES:

1. CONSTRUCT ONE (1) STORY BUILDING. SEE ARCHITECTURAL PLANS FOR DIMENSIONS.
2. RIDGEBOND CURB 12" WIDE X 8" DEEP (SEE PLAN SHEET 11).
3. STRIPE THE PROPOSED REGULAR PARKING SPACES PER THE MANUAL ENTITLED "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD).
4. STRIPE AND SIGN THE PROPOSED HANDICAPPED PARKING SPACES PER THE DOCUMENTS ENTITLED "AMERICANS WITH DISABILITIES ACT" (A.D.A. AND THE "MUTCD").
5. INSTALL FTP-25 STANDARD HANDICAPPED PARKING SIGN AND POST.
6. CONSTRUCT 1 1/2" ASPHALTIC CONCRETE SURFACE (TYPE III, 5" LIMESTONE BASE, AND 12" STABILIZED SUBBASE. REFER TO PLAN SHEET #21 FOR CONSTRUCTION DETAIL.
7. INSTALL DOWNSPOUT WITH CONCRETE SPI ASH BLOCK TO DRAIN TO PAVEMENT.
8. ALL GREEN AREAS TO BE SODDED AND/OR LANDSCAPED AS SHOWN ON LANDSCAPE PLAN.
9. MATCH EDGE OF EXISTING PAVEMENT WITH SAW CUT.
10. CONSTRUCT 5' WIDE CONCRETE SIDEWALK (BY CITY).
11. CONSTRUCT 12" WIDE PAINTED CROSSWALK PER FOOT STANDARD INDEX 17348.
12. GRASSED PARKING.
13. ADA CURB RAMPS PER FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS INDEX 304, LATEST EDITION (SEE PLAN SHEET 24).
14. CONSTRUCT STANDARD FOOT TYPE "D" CURB PER FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS INDEX 300, LATEST EDITION. REFERENCE DRAINAGE DETAILS ON SHEET 11.
15. STANDARD 3'-0" WIDE VALLEY GUTTER PER FDOT ROADWAY AND TRAFFIC DESIGN STANDARD INDEX 300, LATEST EDITION (SEE PLAN SHEET 23).
16. ALL CURB RADII ARE 2'-6" AS MEASURED FROM THE INSIDE FACE OF CURB UNLESS OTHERWISE NOTED.
17. CONSTRUCT DUMPSTER PAD. SEE FIG. 601 ENTITLED "DUMPSTER ENCLOSURE DETAIL" SHOWN ON PLAN SHEET 21.
18. SIDEWALK EASEMENT RECORDED IN ORB 5512, PG 4616 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.
19. CONSTRUCT 30' GATE IN EXISTING 6' CHAIN LINK FENCE.



48 HOURS NOTICE REQUIRED
CALL FOR PRICE
1-800-432-4770
RANSING STATE ONE CALL
OF FLORIDA, INC.



1/26/18
K. Ehlers

NO.	REVISION	DATE
1		
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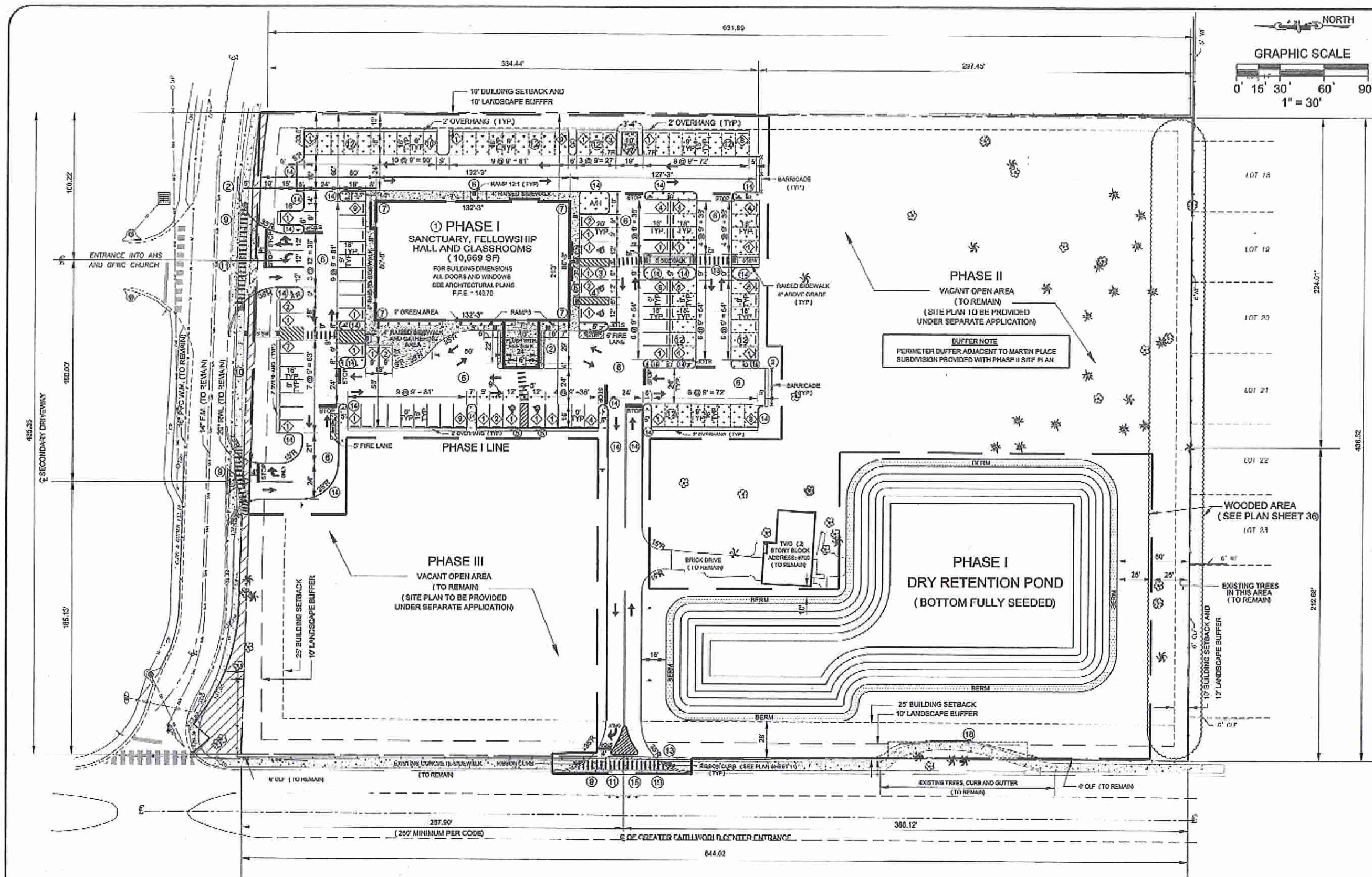
KENNETH H. EHLERS, P.E.
CONSULTING ENGINEER
6034 FALCONBRIDGE PLACE
MOUNT DORA, FLORIDA 32757
TEL: 1-800-432-4770
Fax: 1-352-369-2257

PHASE I SITE PLAN

GREATER FAITH WORLD CENTER, INC.
(FKA CENTER OF FAITH CHURCH, INC.)

PARCEL ID #04-21-28-0000-00-027
APOPKA, FLORIDA

DRAWING NO.
3
JOB NO. 17100



NO.	REVISION	DATE

KENNETH H. EHLERS, P.E.
 CONSULTING ENGINEER
 6034 FALCONBRIDGE PLACE
 MOUNT DORA, FLORIDA 32757
 TEL 1-407-449-9412
 FAX 1-352-333-2537

**ENLARGED
 PHASE I SITE PLAN**

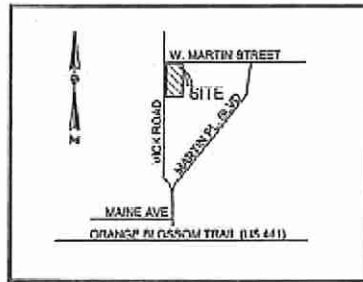
**GREATER FAITH WORLD CENTER, INC.
 (FKA CENTER OF FAITH CHURCH, INC.)**
 PARCEL ID #04-21-28-0000-00-027
 APOPKA, FLORIDA

DRAWING NO.
3A
 JOB NO. 17100

**ENLARGED
 PHASE I SITE PLAN**

- LEGEND:**
- ASPHALT: [Symbol]
 - GRASS PARKING: [Symbol]
 - CONCRETE: [Symbol]
 - BERM: [Symbol]
 - SEE SHEET 3: [Symbol]

48 HOUR SELF-DETECTING
 CALL TOLL FREE
1-800-432-4770
 FLORIDA STATE SEAL
 OF PROFESSIONAL ENGINEERS
 11/20/18
D. Galois
 KENNETH H. EHLERS, FL PE #18243

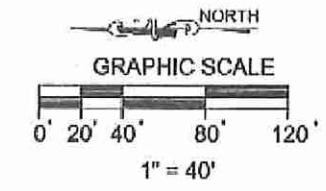


LOCATION MAP

NOT TO SCALE
 SEC. 04, T1W, 21 S, R1G, 28 E
 PARCEL ID # 04-21-28-0000-00-027

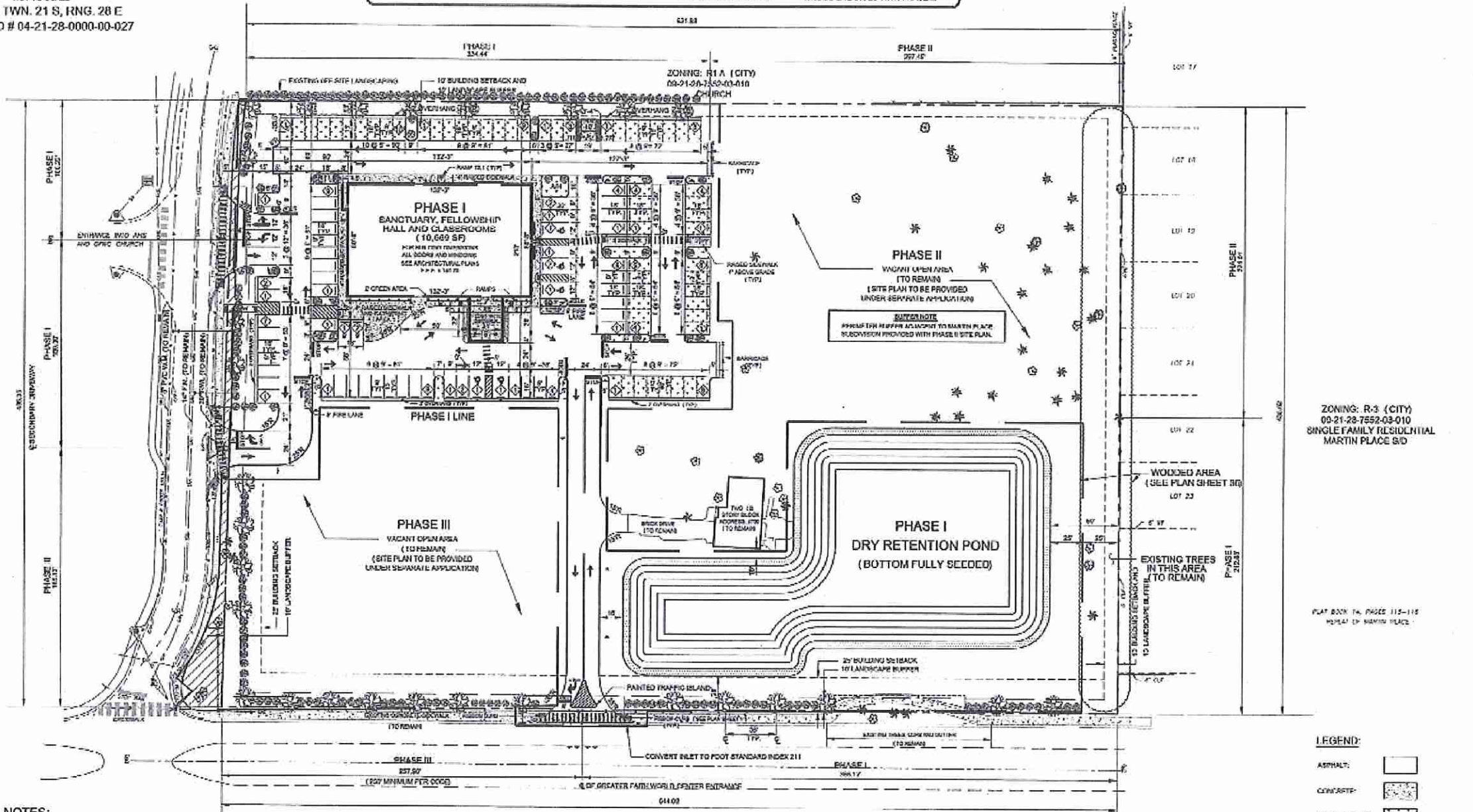
PHASE I SITE DATA:

ZONING	PROFESSIONAL OFFICE/INSTITUTIONAL	PARKING REQUIREMENTS
FUTURE LAND USE:	INSTITUTIONAL/PUBLIC USE	300 ATTENDEES = 100 SPACES 3 EMPLOYEES X 1 = 3 SPACES 1 SPACE PER EVERY 3 ATTENDEES + 1 SPACE PER EMPLOYEE HANDICAPPED SPACES = 6 SPACES 108 TOTAL SPACES REQUIRED
BUILDING SETBACKS:		PARKING PROVIDED:
FRONT = 25 FEET (VICK ROAD)		10 SPACES AT 9x18 (PAVED)
SIDE = 10 FEET (SOUTH PROPERTY LINE)		50 SPACES AT 9x18 (UNPAVED)
REAR = 10 FEET (LATTER-DAY SAINTS CHURCH)		3 SPACES AT 17x50 (PAVED) HANDICAPPED
CORNER = 25 FEET (W. MARTIN STREET)		2 SPACES AT 17x50 (PAVED) HANDICAPPED
LANDSCAPE BUFFERS:		26 SPACES AT 9x18 (UNPAVED)
FRONT = 10' (VICK ROAD)		17 SPACES AT 9x18 (PAVED)
SIDE = 10' (SOUTH PROPERTY LINE)		3 SPACES AT 9x18 (PAVED)
REAR = 10' (LATTER-DAY SAINTS CHURCH)		
CORNER = 10' (W. MARTIN STREET)		
LAND ALLOWED: = 0.50	LAND PROVIDED: = 0.10	113 TOTAL SPACES PROVIDED
BUILDING INFORMATION:		PROPOSED CONDITIONS = 141,570 SF = 3.250 ACRES (100.00%)
TOTAL SQUARE FOOTAGE = 10,859 SF		IMPERVIOUS (BUILDINGS) = 10,800 SF = 0.245 ACRES (7.61%)
MAXIMUM BUILDING HEIGHT = 35 FT		IMPERVIOUS (PAVEMENT) = 48,508 SF = 1.122 ACRES (34.55%)
ACTUAL BUILDING HEIGHT = 28 FT		PERVIOUS = 49,100 SF = 1.120 ACRES (34.77%)
		DRY RETENTION POND = 32,777 SF = 0.752 ACRES (23.14%)
		DRY RETENTION POND WILL BE ENLARGED WITH PHASE II.



ZONING: R-3 (CITY)
 09-21-28-7552-03-010
 APOPKA HIGH SCHOOL

W. MARTIN STREET
 (MINOR COLLECTOR)
 CITY OF APOPKA JURISDICTION
 25 MPH (POSTED) AND 50 RW



- NOTES:**
- ALL BUILDINGS AND ALL PROPOSED INFRASTRUCTURES: E.G. PAVEMENT, DRAINAGE, SIDEWALKS, SANITARY SEWER COLLECTION, POTABLE WATER, FIRE PROTECTION AND STORMWATER MANAGEMENT SYSTEMS, ETC. WILL BE CONSTRUCTED. THE INTENDED USE OF THE BUILDING IS CHURCH.
 - ALL DIMENSIONS MEASURED FROM THE INSIDE FACE OF CURB UNLESS OTHERWISE NOTED.
 - PERIMETER WALLS SHALL BE DESIGNED BY OTHERS AND SHALL MEET CITY OF APOPKA BUILDING CODE STANDARDS.
 - WHERE TERMS OR EMBARAGEMENTS ARE PROVIDED THE DESIGN SHALL BE CERTIFIED BY A REGISTERED PROFESSIONAL ENGINEER.
 - COORDINATE WITH LANDSCAPE CONTRACTOR TO ENSURE THAT POND IS ARE SLOTTED TO PREVENT SCOURING.
 - MINIMUM GRADE OF BODDED AREAS SHALL BE 10% GRADE TO INCREASE DRAINAGE AWAY FROM ALL STRUCTURES.
 - SOIL DRAWINGS SHALL BE SUBMITTED BY OTHERS AND SHALL MEET THE CITY OF APOPKA BUILDING CODE STANDARDS.
 - NO OUTRIGS BY UTILITY ALLOWED.
 - INSTALL ADA CURB RAMP PER FOOT ROADWAY AND TRAFFIC DESIGN STANDARDS - INDEX 304, LATEST EDITION.
 - BUILDING APPROXIMATE LINES SHALL BE CURVED IN ACCORDANCE WITH SECTION 4.2.1, OF THE DEVELOPMENT DESIGN GUIDELINES COMMERCIAL ARCHITECTURE STANDARDS.
 - THE BUILDING WALL AND GROUND SIGN ARE TO BE PERMITTED SEPARATELY.
 - ALL CURB RAMP ARE 2'-0" AS MEASURED FROM THE INSIDE FACE OF CURB UNLESS OTHERWISE NOTED.

ZONING: R-3 (CITY)
 09-21-28-7552-03-010
 SINGLE FAMILY RESIDENTIAL
 PARKSIDE AT ERROL ESTATE PH.3

WICK ROAD (COLLECTOR ROAD)
 CITY OF APOPKA JURISDICTION
 35 MPH (POSTED) AND 50 RW

REFER TO THE CITY OF APOPKA PLANS FOR THE PROPOSED WESTBOUND TURN LANE AND THE TRAFFIC CONTROL SIGNAL ON W. MARTIN STREET AND VICK ROAD.

LEGEND:

- ASPHALT: [Symbol]
- CONCRETE: [Symbol]
- GRASS PARKING: [Symbol]

45 MINUTES RESPONSE LIZENSUNG
 CALL TOLL FREE
 1-800-432-4770
 BLANKS & CITY OUR CALL
 OF FLORIDA, INC.

CONCEPT PLAN (PHASE I)

KENNETH H. EHLERS, P.E.
 CONSULTING ENGINEER
 6034 FALCONBRIDGE PLACE
 MOUNT DORA, FLORIDA 32757
 TEL: 1-407-448-9472
 FAX: 1-352-385-2557

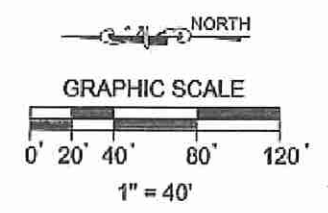
CONCEPT PLAN
 PHASE I
 (SHOWN FOR REFERENCE ONLY)

GREATER FAITH WORLD CENTER, INC.
 (FKA CENTER OF FAITH CHURCH, INC.)
 PARCEL ID #04-21-28-0000-00-027
 APOPKA, FLORIDA



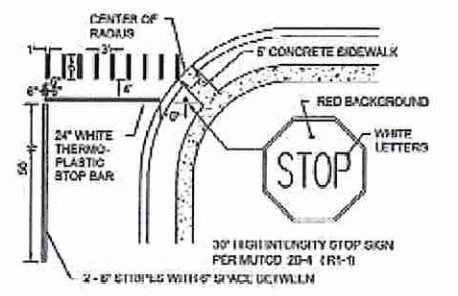
DRAWING NO.
4
 JOB NO. 17100

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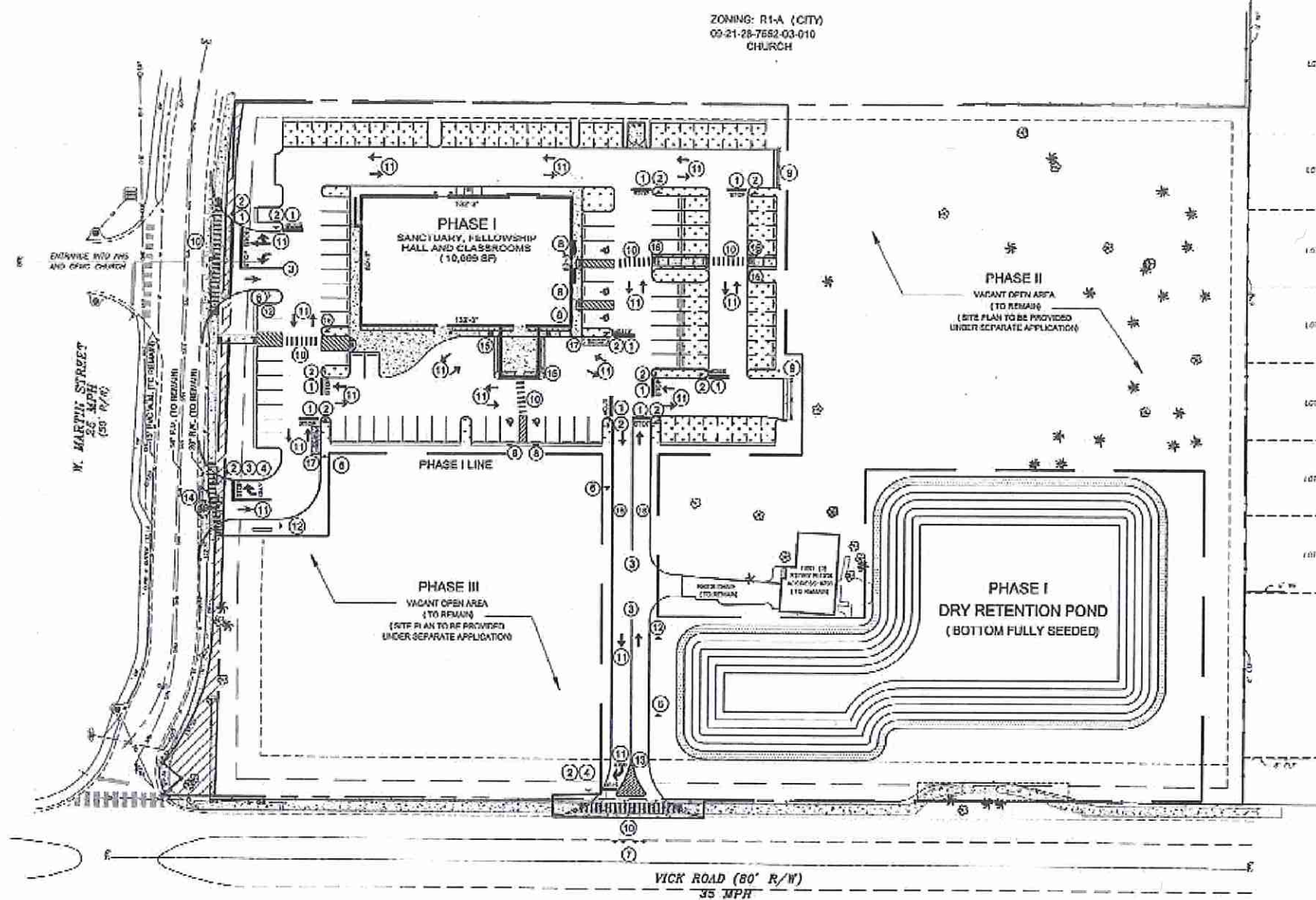
- GENERAL NOTES:**
- ① 24" WHITE STOP BAR.
 - ② 30" x 30" R1-1 "STOP" SIGN.
 - ③ DOUBLE 6" WIDE YELLOW LINE.
 - ④ DOUBLE SIGN ON SINGLE POST "RIGHT TURN ONLY" AND "STOP" SIGN.
 - ⑤ NOT USED.
 - ⑥ 15 MPH SPEED LIMIT SIGN.
 - ⑦ "ONE WAY ARROW" SIGN PER FDOT INDEX 17349.
 - ⑧ "HANDICAPPED" SIGN PER FDOT INDEX 17355.
 - ⑨ FDOT BARRICADE PER FDOT INDEX 17349.
 - ⑩ 12" PAINTED CROSSWALK PER FDOT INDEX 17346.
 - ⑪ PAINTED ARROWS PER FDOT INDEX 17346.
 - ⑫ "RECLAIMED WATER" ADVISORY SIGN PER FDOT INDEX 17346.
 - ⑬ PAINTED TRAFFIC ISLAND.
 - ⑭ RAISED CONCRETE TRAFFIC ISLAND BY CITY.
 - ⑮ "DO NOT ENTER" SIGN.
 - ⑯ "PEDESTRIAN CROSSING" SIGN.
 - ⑰ FIVE FOOT WIDE FIRE LANE.
 - ⑱ SINGLE 6" WIDE WHITE LINE.

ZONING: R-3 (CITY)
09-21-28-7552-03-010
SINGLE FAMILY RESIDENTIAL
MARTIN PLACE 3/D



STOP SIGN, BAR AND CROSSWALK
NOT TO SCALE

- NOTES:**
1. 24" THERMOPLASTIC STOP BAR WITH R1-1 HIGH INTENSITY REFLECTORIZED STOP SIGN.
 2. HIGH INTENSITY REFLECTORIZED MATERIAL REFER TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION. (R1-1)



ZONING: R1-A (CITY)
09-21-28-7552-03-010
CHURCH

ZONING: R-3 (CITY)
09-21-28-7552-03-010
SINGLE FAMILY RESIDENTIAL
PARKSIDE AT ERROL ESTATE PH.3
VICK ROAD (COLLECTOR ROAD)
CITY OF APOPKA JURISDICTION
35 MPH (POSTED) AND 80' R/W

TRAFFIC CONTROL PLAN

KENNETH H. EHLERS, P.E.
CONSULTING ENGINEER
9034 FALCON BRIDGE PLACE
MOUNT DORA, FLORIDA 32757
TEL: 1-407-488-3412
FAX: 1-352-382-9337

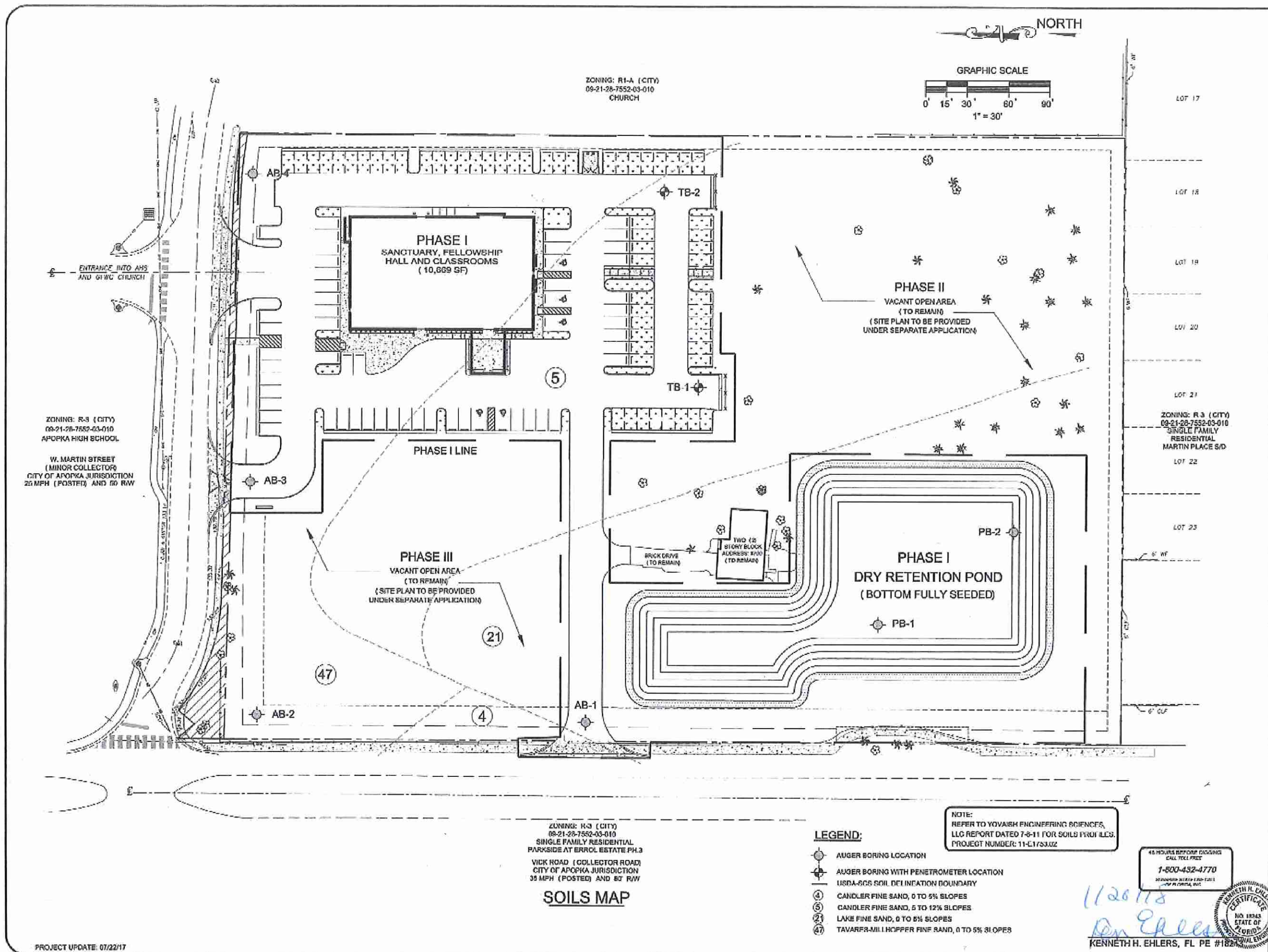
TRAFFIC CONTROL PLAN

GREATER FAITH WORLD CENTER, INC.
(FKA CENTER OF FAITH CHURCH, INC.)
PARCEL ID #04-21-28-0000-00-027
APOPKA, FLORIDA

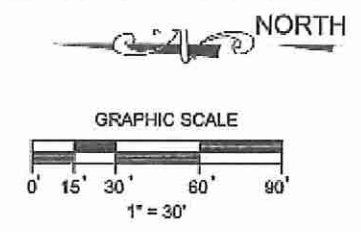
DRAWING NO. **5**
JOB NO. 17100

48 HOURS BEFORE ORIGINATING CALL TOLL FREE
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LANDSCAPE ARCHITECTS
OF FLORIDA, INC.

11/26/10
K. Ehlers
KENNETH H. EHLERS, FL PE #18248



ZONING: R1-A (CITY)
09-21-28-7552-03-010
CHURCH



ZONING: R-3 (CITY)
09-21-28-7552-03-010
APOPKA HIGH SCHOOL

W. MARTIN STREET
(MINOR COLLECTOR)
CITY OF APOPKA JURISDICTION
25 MPH (POSTED) AND 50' RW

PROJECT UPDATE: 07/22/17

ZONING: R-3 (CITY)
09-21-28-7552-03-010
SINGLE FAMILY RESIDENTIAL
PARKSIDE AT ERROL ESTATE PH.3
VICK ROAD (COLLECTOR ROAD)
CITY OF APOPKA JURISDICTION
35 MPH (POSTED) AND 50' RW

SOILS MAP

- LEGEND:**
- AUGER BORING LOCATION
 - ⊕ AUGER BORING WITH PENETROMETER LOCATION
 - USDA-SCS SOIL DELINEATION BOUNDARY
 - ④ CANDLER FINE SAND, 0 TO 5% SLOPES
 - ⑤ CANDLER FINE SAND, 5 TO 12% SLOPES
 - ② LAKE FINE SAND, 0 TO 5% SLOPES
 - ④ TAVARER-MILL HOPPER FINE SAND, 0 TO 5% SLOPES

NOTE:
REFER TO YOVAISH ENGINEERING SCIENCES,
LLC REPORT DATED 7-8-11 FOR SOILS PROFILES.
PROJECT NUMBER: 11-L1753.02

48 HOURS BEFORE DIGGING
CALL TOLL FREE
1-800-432-4770
FOR MORE DETAILS VISIT US AT
WWW.FLORIDA.SOS.COM

11/20/18
Kenneth H. Ehlers
KENNETH H. EHLERS, FL PE #1824

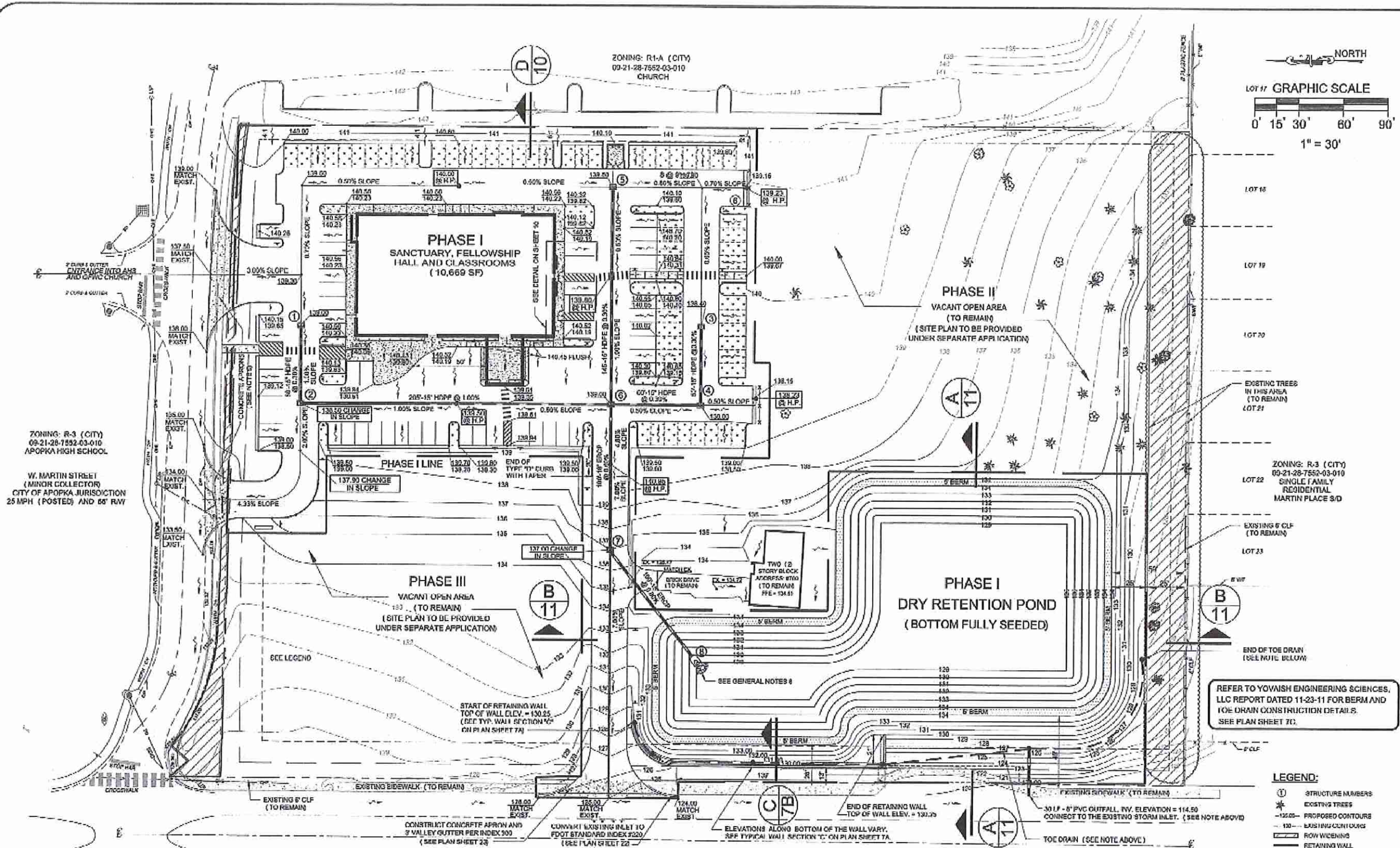
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KENNETH H. EHLERS, P.E.
CONSULTING ENGINEER
6034 FALCONBRIDGE PLACE
MOUNT DORA, FLORIDA 32757
TEL 1-807-488-1412
FAX 1-352-383-2837

SOILS MAP
(SHOWN FOR REFERENCE ONLY)

GREATER FAITH WORLD CENTER, INC.
(FKA CENTER OF FAITH CHURCH, INC.)
PARCEL ID #04-21-28-0000-00-027
APOPKA, FLORIDA

DRAWING NO.
6
JOB NO. 17100



GENERAL NOTES:

- IF THE RETAINING WALL IS OVER 3' IN HEIGHT, A FOUR 4" DECORATIVE FENCE IS REQUIRED ON TOP OF THE WALL.
- CONTRACTOR TO GRADE SOILS SO THAT THE ELEVATIONS ARE 0.10' BELOW IMMEDIATELY ADJACENT SIDEWALK.
- OPTIONAL ROOF DRAINAGE SHALL DISCHARGE TO POSITIVE CONNECTION INTO DRAINAGE SYSTEM, SEE SHEET 7A.
- ALL CURB RAILS ARE 2'-8" MEASURED FROM THE INSIDE FACE OF CURB UNLESS OTHERWISE NOTED.
- FLUSH (RIBBON) CURB (SEE PLAN SHEET 10).
- HANDICAPPED RAMP MUST MEET THE REQUIREMENTS OF THE FLORIDA STATUTES AND THE FLORIDA BUILDING CODE.
- FOR OPTIONAL ROOF DRAIN PLAN (SEE PLAN SHEET 7A).
- CONTRACTOR SHALL INSTALL 4" TO 6" DIAMETER ROCK RUBBLE (OR EQUIV) AT MITERED END SECTION IN THE POND.
- CITY TO CONSTRUCT TWO (2) CONCRETE APRONS ON W. MARTIN STREET PER APPROVED DEVELOPERS AGREEMENT.
- ALL CONCRETE SIDEWALKS ARE TO BE CONSTRUCTED AT 2.00% MAXIMUM SLOPE PER THE ADA.
- ALL PAVED PARKING SPACES ARE TO BE CONSTRUCTED WITH A 2.00% (MINIMUM) TO 4.00% (MAXIMUM) SLOPE.

PROJECT UPDATE: 07/22/17

GRADING AND DRAINAGE PLAN

ZONING: R-3 (CITY)
09-21-28-7552-03-010
SINGLE FAMILY RESIDENTIAL
PARKSIDE AT ERROL ESTATE PH3
VICK ROAD (COLLECTOR ROAD)
CITY OF APOPKA JURISDICTION
35 MPH (POSTED) AND 60' RW

STRUCTURE TABLE:			
STRUCTURE NUMBER:	STRUCTURE TYPE:	RIM:	INVERTS:
1	TYPE 'C' INLET	139.00	135.70 W
2	TYPE 'E' INLET	138.50	135.45 E, S
3	TYPE 'C' INLET	138.40	133.70 W
4	TYPE 'E' INLET	138.00	133.55 N, E
5	TYPE 'C' INLET	130.50	133.65 W
6	TYPE 'E' INLET	139.00	133.40 N, E, S 130.40 W
7	TYPE 'E' INLET	137.00	129.80 E, SW
8	MES (FDOT INDEX 273)	-	129.00 8E

- LEGEND:**
- 1 STRUCTURE NUMBERS
 - * EXISTING TREES
 - 125.00- PROPOSED CONTOURS
 - 130.00- EXISTING CONTOURS
 - ROW LINES
 - RETAINING WALL
 - - - TOC DRAIN

48 HOUR SETBACK DIGGING
CALL TOLL FREE
1-800-432-4770
MAKING STATE OF FLORIDA
OF FLORIDA, INC.



1106718
K. Ehlers
KENNETH H. EHLERS, FL PE #18243

NO.	REVISION	DATE
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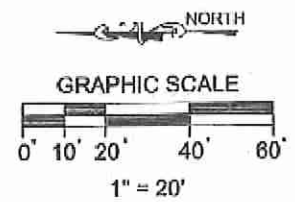
KENNETH H. EHLERS, P.E.
CONSULTING ENGINEER
6034 FALCONBRIDGE PLACE
MOUNT DORA, FLORIDA 32757
TEL: 1-407-448-3472
FAX: 1-352-583-2527

GRADING AND DRAINAGE PLAN

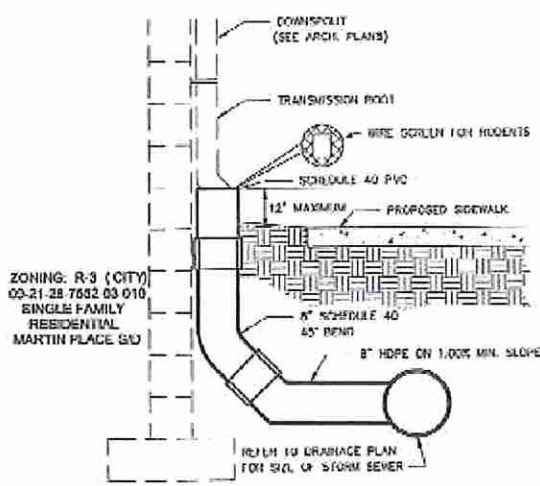
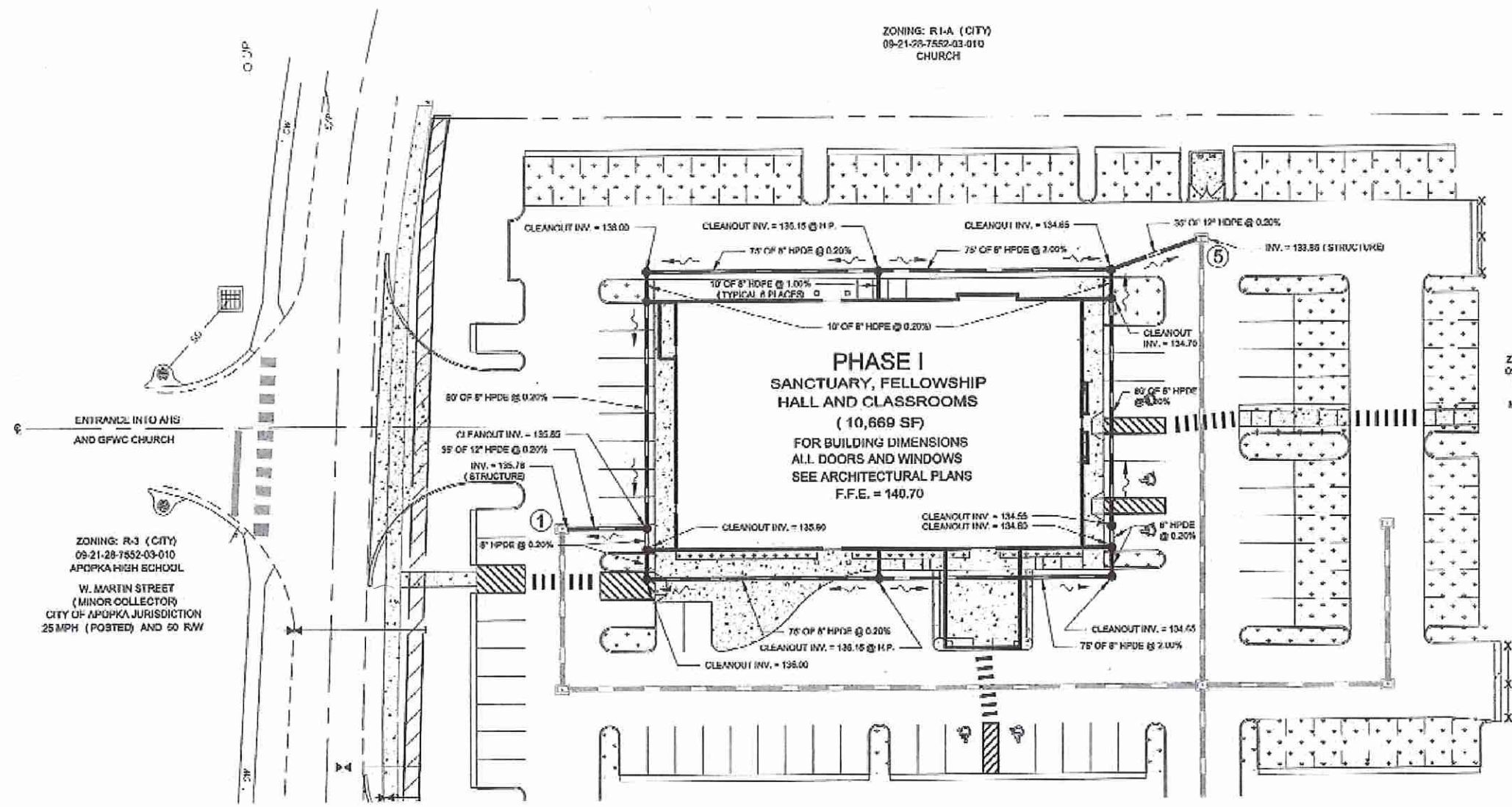
GREATER FAITH WORLD CENTER, INC.
(FKA CENTER OF FAITH CHURCH, INC.)
PARCEL ID #04-21-28-0000-00-027
APOPKA, FLORIDA

DRAWING NO. **7**
JOB NO. 17100

NO.	REVISION	DATE
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ZONING: R-1A (CITY)
09-21-28-7552-03-010
CHURCH



DOWN SPOUT DETAIL
NOT TO SCALE

NOTE:
ALL DOWN SPOUT COLLECTOR PIPE SHALL BE SCHEDULE 10 PVC.

ZONING: R-3 (CITY)
09-21-28-7552-03-010
APOPKA HIGH SCHOOL
W. MARTIN STREET
(MINOR COLLECTOR)
CITY OF APOPKA JURISDICTION
25 MPH (POSTED) AND 50 RW

ZONING: R-3 (CITY)
09-21-28-7552-03-010
SINGLE FAMILY RESIDENTIAL
PARKSIDE AT ERROL ESTATE PH.3
VICK ROAD (COLLECTOR ROAD)
CITY OF APOPKA JURISDICTION
35 MPH (POSTED) AND 80' RW

- NOTES:**
1. ALL CLEANOUT RIM ELEVATIONS (SEE PLAN SHEET 7)
 2. (5) STRUCTURE NUMBER

ROOF DRAIN PLAN
(OPTIONAL)

KENNETH H. EHLERS, P.E.
CONSULTING ENGINEER
6034 FALCONBRIDGE PLACE
MOUNT DORA, FLORIDA 32757
TEL: 1-407-448-3432
FAX: 1-352-393-2537

ROOF DRAIN PLAN
(OPTIONAL)

GREATER FAITH WORLD CENTER, INC.
(FKA CENTER OF FAITH CHURCH, INC.)
PARCEL ID #04-21-28-0000-00-027
APOPKA, FLORIDA

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FLORIDA STATE DICE CALL
OF FLORIDA, INC.

112678
K. Ehlers
KENNETH H. EHLERS, FL PE

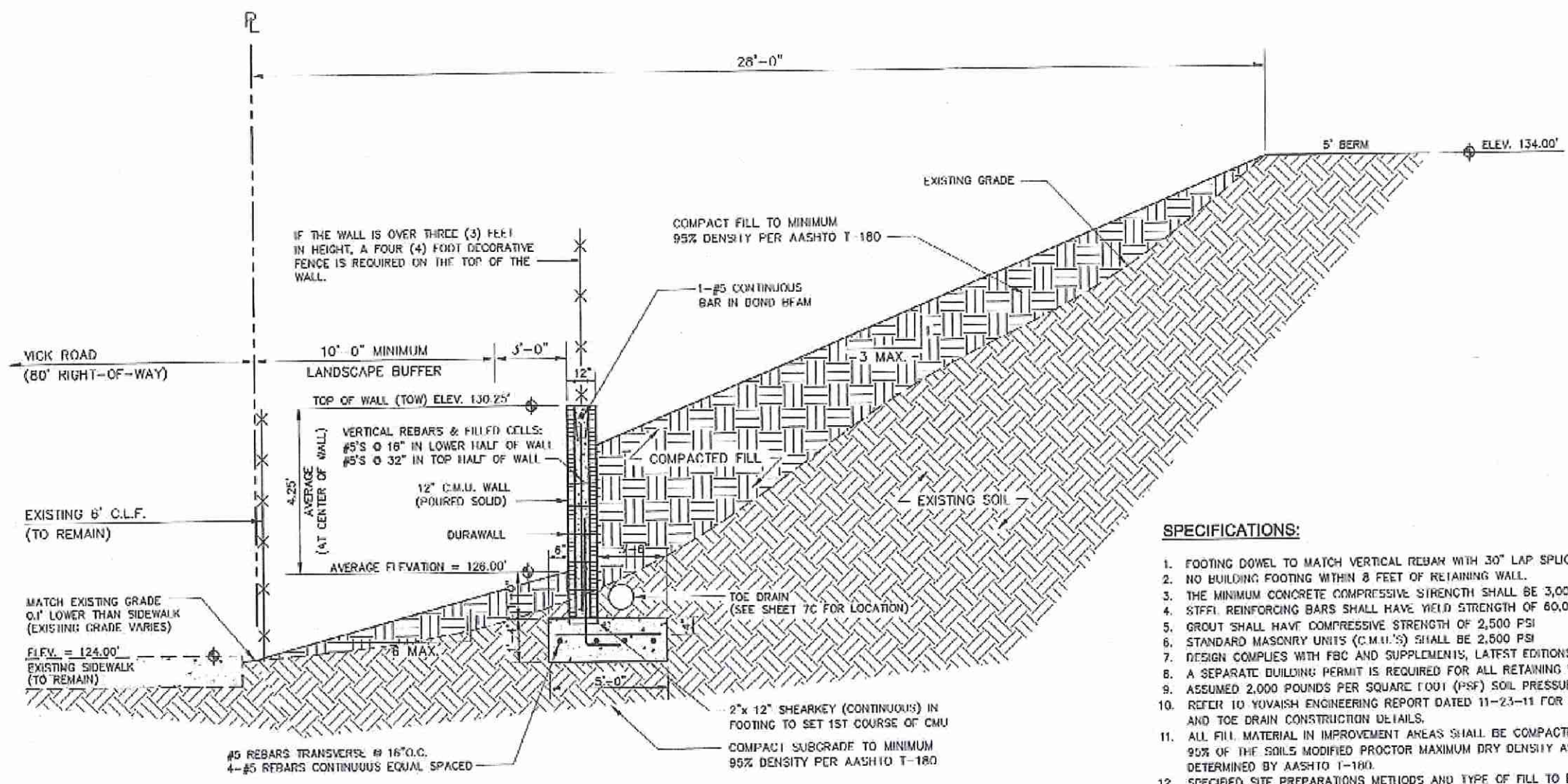
DRAWING NO.
7A
JOB NO. 17100

NO.	REVISION	DATE
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KENNETH H. EHLERS, P.E.
CONSULTING ENGINEER
6034 FALCONBRIDGE PLACE
MOUNT DORA, FLORIDA 32757
TEL: 1-352-380-2837
Fax: 1-352-380-2837

RETAINING WALL DETAIL

GREATER FAITH WORLD CENTER, INC.
(FKA CENTER OF FAITH CHURCH, INC.)
PARCEL ID #04-21-28-0000-00-027
APOPKA, FLORIDA



- SPECIFICATIONS:**
1. FOOTING DOWEL TO MATCH VERTICAL REBAR WITH 30" LAP SPICE.
 2. NO BUILDING FOOTING WITHIN 8 FEET OF RETAINING WALL.
 3. THE MINIMUM CONCRETE COMPRESSIVE STRENGTH SHALL BE 3,000 PSI
 4. STEEL REINFORCING BARS SHALL HAVE YIELD STRENGTH OF 60,000 PSI
 5. GROUT SHALL HAVE COMPRESSIVE STRENGTH OF 2,500 PSI
 6. STANDARD MASONRY UNITS (C.M.U.'S) SHALL BE 2,500 PSI
 7. DESIGN COMPLIES WITH FBC AND SUPPLEMENTS, LATEST EDITIONS.
 8. A SEPARATE BUILDING PERMIT IS REQUIRED FOR ALL RETAINING WALLS.
 9. ASSUMED 2,000 POUNDS PER SQUARE FOOT (PSF) SOIL PRESSURE.
 10. REFER TO YOVAISH ENGINEERING REPORT DATED 11-23-11 FOR BERM AND TOE DRAIN CONSTRUCTION DETAILS.
 11. ALL FILL MATERIAL IN IMPROVEMENT AREAS SHALL BE COMPACTED TO 90% OF THE SOILS MODIFIED PROCTOR MAXIMUM DRY DENSITY AS DETERMINED BY AASHTO T-180.
 12. SPECIFIED SITE PREPARATION METHODS AND TYPE OF FILL TO BE USED FOR PARKING, BUILDING AND RETENTION POND SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEERS RECOMMENDATIONS (SEE GEOTECHNICAL REPORT PREPARED BY YOVAISH ENGINEERING SCIENCES, LLC, DATED 11/23/11.)

- LEGEND:**
- COMPACTED FILL: [Hatched pattern]
 - EXISTING SOIL: [Cross-hatched pattern]

SECTION "C" C
7
RETAINING WALL DETAIL
(AT CENTER OF WALL)
NOT TO SCALE

NOTE:
REFER TO YOVAISH ENGINEERING SCIENCES, LLC. REPORT DATED 11-23-11 FOR DERM AND TOE DRAIN CONSTRUCTION DETAILS.
(SEE PLAN SHEET 7C)

10 HOURS BEFORE MOOVING
CALL 1-800-432-4770
1-800-432-4770
SCHEDULE YOUR CALL
TOP OF FLORIDA, INC.



11/20/17
K. Ehlers
KENNETH H. EHLERS, FL PE #18243

DRAWING NO
7B
JOB NO. 17100



November 23, 2011

Reverend James Hicks
c/o Mt. Kameah Pkwy., P.O.
6034 Falconbridge Place
Mt. Dora, Florida 32757

Subject: Pond Berm Stability Evaluations and Recommendations, Proposed Building and Retention Areas Center of Faith Church, 700 Vick Road, Apopka, Florida (PN 11-1133-03)

Pursuant to the request of Mr. Ken Ehlers, P.E., we have reviewed the proposed retaining pond grades for the above referenced development. The following report presents the results of our engineering evaluation of the stability of the pond berm slopes. Recommendations for construction of certain berms are also included.

1.0 BACKGROUND

The soil and groundwater conditions within the site were previously investigated by Yorval Engineering Sciences, Inc. The results of the investigation were presented in the report entitled, "Subsidence and Groundwater Level Investigation, Proposed Building and Retention Areas, Center of Faith Church, 700 Vick Road, Apopka, Florida (PN 11-1133-03)", dated July 8, 2011. The soil and groundwater data presented in the July 2011 report together with the plans prepared by Ken Ehlers, P.E. and dated July 2011 (revised November 15, 2011), form the basis for our evaluations presented herein.

2.0 EVALUATIONS AND CONCLUSIONS

2.1 Pond Berm Descriptions

2.1.1 Proposed Berm Geometry: Based upon plans referenced above, the pond will include an earthen berm located above the existing grade along a portion of its perimeter. The berm will be constructed with a 5 foot crest width. The inside slopes will be graded at 5 horizontal to 1 vertical. The outside slopes are to be graded at 3 horizontal to 1 vertical, or flatter.

In addition, a retaining wall will be constructed along a portion of the pond perimeter. The design of the retaining wall was performed by others and therefore is not part of the evaluations presented herein. The pond configuration and proposed retaining wall location are presented on Figure 1, attached.

513 Semble Lane • Altamonte Springs, FL 32714
Phone: 407-714-9883 • Fax: 407-418-8978

Pond Berm Stability Evaluations - Center of Faith Church
PN 11-1133-03 Page 2

Based on a review of the geometry of the proposed pond berm slope discussed above, it is our opinion that a toe drain will be required for the toe of the pond outside slope. Specifically, we recommend that a toe drain be constructed along the outside toe of slope. Recommendations for construction of the toe drain are presented on Figures 2 and 3.

2.1.2 Earthen Berm Construction Recommendations: Approximately 1 to 3 feet of fill will be required within portions of the pond berm. As input to our stability evaluations, we prepared the following recommendations for the construction of the pond berm:

1. The entire construction area, including a minimum margin of 3 feet beyond the perimeter of the berm should be cleared and stripped, removing all existing vegetation, topsoil, surficial organic soils (where encountered) and other deleterious material.
2. The stripped area should be leveled by cap grading into the existing slope and proof-rolled using proper construction equipment.
3. Upon approval by the Geotechnical Engineer, the proof-rolled surface may be filled with relatively clean granular sands (less than 5 percent fines passing the U.S. No. 200 Sieve). The fill shall be free of roots and other deleterious material and placed in level lifts not to exceed 12 inches loose and compacted as outlined below.
4. A sufficient number of overlapping passes should be made by the compaction equipment across the filled area in order to compact the fill soil to a minimum density equivalent to 95 percent of the soil's Maximum Modified Proctor Density value (ASTM D-1557).
5. Once the berm has been filled and compacted to its design elevation/grades, appropriate erosion control shall be provided.
6. A Geotechnical Engineer from Yorval Engineering Sciences, Inc. or his designee representative should be retained to inspect and test all compacted surfaces to determine that the in-place overall and fill soils are properly densified and proper documentation of the required minimum compaction criteria can be provided.

2.1.3 Slope Control: Based on our review of the geometry of the proposed pond outside slope of 3 horizontal to 1 vertical (discussed above), it is our opinion that a toe drain will be required for the pond berm. Specifically, we recommend that a toe drain be constructed along the outside toe of slope. Recommendations for construction of the toe drain are presented on Figures 2 and 3.

2.1.4 Berm Stability Analysis: The methodology of our stability analysis is based on infinite slope theory and that the toe drain is constructed as depicted on Figures 2 and 3. The input parameters and analysis results are presented on Attachment A. Based upon the stability analyses (infinite slope) minimum Factor of Safety equal to 1.33) and provided that the pond berm is constructed as

Pond Berm Stability Analysis - Center of Faith Church
PN 11-1133-03 Page 3

Factor of Safety equal to 1.33) and provided that the pond berm is constructed as recommended herein and presented on the construction plans, it is our opinion that the pond berm will be adequately stable.

DISCLOSURE

We sincerely appreciate the opportunity to be of service once again and trust that the information presented herein is complete and sufficient for your needs. If you have any questions regarding the contents of this report or if you may be of further assistance, please do not hesitate to contact the undersigned.

Sincerely,

Yorval Engineering Sciences, Inc.
Certificate of Authorization No. 6802

Kenneth H. Ehlers
Kenneth H. Ehlers, P.E.
Florida Registration No. 55357

Attachment: Appendix A
Figures 1 through 3

ATTACHMENT A

Pond Berm Stability Analysis Per Outside Slope of Pond Berms (3H to 1V or Flatter)
Center of Faith Church
700 Vick Road
Apopka, Florida
(PN 11-1133-03)

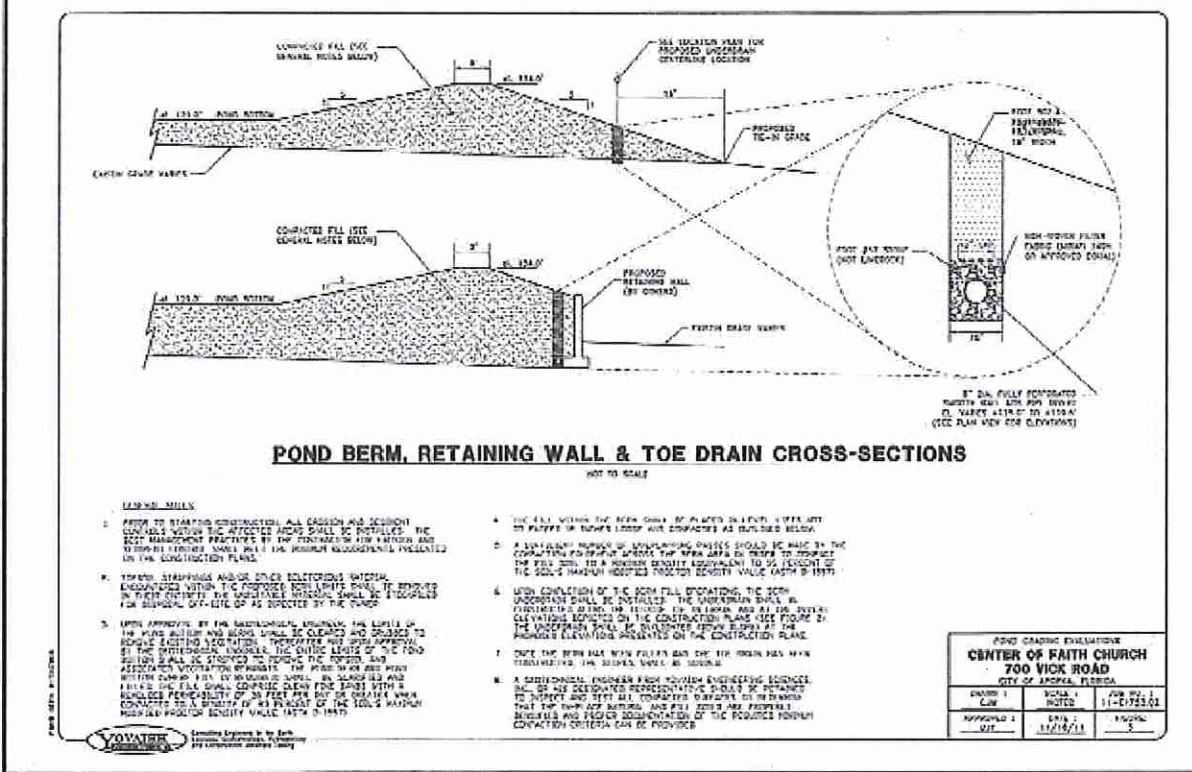
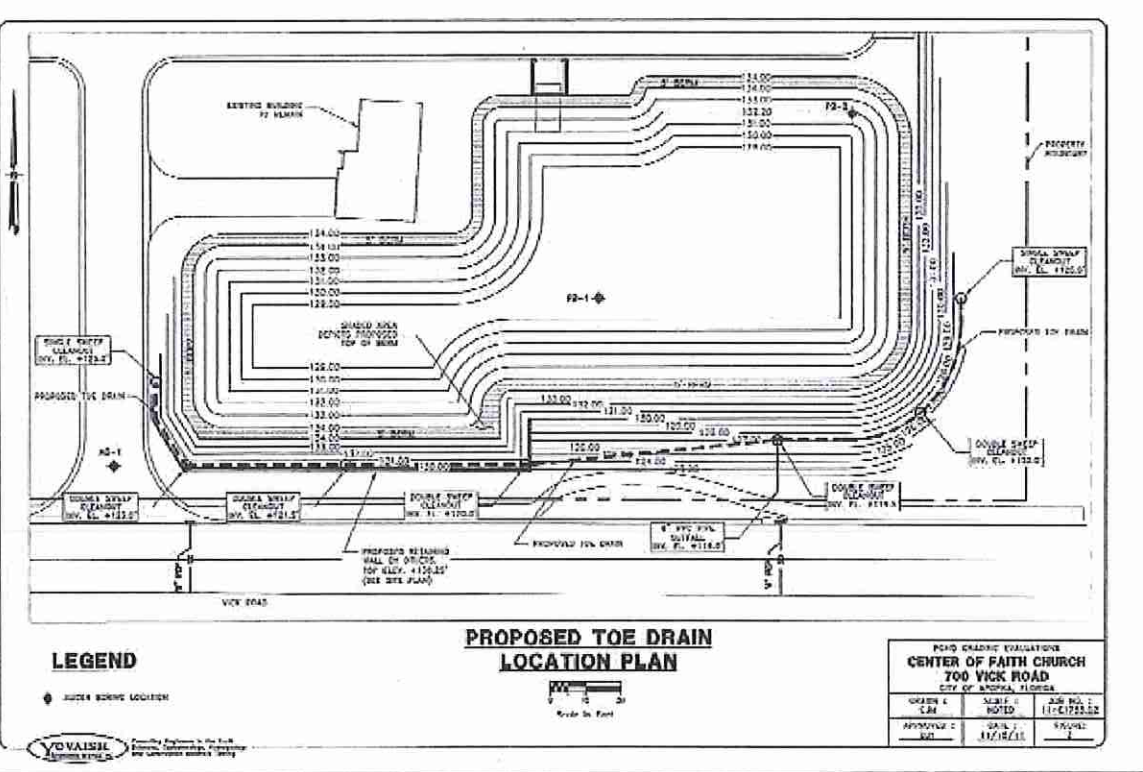
SLOPE STABILITY ANALYSIS

INFINITE SLOPE THEORY WITH SURFACE FORCES

Input Data	
Surficial soil weight	125.0 pcf
Moisture weight	115.0 pcf
Unit weight of water	62.4 pcf
Slope (Horizontal)	3H
Vertical (Vertical)	1.0V
Inter-particle friction angle	13.0 deg
% saturated thickness	50%

Inter-particle Cohesion	0.0 pcf
Effective Unit Weight	11.4 deg
Slope Angle	6.33
Hydraulic Conductivity	

RESULTS	
Computed Factor of Safety (includes seepage forces)	1.33
Required minimum factor of safety	1.3



NO.	REVISION	DATE
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7		

KENNETH H. EHLERS, P.E.
CONSULTING ENGINEER
6034 FALCONBRIDGE PLACE
MOUNT DORA, FLORIDA 32757
TEL: 1-800-383-5337
Fax: 407-418-8978

SOIL REPORT
POND BERM STABILITY EVALUATIONS
AND RECOMMENDATIONS

GREATER FAITH WORLD CENTER, INC.
(FKA CENTER OF FAITH CHURCH, INC.)
PARCEL ID #04-21-28-0000-00-027
APOPKA, FLORIDA

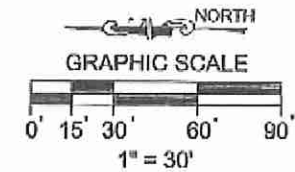
DRAWING NO. **7C**
JOB NO. 17100

SOIL REPORT
POND BERM STABILITY EVALUATIONS AND RECOMMENDATIONS



EXISTING UNDERGROUND AND OVERHEAD UTILITIES:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING SIZE, MATERIAL TYPE, LOCATION, DEPTH AND CONDITION OF ALL EXISTING UNDERGROUND AND OVERHEAD UTILITIES PRIOR TO CONSTRUCTION. THE ENGINEER-OF-RECORD HAS NO RESPONSIBILITY WITH REGARD TO THE COMPLETENESS AND/OR ACCURACY OF INFORMATION SHOWN ON THIS PLAN WITH REGARD TO THE EXISTENCE AND/OR NON-EXISTENCE OF UNDERGROUND OR OVERHEAD UTILITIES.



NO.	REVISION	DATE

KENNETH H. EHLERS, P.E.
CONSULTING ENGINEER
6034 FALCONBRIDGE PLACE
MOUNT DORA, FLORIDA 32757
TEL 1-407-448-9412
FAX 1-552-385-2627

UTILITY PLAN

GREATER FAITH WORLD CENTER, INC.
(FKA CENTER OF FAITH CHURCH, INC.)
PARCEL ID #04-21-28-0000-00-027
APOPKA, FLORIDA

DRAWING NO. **8**
JOB NO. 17100

DOMESTIC WATER & FIRE SYSTEM:

- ① 12" PLUG (BY CITY), 3/4" METER (BY CITY)
- ② 12" X 6" REDUCER
- ③ 8" X 8" X 4" TEE
- ④ 41'-4" PVC WATER MAIN (C-900)
- ⑤ 2'-4" 45 DEGREE ELBOWS AND 4" X 2" REDUCER
- ⑥ 2" BACKFLOW PREVENTOR W/ 2" METER LOCATE MIN. 5' BEHIND BACK OF CURB
- ⑦ 75'-2" PVC WATER MAIN (C-900)
- ⑧ 2" PLUG
- ⑨ 330'-8" PVC WATER MAIN (C-900)
- ⑩ FIRE HYDRANT ASSEMBLY
- ⑪ 8" X 8" X 8" TEE AND 2'-8" G.V.
- ⑫ 45'-8" PVC WATER MAIN (C-900)
- ⑬ FDC CONNECTION (MIN. 41' FROM BLDG)
- ⑬A 175'-2" PVC WATER MAIN (C-900)
- ⑬B 34'-1" PVC WATER MAIN (C-900)

IRRIGATION SYSTEM:

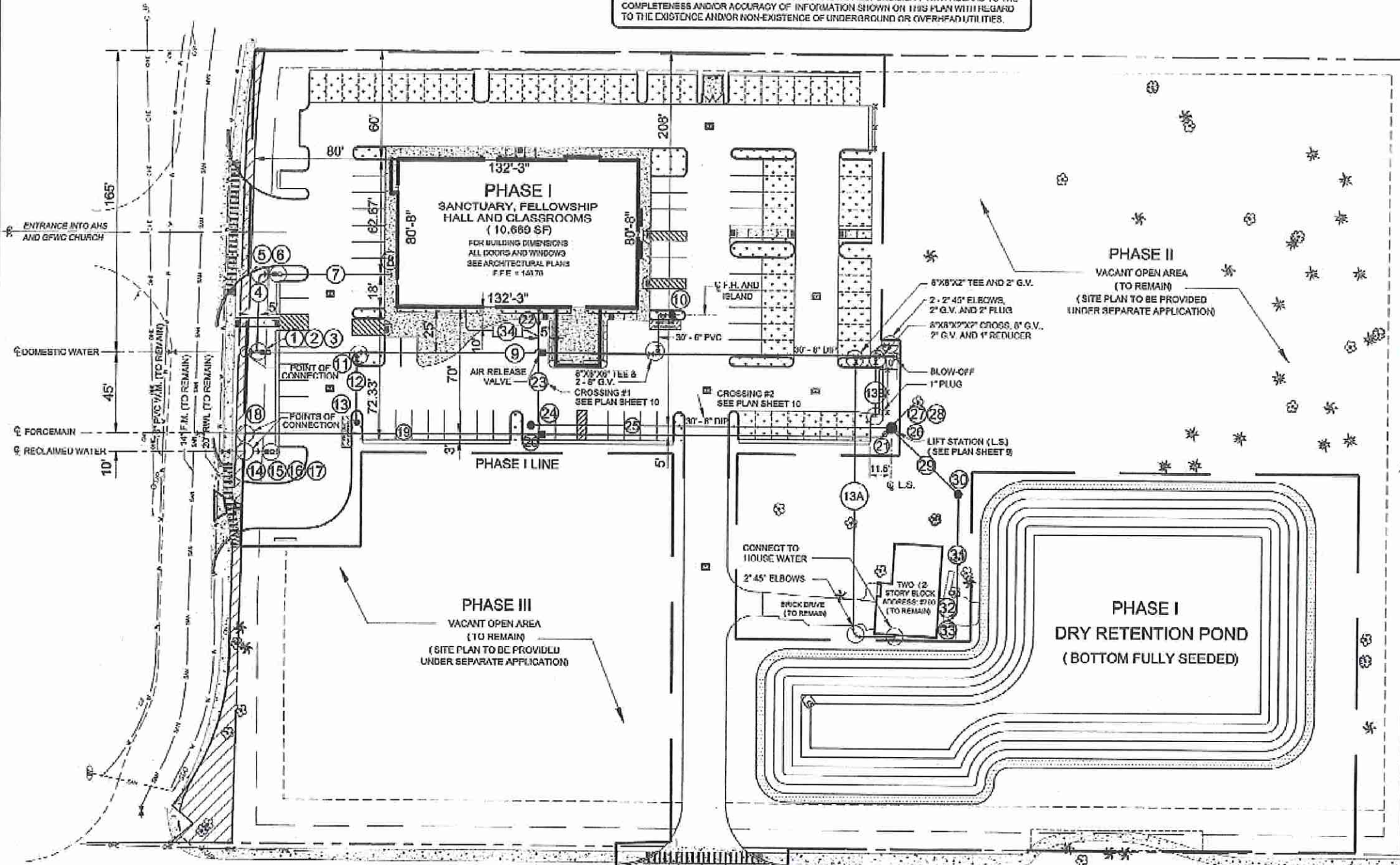
- ⑭ 4" PLUG (BY CITY)
- ⑮ 4" X 2" REDUCER
- ⑯ 2" METER BY CITY (SEE NOTE 12)
- ⑰ 2" PLUG

WASTEWATER SYSTEM:

- ⑱ 2" PLUG (BY CITY)
- ⑲ 350'-4" PVC FORCE MAIN (C-900)
- ⑳ 4" AIR RELEASE VALVE (SEE PLAN SHEET 15)
- ㉑ 2'-4" 45 DEGREE ELBOWS
- ㉒ CO, RIM = 140.19, INV. = 137.28 W/ 8" PLUG
- ㉓ 65'-8" PVC SANITARY SEWER @ 0.40%
- ㉔ DROP MANHOLE #1, RIM = 138.50
S INV. = 137.00, E INV. = 134.65
- ㉕ 160'-8" PVC SANITARY SEWER @ 2.325%
- ㉖ 20'-8" DUCTILE IRON PIPE @ 2.325%
- ㉗ LIFT STATION (SEE PLAN SHEET 9)
- ㉘ 15'-8" PVC SANITARY SEWER @ 0.40%
- ㉙ 8" PLUG
- ㉚ 65'-8" PVC SANITARY SEWER @ 0.40%
- ㉛ MANHOLE #2, RIM = 135.00, INV. = 130.24
- ㉜ 50'-8" PVC SANITARY SEWER @ 0.40%
- ㉝ 2'-8" 45 DEGREE ELBOWS
- ㉞ CONNECT TO HOUSE SANITARY SEWER
- ㉟ 1,250 GALLON GREASE INTERCEPTOR (SEE PLAN SHEET 2)

48 HOURS BEFORE DIGGING
CALL TOLL FREE
1-800-432-4770
SUNSHINE STATE ONE CALL
FLORIDA'S 811

1126110
K. Ehlers
KENNETH H. EHLERS, P.E.
FLORIDA PROFESSIONAL ENGINEER
NO. 18243
STATE OF FLORIDA

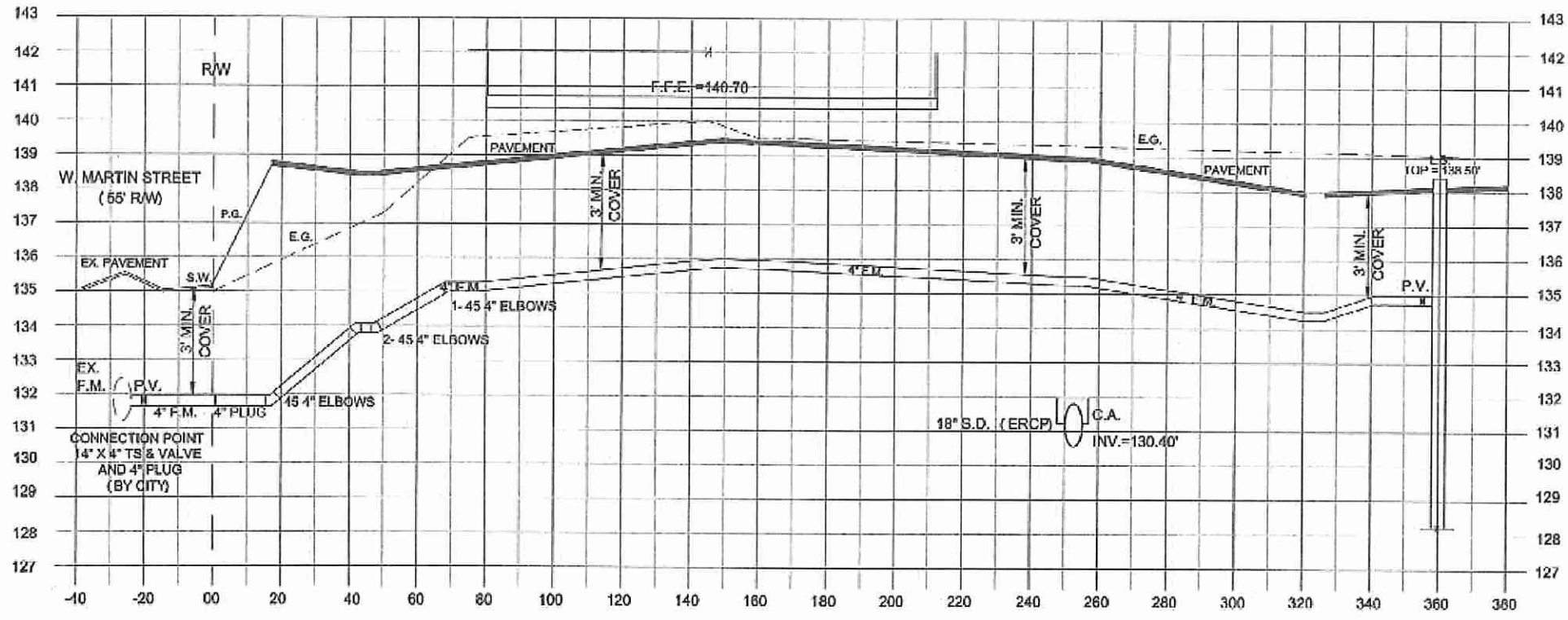


CITY TO PROVIDE UTILITY EXTENSIONS TO THE NORTH PROPERTY LINE PER THE APPROVED AGREEMENT

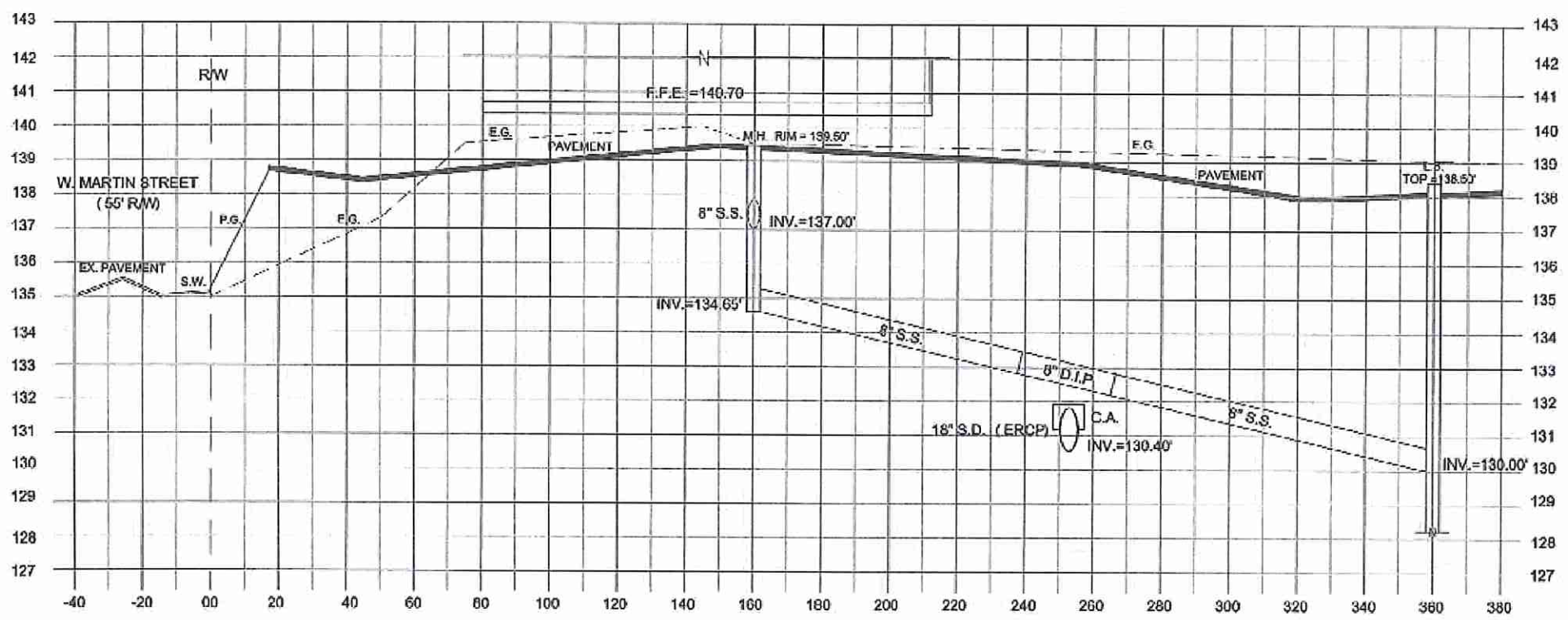
NOTES:

1. THE GENERAL CONTRACTOR SHALL MAINTAIN THE PRIVATE WASTEWATER AND DOMESTIC WATER SERVICE TO THE EXISTING BUILDING, STILL BEING USED AS A CHURCH, UNTIL PUBLIC ACCEPTANCE OF THE NEW UTILITY SYSTEMS.
2. THE OWNER WILL DEDICATE AN EASEMENT TO THE CITY OF APOPKA FOR THE OPERATION AND MAINTENANCE OF THE PRIVATE WATER METERS.
3. WHEN DESIGNING THE BUILDING PLUMBING PLAN, NO DOMESTIC WASTE MAY FLOW THROUGH THE GREASE INTERCEPTOR. SEE PLAN SHEET 21.
4. ALL WATER MAINS SHALL HAVE MINIMUM 3 FEET OF COVER UNLESS OTHERWISE SPECIFIED ON THE PLANS.
5. THE FIRE HYDRANT LOCATED IN LANDSCAPE ISLAND SHALL BE PLACED SO AS NOT TO INTERFERE WITH TREES AND/OR ROOT SYSTEMS.
6. THE FIRE HYDRANT MUST BE LOCATED WITHIN 250 FEET OF ALL BUILDINGS. SEE PLAN SHEET 16.
7. FOLLOW FLORIDA STATUTES 633.027 CONCERNING LIGHT FRAME TRUSS CONSTRUCTION.
8. FOLLOW THE FLORIDA FIRE PREVENTION CODE 5TH EDITION.
9. OWNER MUST PROVIDE A LOCK BOX NEAR THE FRONT DOOR.
10. SYMBOLS SUCH AS STRUCTURES, VALVES, METERS, BACKFLOW DEVICES, ETC. ARE NOT DRAWN TO SCALE.
11. FIRE LINE: 3/4" BYPASS METER INCLUDED WITH BACKFLOW ASSEMBLY.
12. RECLAIM WATER: 2" SENSUS-TOUCH READ COMPATIBLE WITH CITY STANDARDS.

ALL ROADWAYS, WATER LINE INFRASTRUCTURES, AND FIRE HYDRANTS SHALL BE IN PLACE BEFORE THE BUILDING CONSTRUCTION BEGINS.



FORCE MAIN PROFILE
 LOOKING EAST OVER FORCE MAIN
 HORIZONTAL SCALE: 1" = 20'
 VERTICAL SCALE: 1" = 2'



SANITARY SEWER PROFILE
 LOOKING EAST OVER SANITARY SEWER
 HORIZONTAL SCALE: 1" = 20'
 VERTICAL SCALE: 1" = 2'



LEGEND:

- F.F.E. FIRST FLOOR ELEV.
- E.G. EXISTING GRADE
- W.M. WATER MAIN
- S.S. SANITARY SEWER
- P.V. PLUG VALVE
- L.S. LIFT STATION
- G.V. GATE VALVE
- F.M. FORCE MAIN
- C.A. CONC. ARCH
- M.H. MANHOLE
- INV. INVERT
- EX. EXISTING
- TS/V TAPPING SLEEVE & VALVE
- S.W. SIDEWALK
- P.G. PROPOSED GRADE

NO.	REVISION	DATE
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KENNETH H. EHLERS, P.E.
 CONSULTING ENGINEER
 6034 FALCONBRIDGE PLACE
 MOUNT DORA, FLORIDA 32757
 TEL 1-877-448-3412
 Fax 1-352-383-2837

UTILITY PROFILE
 (FORCE MAIN AND SANITARY SEWER)

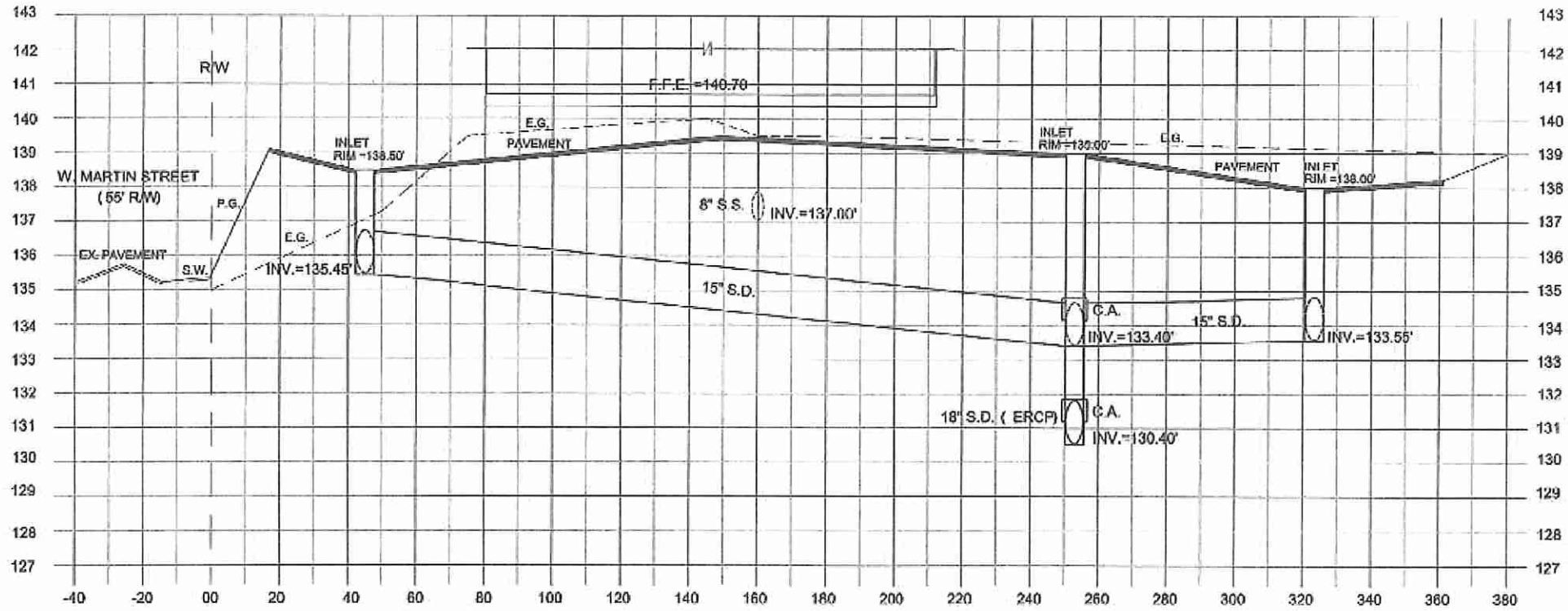
GREATER FAITH WORLD CENTER, INC.
 (FKA CENTER OF FAITH CHURCH, INC.)
 PARCEL ID #04-21-28-0000-00-027
 APOPKA, FLORIDA

48 HOURS BEFORE DIGGING
 CALL 811
 1-800-432-4770
 SEND STATE ONE CALL
 OF FLORIDA, INC.



1126718
 KENNETH H. EHLERS, FL PE #18243

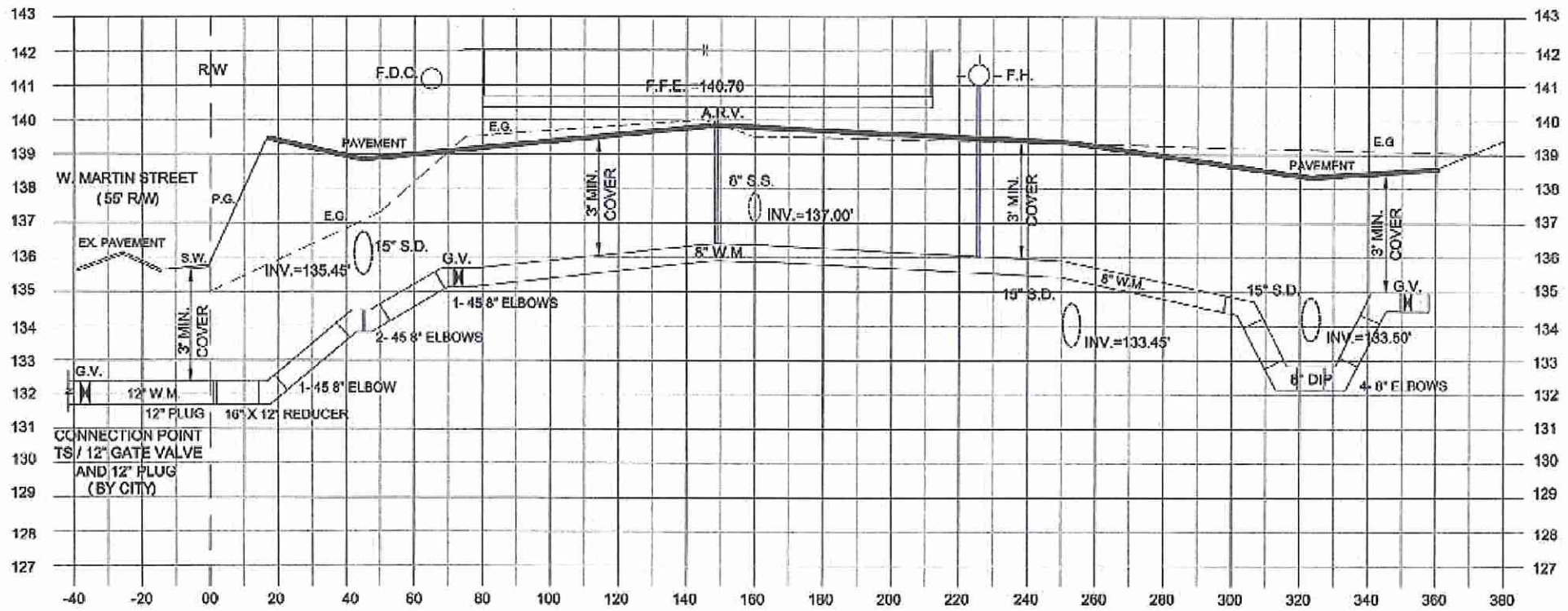
DRAWING NO.
8A
 JOB NO. 17100



STORM DRAIN PROFILE

LOOKING EAST OVER STORM DRAIN

HORIZONTAL SCALE: 1" = 20'
VERTICAL SCALE: 1" = 2'



WATER MAIN PROFILE

LOOKING EAST OVER WATER MAIN

HORIZONTAL SCALE: 1" = 20'
VERTICAL SCALE: 1" = 2'



LEGEND:

- F.F.E. FIRST FLOOR ELEV.
- E.G. EXISTING GRADE
- W.M. WATER MAIN
- G.V. GATE VALVE
- P.V. PLUG VALVE
- F.H. FIRE HYDRANT
- F.D.C. FIRE DEPT. CONN.
- F.M. FORCE MAIN
- S.D. STORM DRAIN
- R.D. ROOF DRAIN
- C.A. CONC. ARCH
- R/W RIGHT OF WAY
- INV. INVERT
- TS/V TAPPING SLEEVE & VALVE
- S.W. ROOF DRAIN
- P.G. PROPOSED GRADE

NO.	REVISION	DATE
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KENNETH H. EHLERS, P.E.
CONSULTING ENGINEER
6034 FALCON BRIDGE PLACE
MOUNT DORA, FLORIDA 32757
TEL: 1-407-446-3412
Fax: 1-352-363-2637

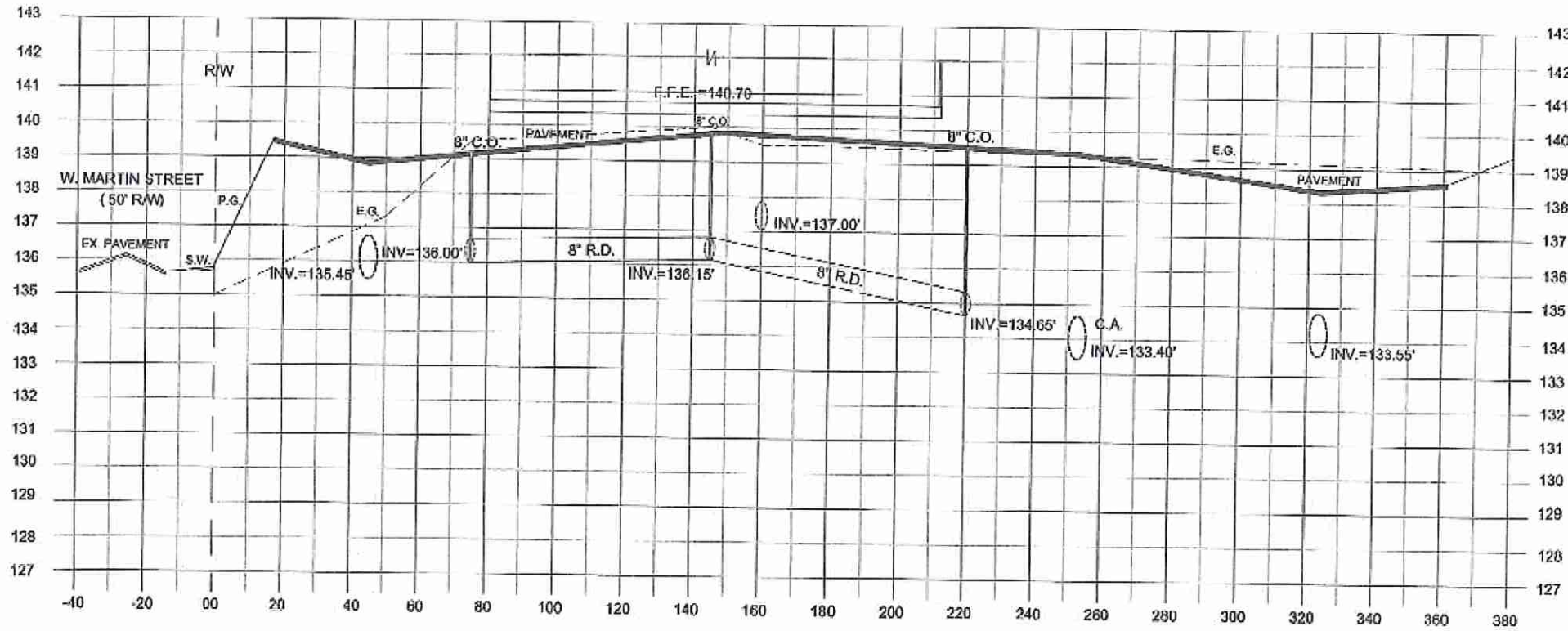
UTILITY PROFILE
(STORM DRAIN AND WATER MAIN)

GREATER FAITH WORLD CENTER, INC.
(FKA CENTER OF FAITH CHURCH, INC.)
PARCEL ID #04-21-28-0000-00-027
APOPKA, FLORIDA

48 HOURS BEFORE DIGGING
CALL 811
1-800-432-4770
FLORIDA STATE ONE CALL
OF FLORIDA, INC.



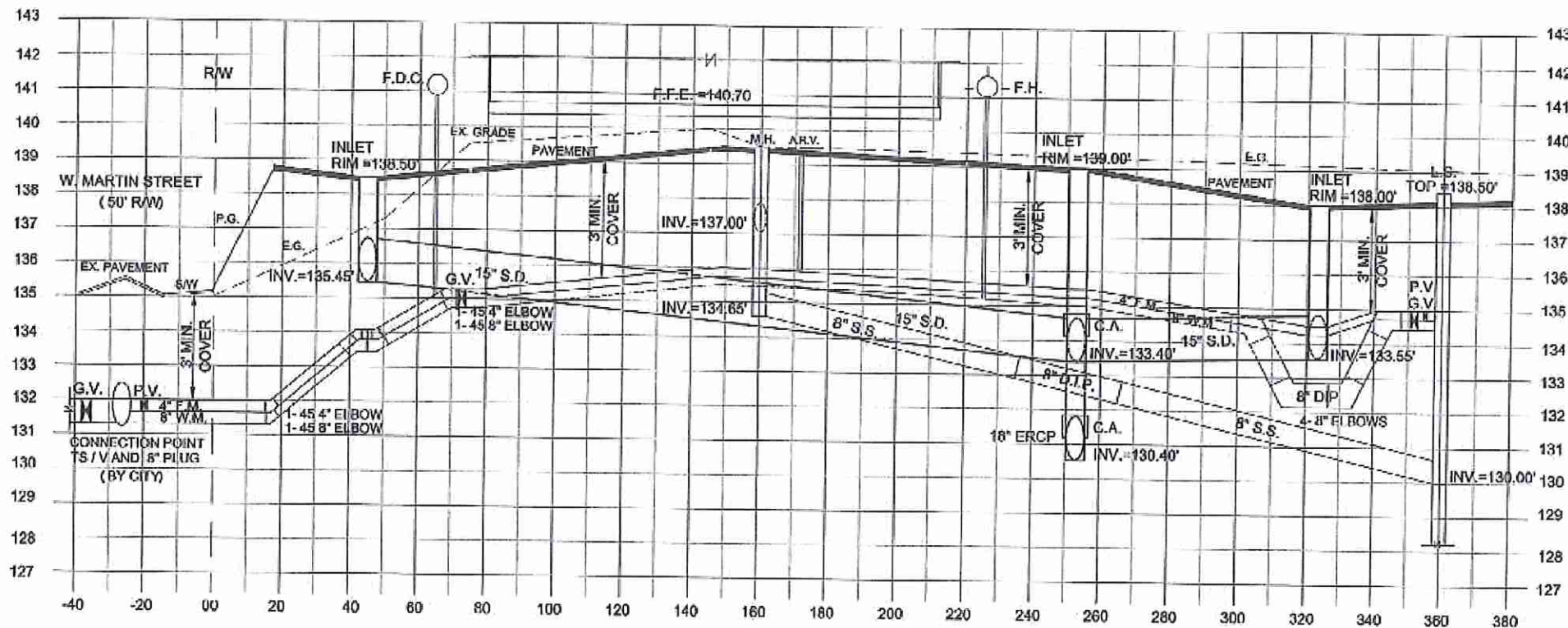
1106118
Kenneth H. Ehlers



ROOF DRAIN PROFILE

LOOKING EAST OVER ROOF DRAIN

HORIZONTAL SCALE: 1" = 20'
VERTICAL SCALE: 1" = 2'



UTILITY COMPILATION PROFILE

LOOKING EAST OVER FORCE MAIN

HORIZONTAL SCALE: 1" = 20'
VERTICAL SCALE: 1" = 2'



LEGEND:

- F.F.E. FIRST FLOOR ELEV.
- E.G. EXISTING GRADE
- W.M. WATER MAIN
- S.S. SANITARY SEWER
- L.S. LIFT STATION
- G.V. GATE VALVE
- P.V. PLUG VALVE
- F.H. FIRE HYDRANT
- F.D.C. FIRE DEPT. CONN.
- F.M. FORCE MAIN
- S.D. STORM DRAIN
- R.D. ROOF DRAIN
- C.A. CONC. ARCH
- R.W. RIGHT-OF-WAY
- P.G. PROPOSED GRADE

NO.	REVISION	DATE

KENNETH H. EHLERS, P.E.
CONSULTING ENGINEER
6034 FALCONBRIDGE PLACE
MOUNT DORA, FLORIDA 32757
TEL: 1-867-445-3412
Fax: 1-352-538-2537

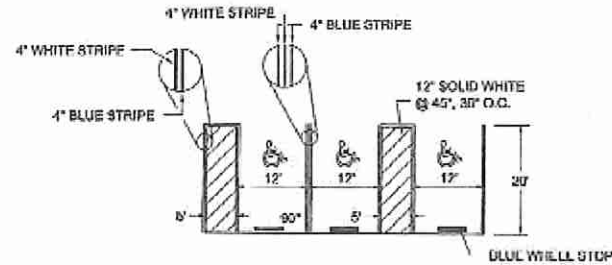
UTILITY PROFILE
(ROOF DRAIN AND COMPILATION)

GREATER FAITH WORLD CENTER, INC.
(FKA CENTER OF FAITH CHURCH, INC.)
PARCEL ID #04-21-28-0000-00-027
APOPKA, FLORIDA

40 HOURS BEFORE DIGGING
CALL 800-PROF
1-800-432-4770
FLORIDA STATE ONE CALL
OF FLORIDA, INC.

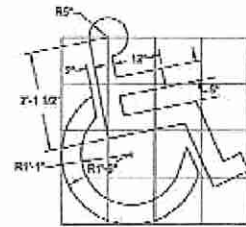


1126178
K. Ehlers



NOTE:
HANDICAP SPACE IS TO BE OUTLINED IN A 4" BLUE PAINTED STRIP.

TYPICAL DISABLED PARKING SECTION
NOT TO SCALE



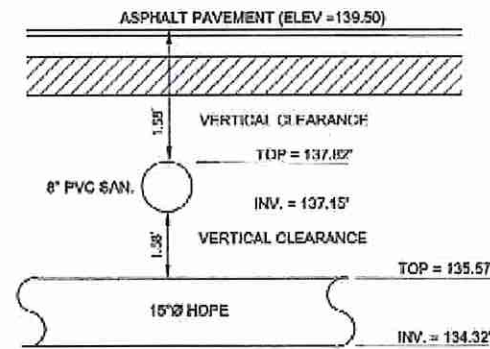
HANDICAP SYMBOL DETAIL
NOT TO SCALE



CONTRACTOR SHALL COORDINATE SIGN INFORMATION PERTAINING TO FUTURE LOCAL JURISDICTIONS

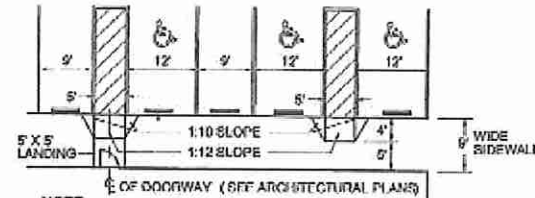
HANDICAP PARKING SIGN
NOT TO SCALE

DISABLED PARKING DETAILS
NOT TO SCALE



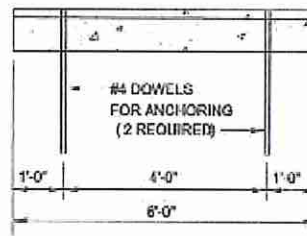
CROSSING #1 #1/8
NOT TO SCALE

WHERE THE 8" SEWER MAIN CROSSES OVER DRAINAGE PIPE BETWEEN INLETS STRUCTURE NUMBERS 2 AND 8 LOOKING NORTH

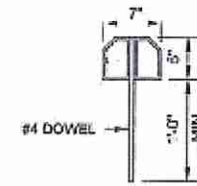


NOTE:
4" RAISED CONCRETE SIDEWALK AT 2% MAXIMUM SLOPE

HANDICAP RAMPS
NOT TO SCALE
SOUTH BUILDING FACE
(SEE PLAN SHEET 3)

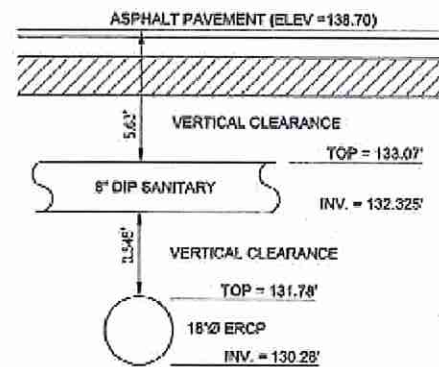


FRONT ELEVATION
NOT TO SCALE



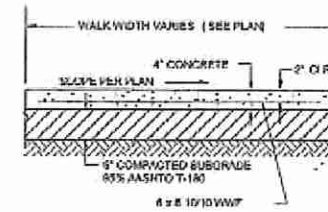
SECTION
NOT TO SCALE

PRE-CAST CONCRETE WHEEL STOP DETAIL
NOT TO SCALE

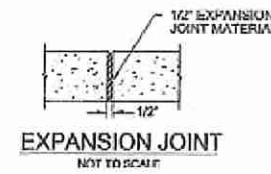


CROSSING #2 #2/8
NOT TO SCALE

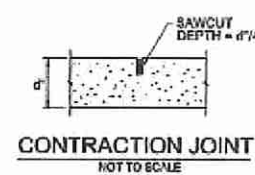
WHERE THE 8" SEWER MAIN CROSSES OVER DRAINAGE PIPE BETWEEN INLETS STRUCTURE NUMBERS 6 AND 7 LOOKING EAST FOR CONCRETE ARCH OVER 18" ERCP (SEE PLAN SHEET 12)



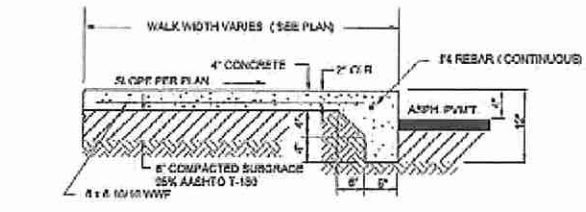
CONCRETE WALK
NOT TO SCALE



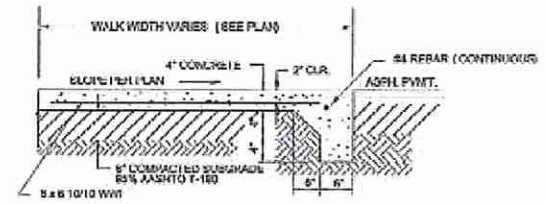
EXPANSION JOINT
NOT TO SCALE



CONTRACTION JOINT
NOT TO SCALE



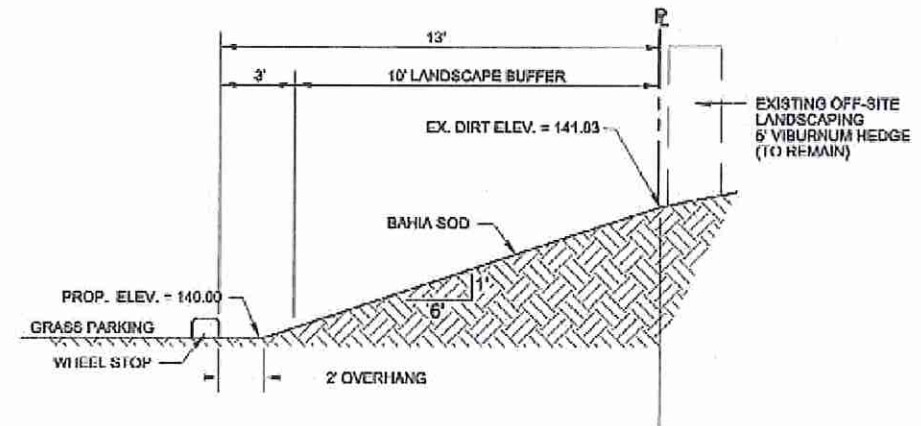
THICKENED EDGE RAISED CONCRETE WALK
NOT TO SCALE



THICKENED EDGE FLUSH CONCRETE WALK
NOT TO SCALE

NOTES:
1. 4" THICK SIDEWALK W/ LIGHT BROOM FINISH AND TROWELED EDGE.
2. ALL CONCRETE SIDEWALKS SHALL HAVE A FULL 1/2" EXPANSION JOINT AT A MAXIMUM DISTANCE OF 40 LINEAR FEET AND A SAW CUT OR FORMED DUMMY CONTRACTION JOINT AT EVENLY SPACED INTERVALS NOT TO EXCEED 8 LINEAR FEET.

TYPICAL SIDEWALK DETAILS
NOT TO SCALE



SECTION "D" D/7
NOT TO SCALE

TYPICAL CROSS-SECTION ALONG EAST PROPERTY LINE LOOKING NORTH

48 HOURS BEFORE DIGGING CALL TOLL FREE
1-800-432-4770
FLORIDA STATE ONE CALL BY FLORIDA, INC.

112618
KENNETH H. EHLERS, FL PE #18243

NO.	REVISION	DATE
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4		
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6		
7		

KENNETH H. EHLERS, P.E.
CONSULTING ENGINEER
6034 FALCONBRIDGE PLACE
MOUNT DORA, FLORIDA 32757
TEL: 1-407-449-3412
FAX: 1-352-363-2537

STANDARD DETAILS

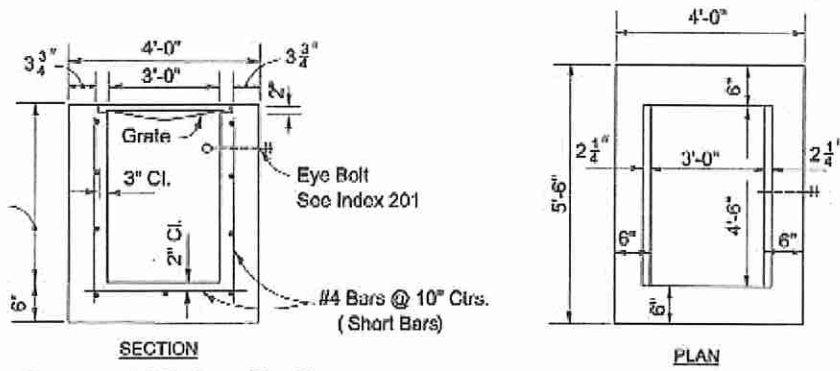
GREATER FAITH WORLD CENTER, INC.
(FKA CENTER OF FAITH CHURCH, INC.)
PARCEL ID #04-21-28-0000-00-027
APOPKA, FLORIDA

DRAWING NO.

10

JOB NO. 17100

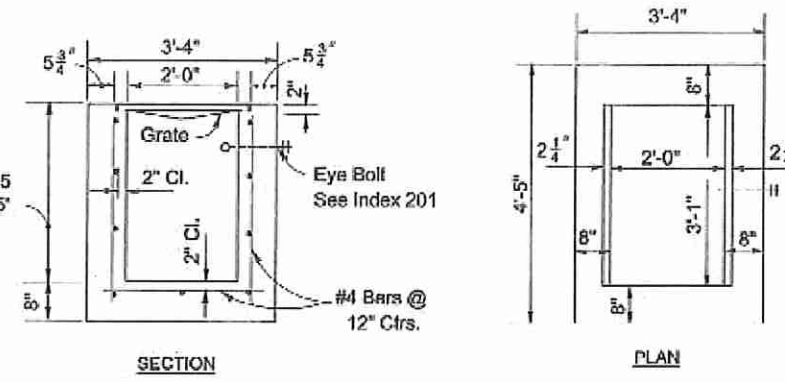
Varies
15' Max. See Index No. 201, Sh. 4 & 5
For Reinf. Mod. For Depths 13' To 15'



Recommended Maximum Pipe Size:
3'-0" Wall-24" Pipe
4'-6" Wall-36" Pipe

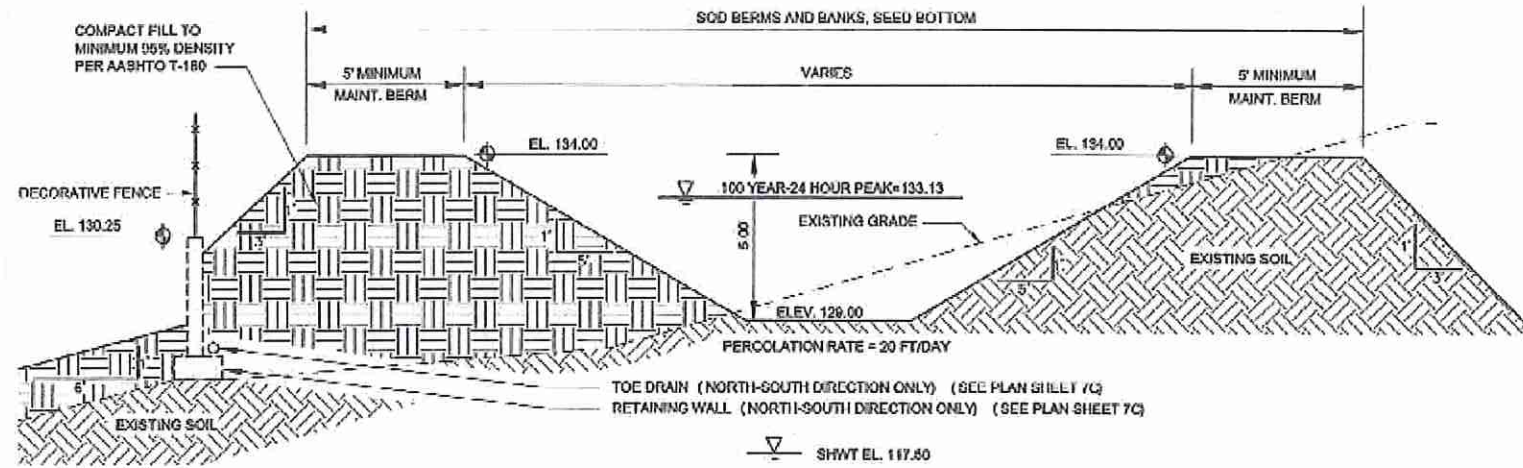
TYPE "E" INLET
(FDOT INDEX #232)
(USE STEEL GRATES)
NOT TO SCALE

Varies
15' Max. See Index No. 201, Sh. 4 & 5
For Reinf. Mod. For Depths 13' To 15'



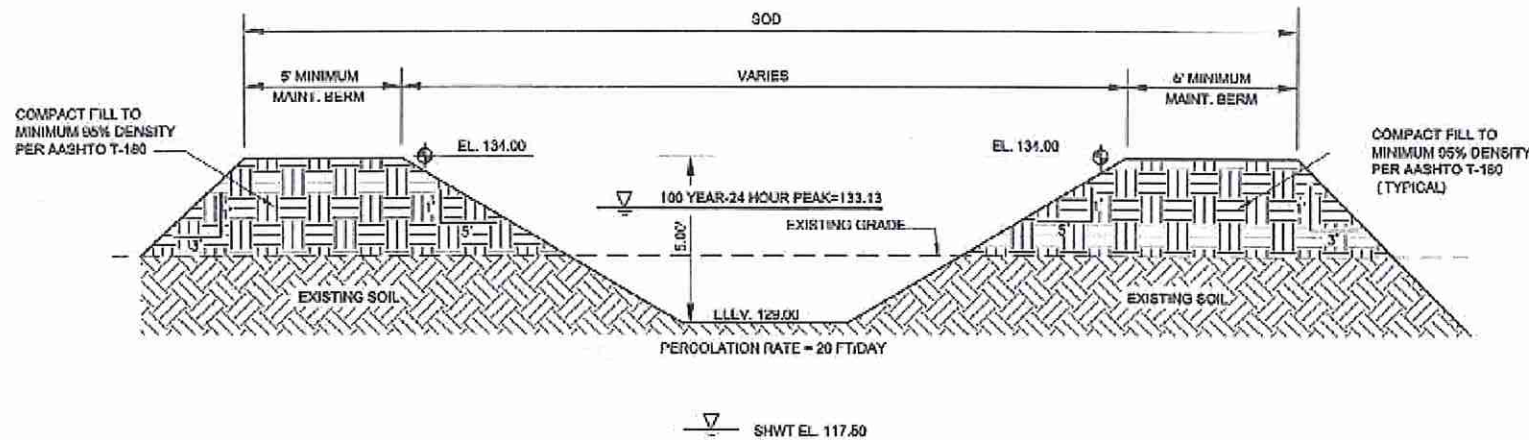
Recommended Maximum Pipe Size:
2'-0" Wall-18" Pipe
3'-1" Wall-24" Pipe

TYPE "C" INLET
(FDOT INDEX #232)
NOT TO SCALE



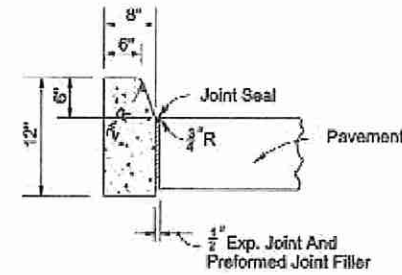
POND CROSS-SECTION "A"
NOT TO SCALE

NOTE:
REFER TO YOVAISH ENGINEERING SCIENCES,
LLC REPORT DATED 11-23-11 FOR BERM
AND TOE DRAIN CONSTRUCTION DETAILS

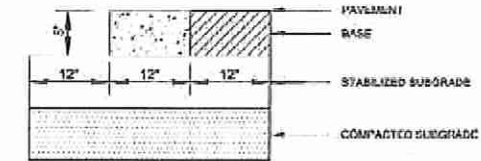


POND CROSS-SECTION "B"
NOT TO SCALE

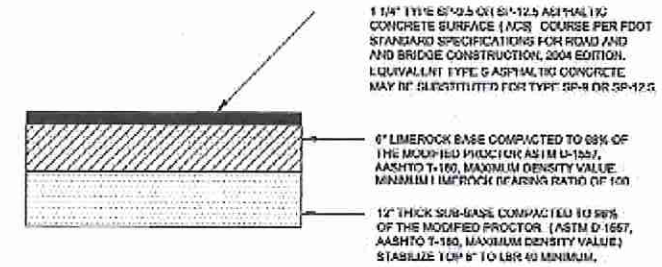
NOTE:
REFER TO YOVAISH ENGINEERING SCIENCES,
LLC REPORT DATED 11-23-11 FOR BERM
AND TOE DRAIN CONSTRUCTION DETAILS



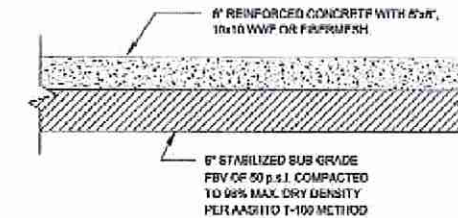
TYPE "D" CURB
(FDOT INDEX #300)
NOT TO SCALE



RIBBON CURB
NOT TO SCALE



TYPICAL PAVEMENT SECTION
(LIMEROCK BASE)
NOT TO SCALE



CONCRETE PAVEMENT SECTION
NOT TO SCALE

NO.	REVISION	DATE
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KENNETH H. EHLERS, P.E.
CONSULTING ENGINEER
6034 FALCONBRIDGE PLACE
MCCLINTON DOCK, FLORIDA 32757
TEL 1-407-486-3412
FAX 1-352-338-3537

DRAINAGE DETAILS

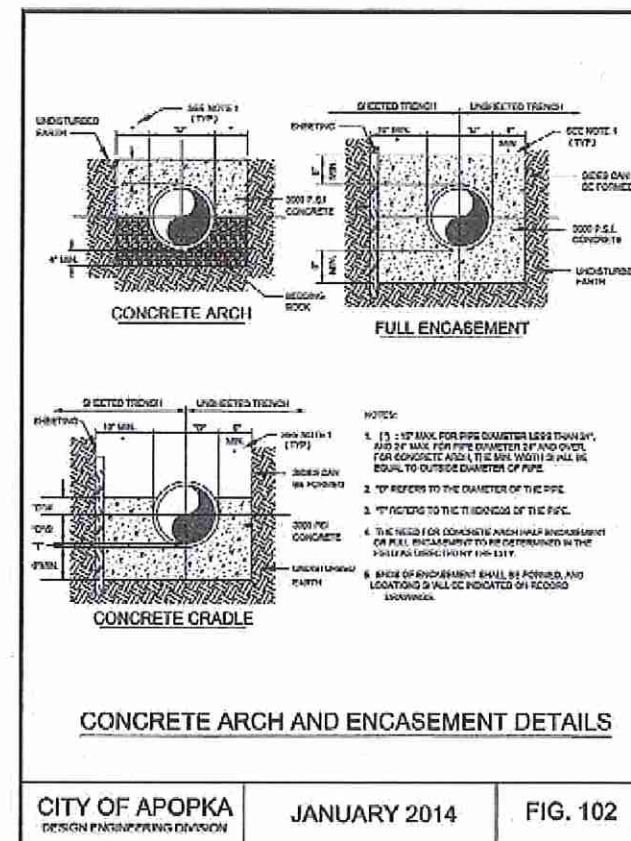
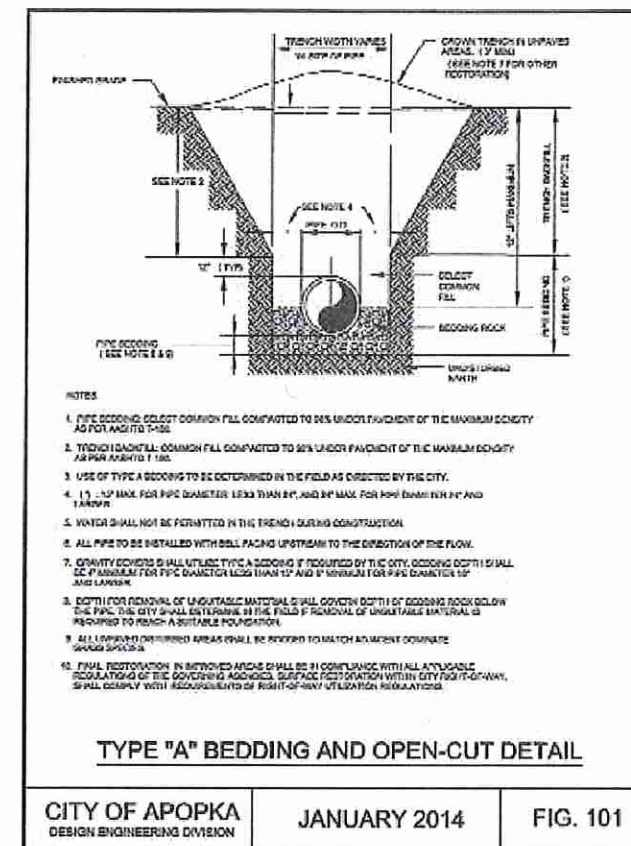
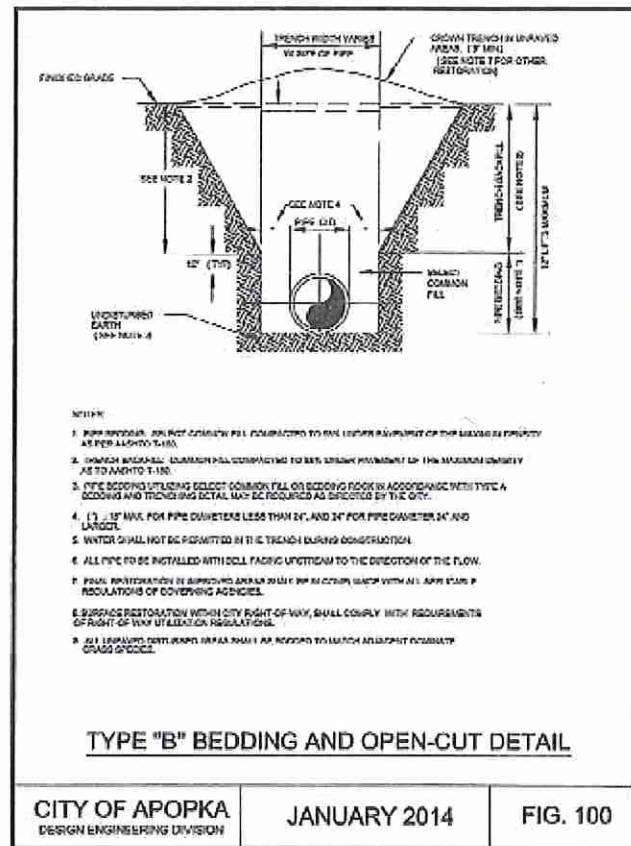
GREATER FAITH WORLD CENTER, INC.
(FKA CENTER OF FAITH CHURCH, INC.)
PARCEL ID #04-21-28-0000-00-027
APOPKA, FLORIDA

FOR MORE INFORMATION
CALL TOLL FREE
1-800-432-1770
SURVEYING AND ENGINEERING
OF FLORIDA, INC.



DRAWING NO.
11

112618
K. Ehlers
KENNETH H. EHLERS, FL PE #18243



NO.	REVISION	DATE

CITY OF APOPKA DETAILS

WATER DETAILS
#100, 101 AND #102

GREATER FAITH WORLD CENTER, INC.
(FKA CENTER OF FAITH CHURCH, INC.)
PARCEL ID #04-21-28-0000-00-027
APOPKA, FLORIDA

DRAWING NO.
12
JOB NO. 17100

NO.	REVISION	DATE
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CITY OF APOPKA DETAILS

WATER DETAILS
#105, 106 AND #107

GREATER FAITH WORLD CENTER, INC.
(FKA CENTER OF FAITH CHURCH, INC.)

PARCEL ID #04-21-28-0000-00-027
APOPKA, FLORIDA

DRAWING NO.
13
JOB NO. 17100

MINIMUM LENGTH (FT) TO BE RESTRAINED ON EACH SIDE OF FITTING (S) *												
	PIPE SIZE											
	6"	8"	10"	12"	16"	18"	20"	24"	30"	36"	42"	48"
90° BEND	33	43	51	60								
45° BEND	14	18	22	28								
22-1/2° BEND	7	9	11	12								
11-1/4° BEND	4	5	6	6								
TEE**	1	7	24	44								
REDUCER (ONE SIZE SMALLER)			41	39	40							
DEAD END	74	88	115	138								

* ONLY RESTRAIN BRANCH PIPE FOR TEES. ONLY RESTRAIN LARGER PIPE FOR REDUCERS
** LENGTH ALONG RUN ASSUMED TO BE 18'

NOTES:

- FITTINGS SHALL BE DUCTILE IRON RESTRAINED JOINT TYPE. FM FITTINGS TO BE LINED WITH PROTECTO 401.
- INSTALL FULL LENGTHS OF PIPE WITH TOTAL LENGTH CONTAINING ONLY RESTRAINED JOINTS EQUAL TO OR GREATER THAN LENGTH SHOWN IN TABLE.
- WHERE TWO OR MORE FITTINGS ARE TOGETHER, USE FITTING WHICH YIELDS GREATEST LENGTH OF RESTRAINED PIPE.
- IN LINE VALVES AND THROUGH RUN OF TEES OUTSIDE LIMITS OF RESTRAINED JOINTS FROM OTHER FITTINGS NEED NOT BE RESTRAINED UNLESS OTHERWISE INDICATED.
- LENGTHS SHOWN IN THIS TABLE HAVE BEEN CALCULATED IN ACCORDANCE WITH THE PROCEDURE OUTLINED IN "THRUST RESTRAINT DESIGN FOR DUCTILE IRON PIPE" AS PUBLISHED BY DIPRA FOR PVC WITH THE FOLLOWING ASSUMPTIONS:
TYPE OF PIPE: PVC
WORKING PRESSURE: 150 P.S.I.
SOIL DESIGNATION: SM (SAND SLT)
LAYING CONDITIONS: 3
** FM = 100 P.S.I. / WM OR RWM = 100 P.S.I.
- FOR PIPE ENCASED IN POLYETHYLENE INCREASE THE GIVEN VALUE BY A FACTOR OF 1.5.
- VALUES NOT LISTED IN THE TABLE TO BE COMPLETED BY THE ENGINEER.

RESTRAINED PIPE TABLE (PVC)

CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 105

MINIMUM LENGTH (FT) TO BE RESTRAINED ON EACH SIDE OF FITTING (S) *												
	PIPE SIZE											
	6"	8"	10"	12"	16"	18"	20"	24"	30"	36"	42"	48"
90° BEND					61	67	73	84	100	114		
45° BEND					26	28	31	35	42	48		
22-1/2° BEND					13	14	15	17	20	23		
11-1/4° BEND					6	7	8	9	10	12		
TEE**					52	62	74	95	124	152		
REDUCER (ONE SIZE SMALLER)					48	23	25	47	66	66		
DEAD END					111	123	135	157	168	218		

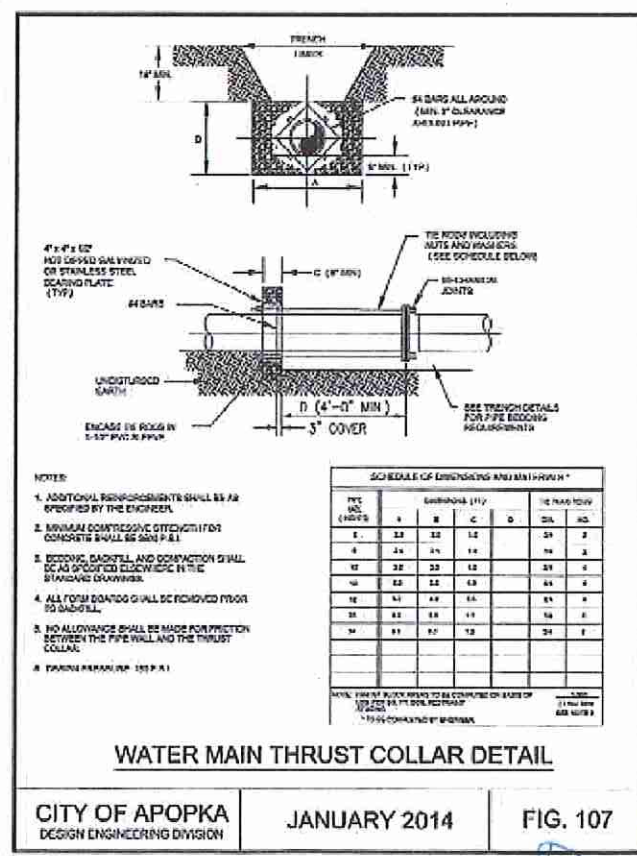
* ONLY RESTRAIN BRANCH PIPE FOR TEES. ONLY RESTRAIN LARGER PIPE FOR REDUCERS
** LENGTH ALONG RUN ASSUMED TO BE 18'

NOTES:

- FITTINGS SHALL BE RESTRAINED JOINT TYPE. FM FITTINGS TO BE LINED WITH PROTECTO 401.
- INSTALL FULL LENGTHS OF PIPE WITH TOTAL LENGTH CONTAINING ONLY RESTRAINED JOINTS EQUAL TO OR GREATER THAN LENGTH SHOWN IN TABLE.
- WHERE TWO OR MORE FITTINGS ARE TOGETHER, USE FITTING WHICH YIELDS GREATEST LENGTH OF RESTRAINED PIPE.
- IN LINE VALVES AND THROUGH RUN OF TEES OUTSIDE LIMITS OF RESTRAINED JOINTS FROM OTHER FITTINGS NEED NOT BE RESTRAINED UNLESS OTHERWISE INDICATED.
- LENGTHS SHOWN IN THE TABLE HAVE BEEN CALCULATED IN ACCORDANCE WITH THE PROCEDURE OUTLINED IN "THRUST RESTRAINT DESIGN FOR DUCTILE IRON PIPE" AS PUBLISHED BY DIPRA WITH THE FOLLOWING ASSUMPTIONS:
TYPE OF PIPE: Ductile Iron
WORKING PRESSURE: 150 P.S.I.
SOIL DESIGNATION: SM (SAND SLT)
LAYING CONDITIONS: 3
** FM = 100 P.S.I. / WM OR RWM = 100 P.S.I.
- VALUES NOT LISTED IN THE TABLE TO BE COMPLETED BY THE ENGINEER.

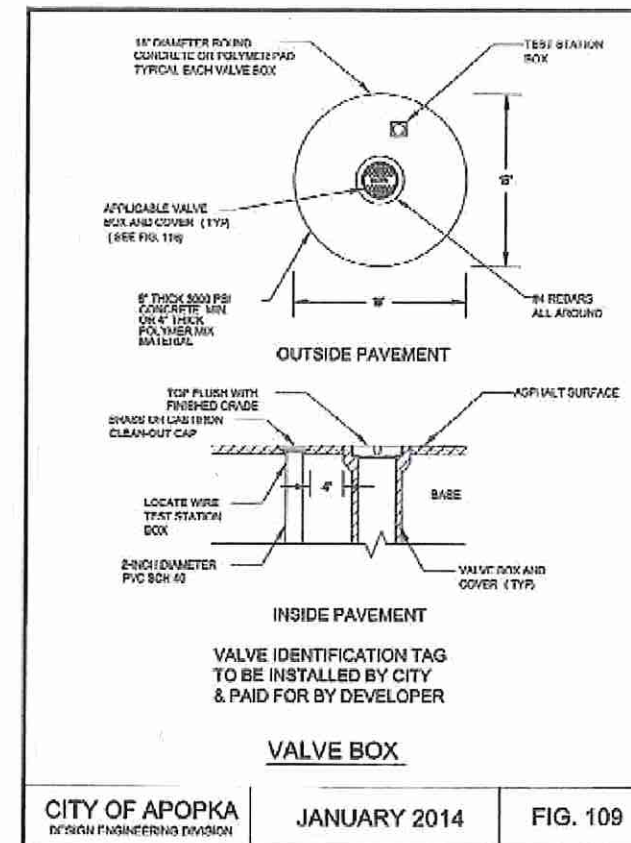
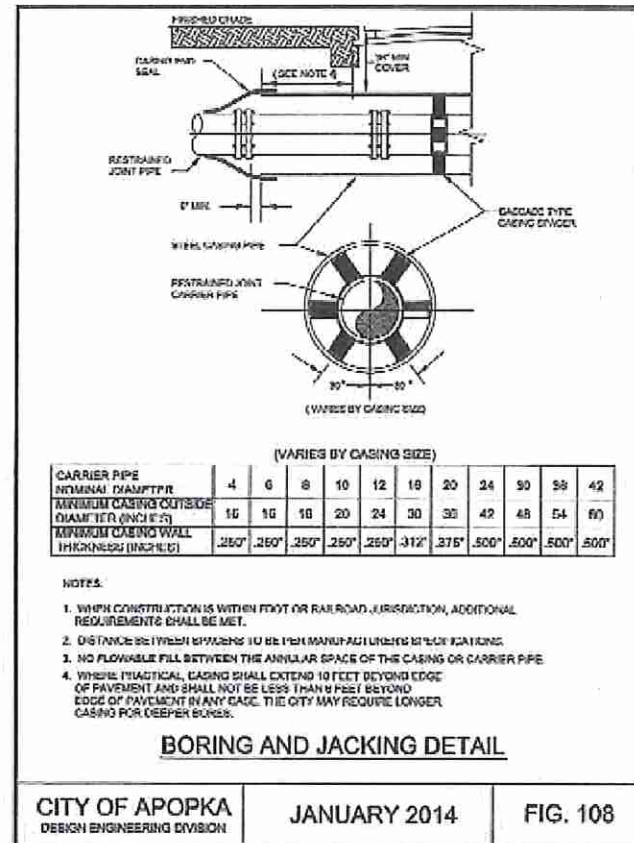
RESTRAINED PIPE TABLE (DI)

CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 106



CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 107

11026118 KENNETH H. EHLERS, FL PE #18243

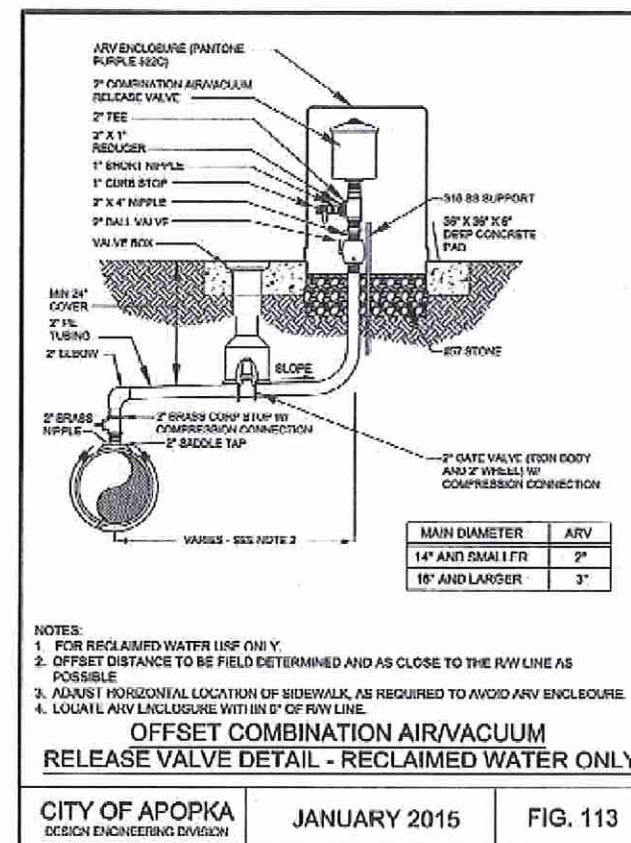


PIPE AND APPURTENANCES PRESSURE RATING

PSI	MINIMUM PRESSURE RATING			
	DI FITTINGS	PIPE MATERIAL*	GATE VALVE**	FORCEMAIN*
	<24"	>24"	<12"	>12"
100				
150				
200				
250				

* PVC SHALL HAVE A MAXIMUM DIMENSION RATIO (D/O OF IS AND H/M/L) SHALL BE MAX DR15. FOR CEMENT, PVC SHALL BE MAX DR15 UNLESS DESIGN REQUIRES OTHERWISE AND HDPE SHALL BE MAX DR17.
 ** BUTTERFLY VALVES SHALL BE CLASS 150B

CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 110



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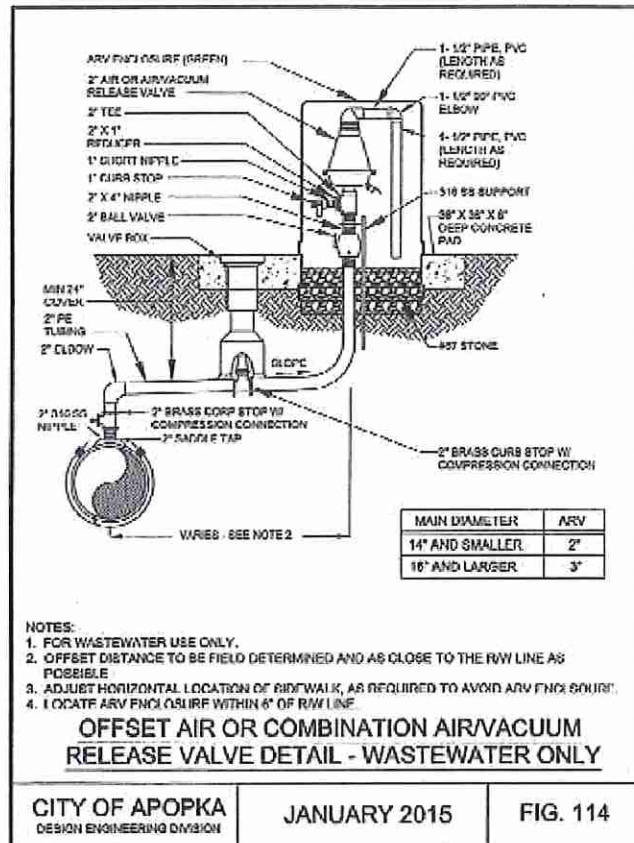
CITY OF APOPKA DETAILS

WATER DETAILS
 #108, 109, 110 AND #113

GREATER FAITH WORLD CENTER, INC.
 (FKA CENTER OF FAITH CHURCH, INC.)
 PARCEL ID #04-21-28-0000-00-027
 APOPKA, FLORIDA

DRAWING NO.
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 JOB NO. 17100

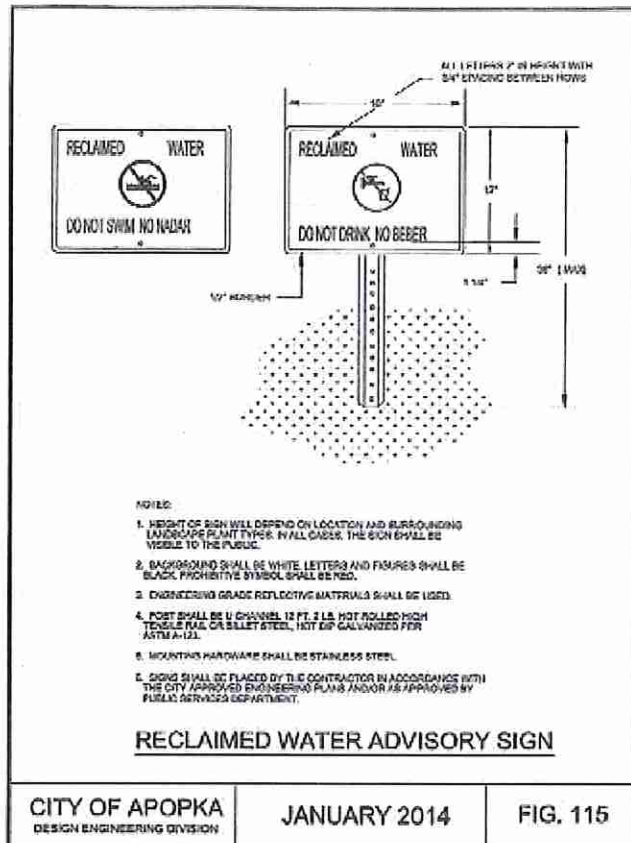




CITY OF APOPKA
DESIGN ENGINEERING DIVISION

JANUARY 2015

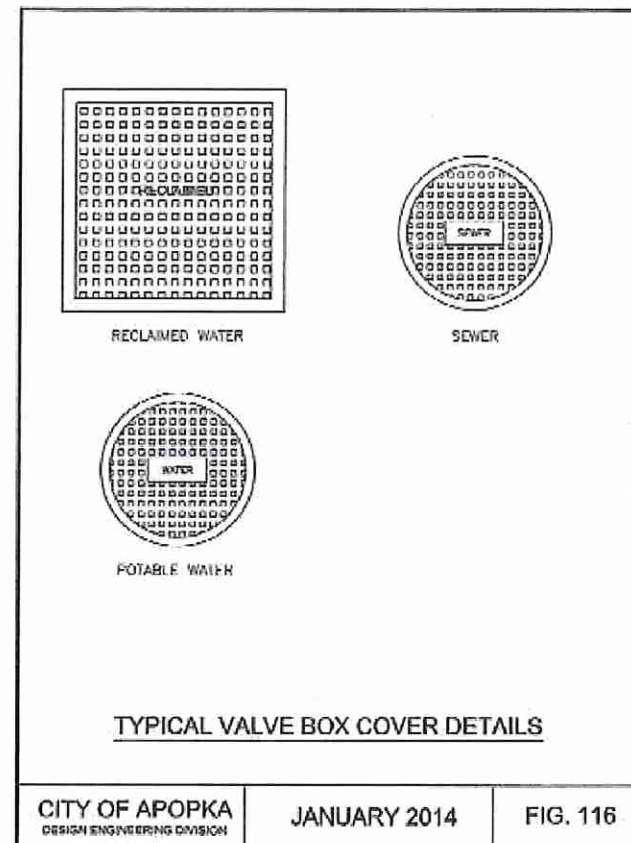
FIG. 114



CITY OF APOPKA
DESIGN ENGINEERING DIVISION

JANUARY 2014

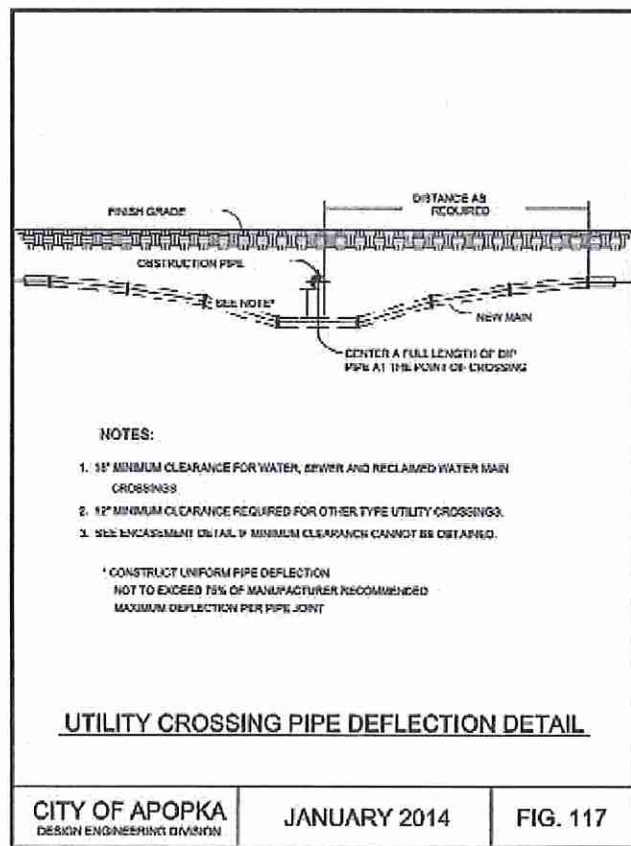
FIG. 115



CITY OF APOPKA
DESIGN ENGINEERING DIVISION

JANUARY 2014

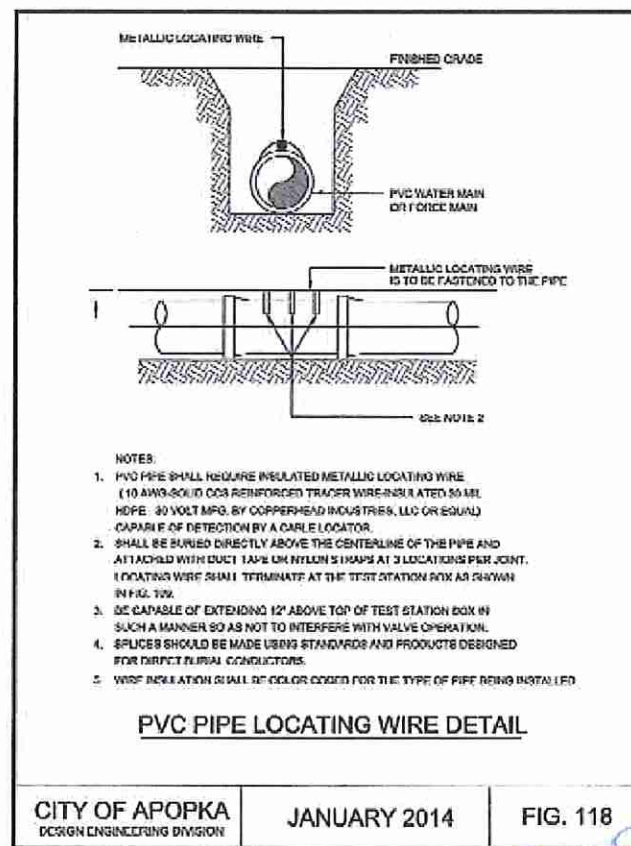
FIG. 116



CITY OF APOPKA
DESIGN ENGINEERING DIVISION

JANUARY 2014

FIG. 117



CITY OF APOPKA
DESIGN ENGINEERING DIVISION

JANUARY 2014

FIG. 118

40 HOURS RESPONSE DRAWING
 1-800-432-1770



KENNETH H. EHLERS, P.E.

NO.	REVISION	DATE
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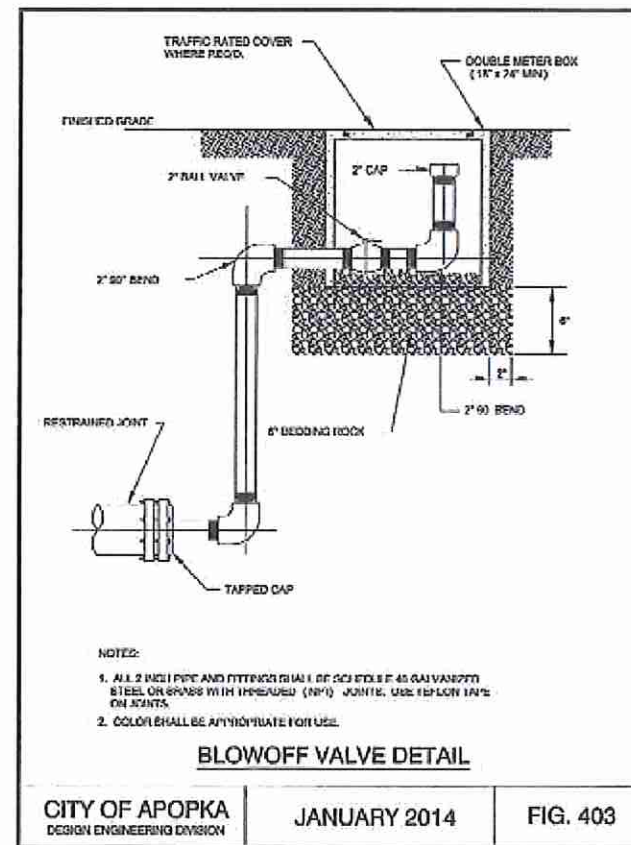
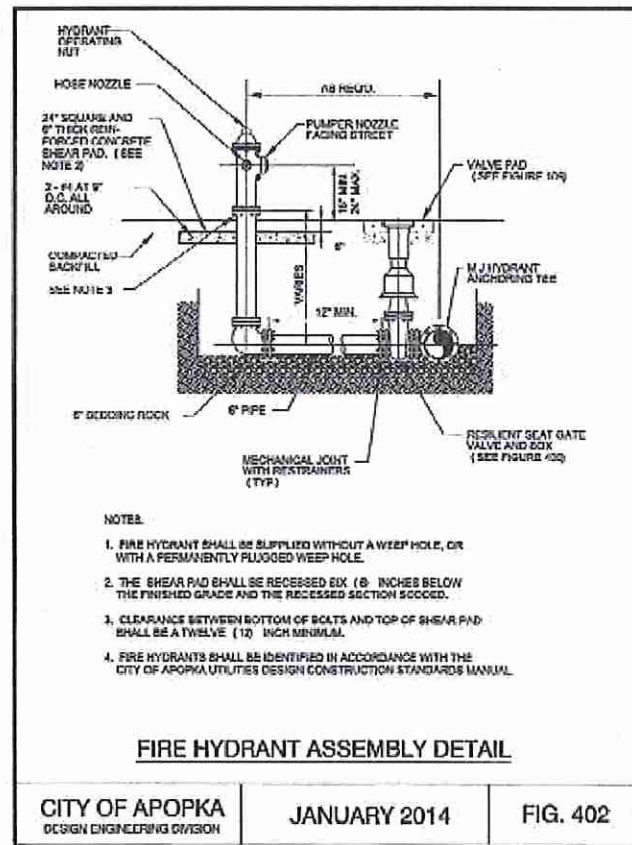
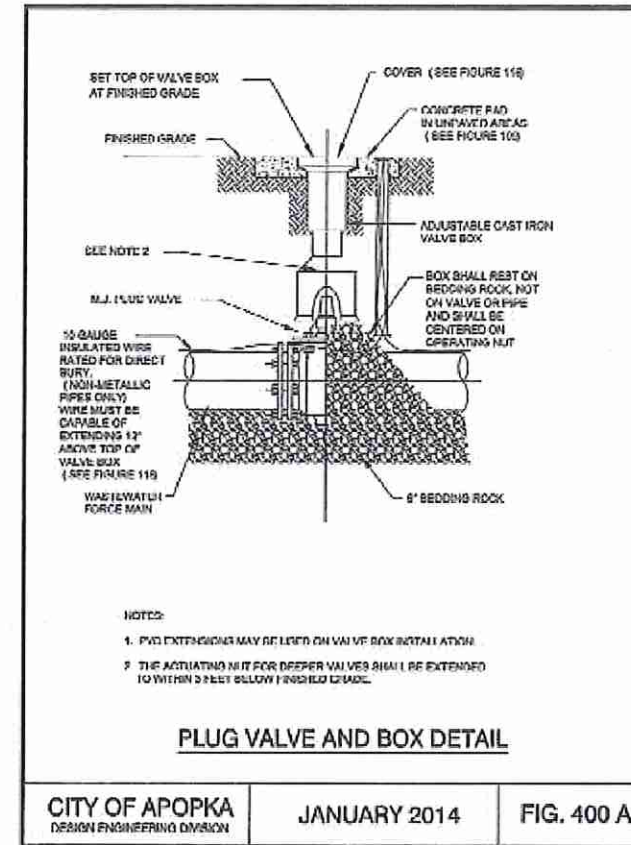
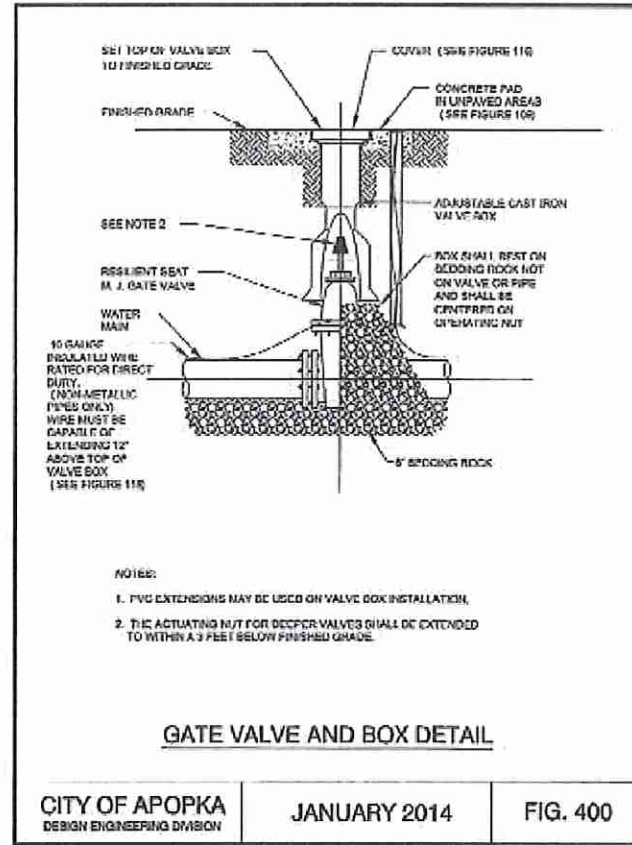
CITY OF APOPKA DETAILS

WATER DETAILS
 #114, 115, 116, 117 AND #118

GREATER FAITH WORLD CENTER, INC.
 (FKA CENTER OF FAITH CHURCH, INC.)
 PARCEL ID #04-21-28-0000-00-027
 APOPKA, FLORIDA

DRAWING NO.
15
 JOB NO. 17100

1126718



KENNETH H. EHLERS, FL PE #18243

NO.	REASON	DATE
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CITY OF APOPKA DETAILS

WATER DETAILS
#400, 400 A, 402 AND #403

GREATER FAITH WORLD CENTER, INC.
(FKA CENTER OF FAITH CHURCH, INC.)
PARCEL ID #04-21-28-0000-00-027
APOPKA, FLORIDA

DRAWING NO.
16

JOB NO. 17100

1/26/18

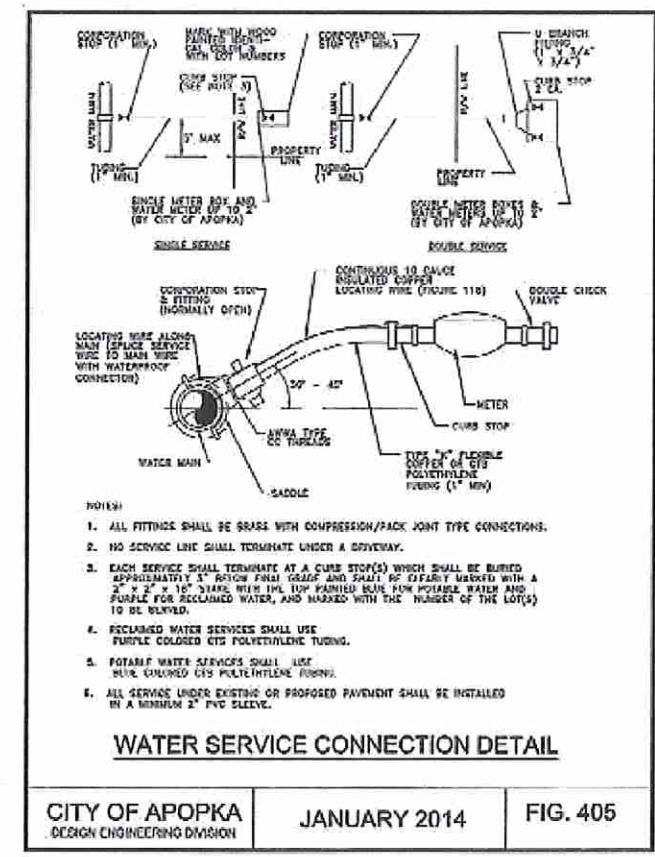
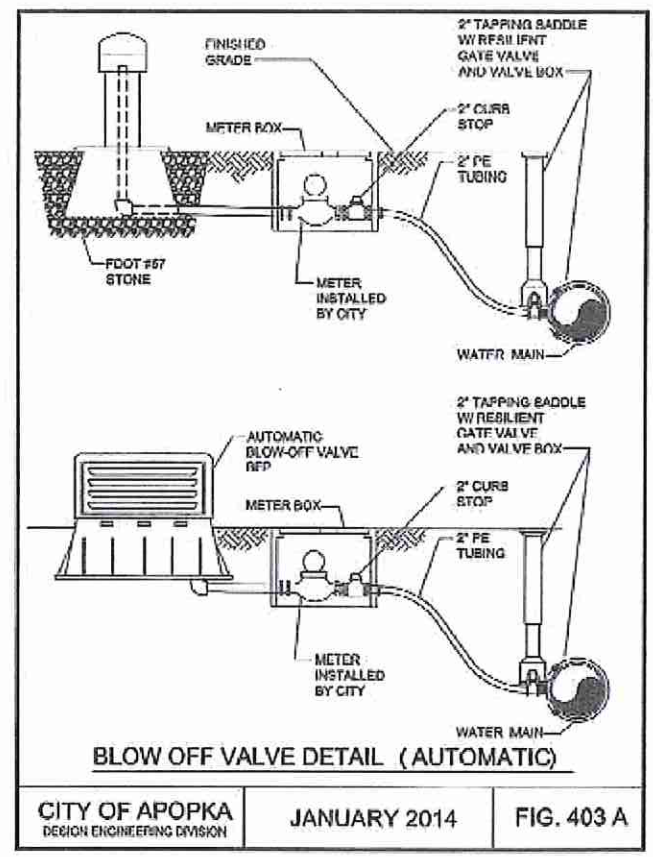
NO	REVISION	DATE
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CITY OF APOPKA DETAILS

WATER DETAILS
#403 A AND #405

GREATER FAITH WORLD CENTER, INC.
(FKA CENTER OF FAITH CHURCH, INC.)
PARCEL ID #04-21-28-0000-00-027
APOPKA, FLORIDA

DRAWING NO.
17
JOB NO. 17100

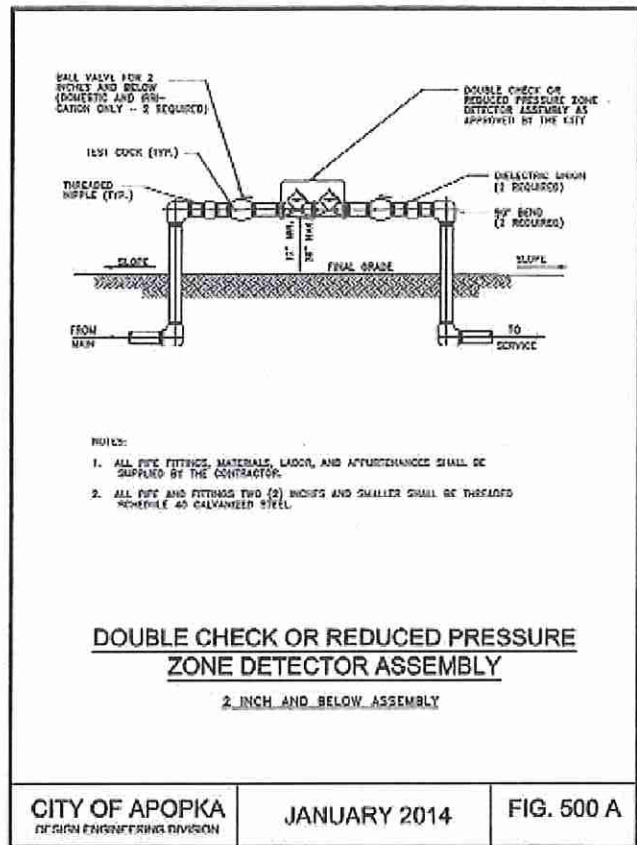


- NOTES:
1. ALL FITTINGS SHALL BE BRASS WITH COMPRESSION/PACK JOINT TYPE CONNECTIONS.
 2. NO SERVICE LINE SHALL TERMINATE UNDER A DRIVEWAY.
 3. EACH SERVICE SHALL TERMINATE AT A CURB STOP(S) WHICH SHALL BE BURIED APPROXIMATELY 1" BELOW FINISH GRADE AND SHALL BE EXPLICITLY MARKED WITH A 2" X 2" X 16" SIGN, WITH THE TOP PAINTED BLUE FOR POTABLE WATER AND PURPLE FOR RECLAIMED WATER, AND MARKED WITH THE NUMBER OF THE LOT(S) TO BE BURIED.
 4. RECLAIMED WATER SERVICES SHALL USE PURPLE COLORED CTS POLYETHYLENE TUBING.
 5. POTABLE WATER SERVICES SHALL USE BLUE COLORED CTS POLYETHYLENE TUBING.
 6. ALL SERVICE UNDER EXISTING OR PROPOSED PAVEMENT SHALL BE INSTALLED IN A MINIMUM 2" PVC SLEEVE.

48 HOURS BEFORE DIGGING
CALL TOLL FREE
1-800-APPOPKA
KENNETH H. EHLERS
PROFESSIONAL ENGINEER
NO. 18243
STATE OF FLORIDA
PROFESSIONAL ENGINEER

K. Ehlers
KENNETH H. EHLERS, FL PE #18243

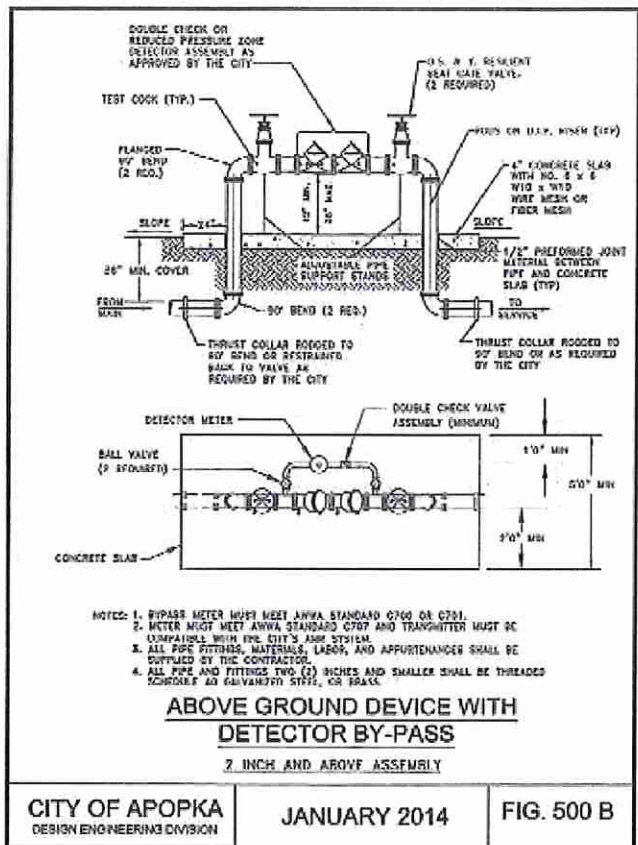
112618



CITY OF APOPKA
DESIGN ENGINEERING DIVISION

JANUARY 2014

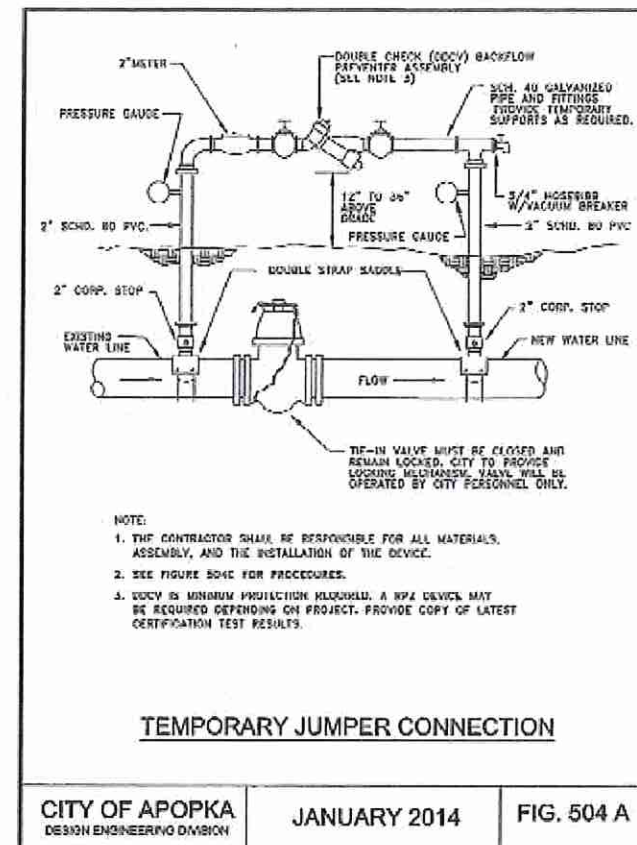
FIG. 500 A



CITY OF APOPKA
DESIGN ENGINEERING DIVISION

JANUARY 2014

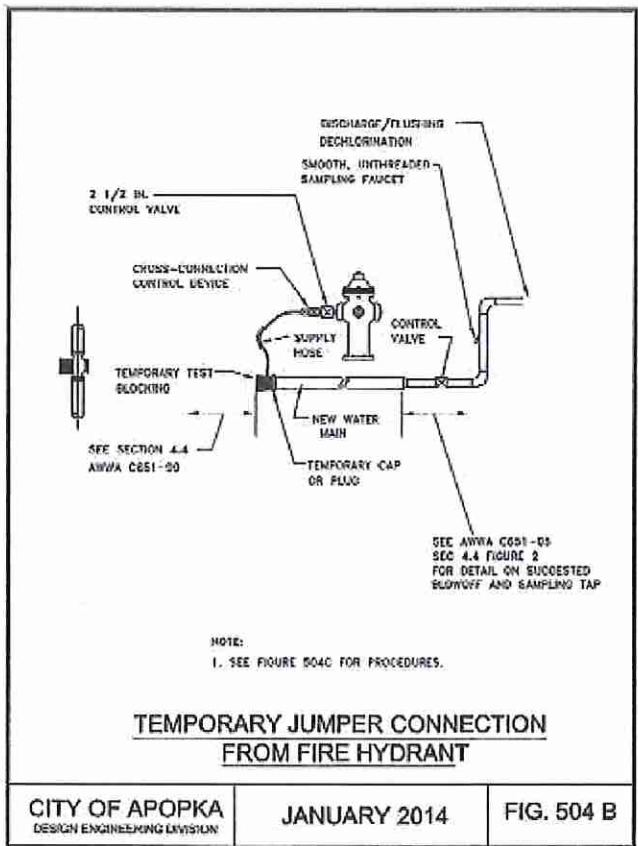
FIG. 500 B



CITY OF APOPKA
DESIGN ENGINEERING DIVISION

JANUARY 2014

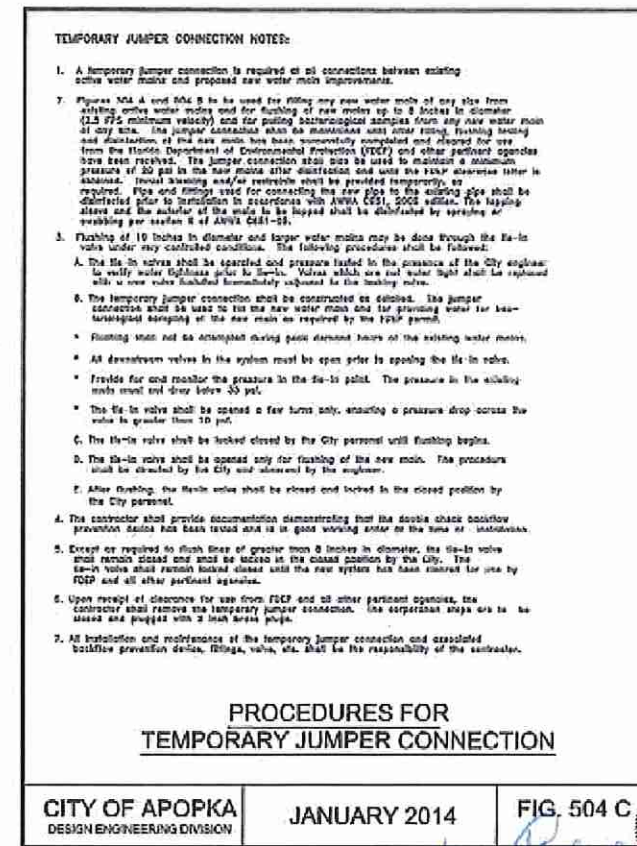
FIG. 504 A



CITY OF APOPKA
DESIGN ENGINEERING DIVISION

JANUARY 2014

FIG. 504 B



CITY OF APOPKA
DESIGN ENGINEERING DIVISION

JANUARY 2014

FIG. 504 C

NO.	REVISION	DATE
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CITY OF APOPKA DETAILS

WATER DETAILS

#500 A, 500 B, 504 A, 504 B AND #504 C

GREATER FAITH WORLD CENTER, INC. (FKA CENTER OF FAITH CHURCH, INC.)

PARCEL ID #04-21-28-0000-00-027
APOPKA, FLORIDA

DRAWING NO.
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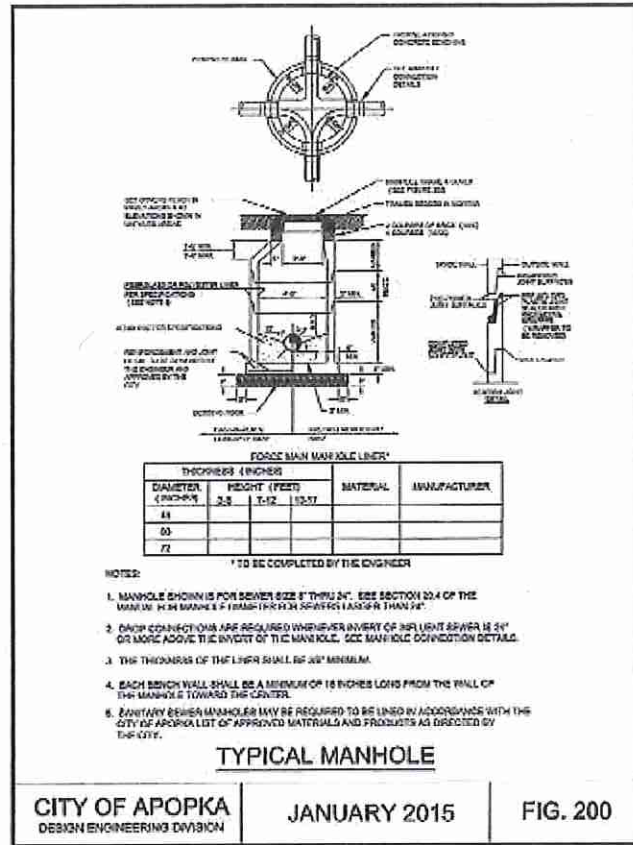
JOB NO. 17100

48 HOURS BEFORE CHECKING
CALL FOR A PERM
1-800-432-4770
SUNSHINE STATE ONE CALL
OF FLORIDA, INC.

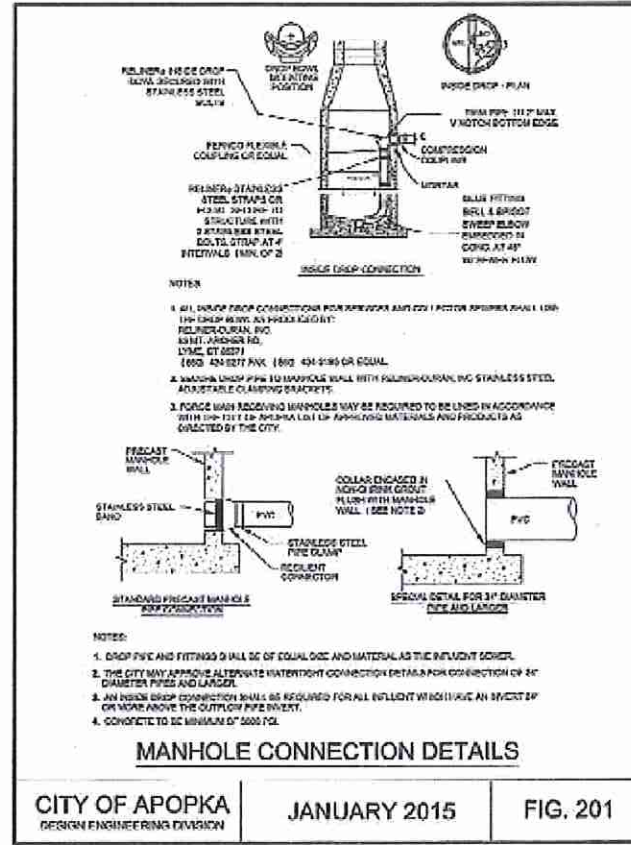
KENNETH H. EHLERS
REGISTERED PROFESSIONAL ENGINEER
NO. 18242
STATE OF FLORIDA

KENNETH H. EHLERS, FL PE #18243

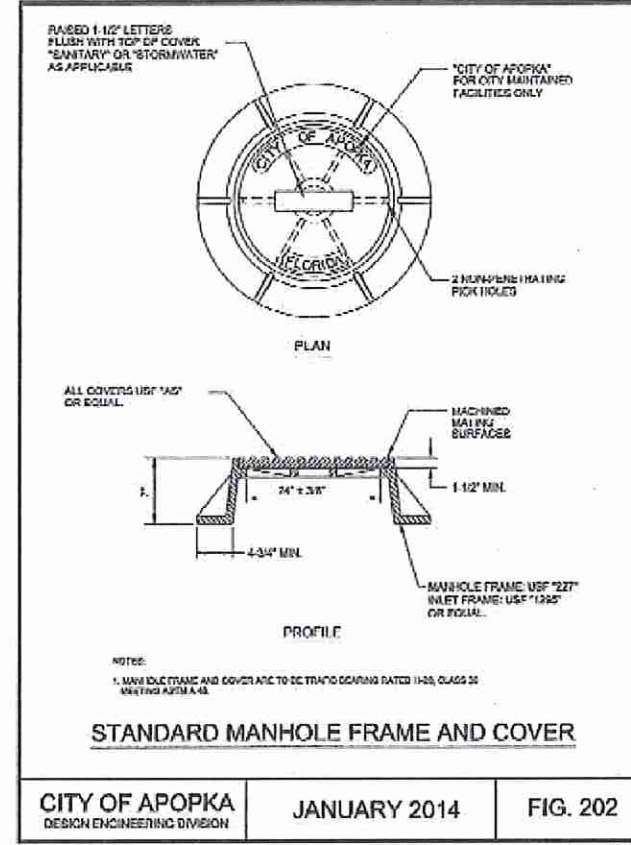
112618



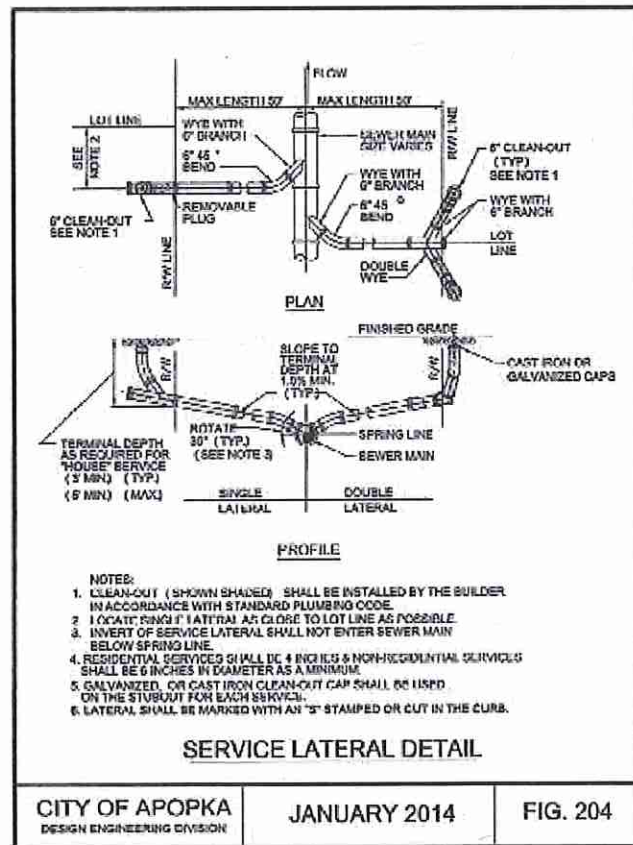
CITY OF APOPKA JANUARY 2015 FIG. 200
 DESIGN ENGINEERING DIVISION



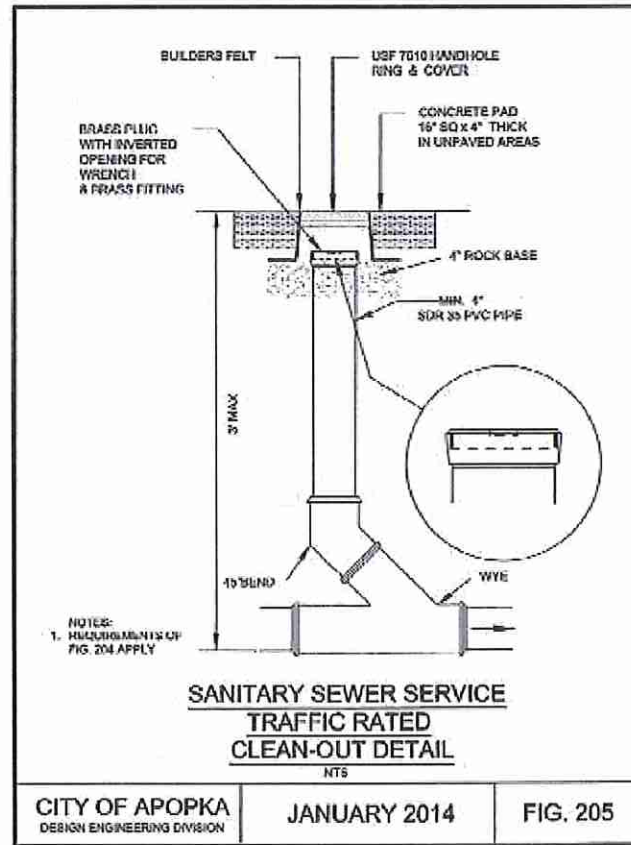
CITY OF APOPKA JANUARY 2015 FIG. 201
 DESIGN ENGINEERING DIVISION



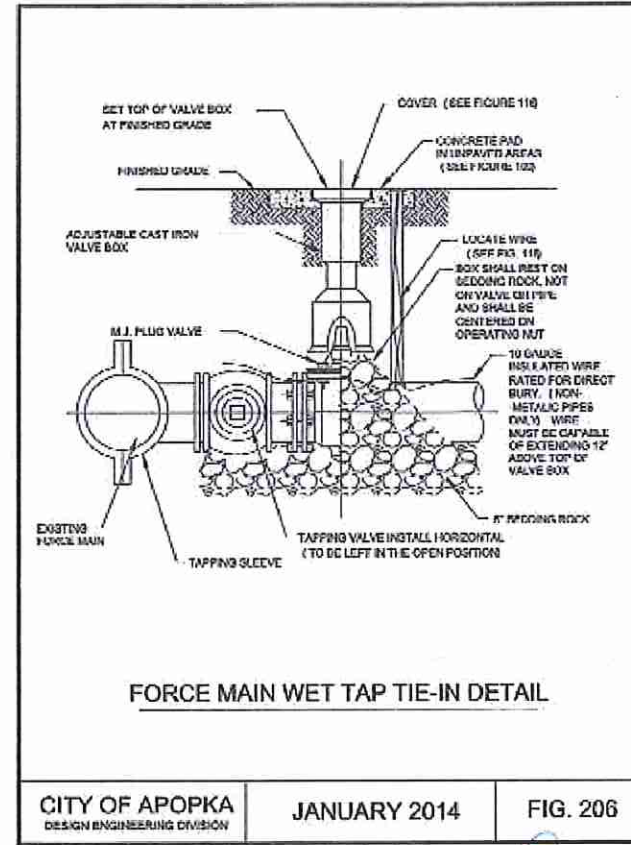
CITY OF APOPKA JANUARY 2014 FIG. 202
 DESIGN ENGINEERING DIVISION



CITY OF APOPKA JANUARY 2014 FIG. 204
 DESIGN ENGINEERING DIVISION



CITY OF APOPKA JANUARY 2014 FIG. 205
 DESIGN ENGINEERING DIVISION



CITY OF APOPKA JANUARY 2014 FIG. 206
 DESIGN ENGINEERING DIVISION

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CITY OF APOPKA DETAILS

SEWER DETAILS
 #200, 201, 202,
 204, 205 AND #206

GREATER FAITH WORLD CENTER, INC.
 (FKA CENTER OF FAITH CHURCH, INC.)
 PARCEL ID #04-21-28-0000-00-027
 APOPKA, FLORIDA

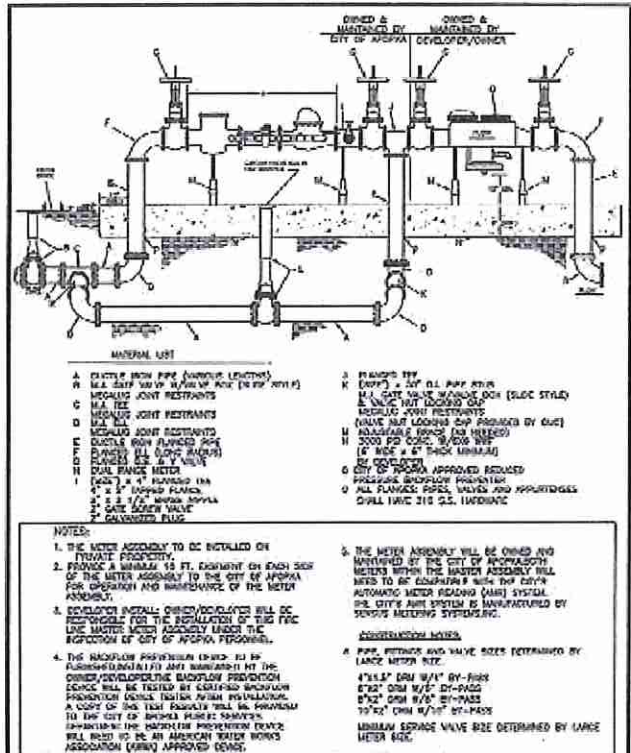


48 HOURS BEFORE WORKING
 CALL TOLL FREE
 1-800-432-4770
 SINGLE COPY ONE CALL
 PER APOPKA, FL.

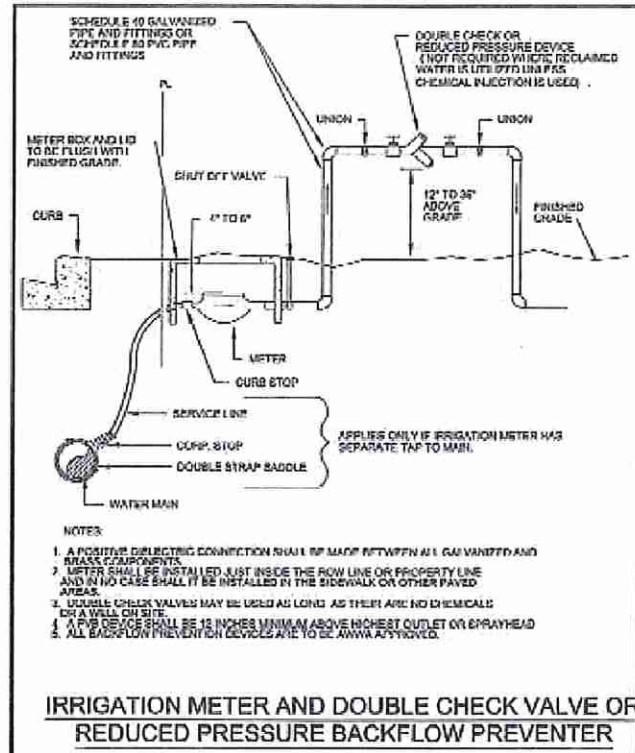
Kenneth H. Ehlers
 KENNETH H. EHLERS, FL PE #18249

DRAWING NO.
 19
 JOB NO. 17100

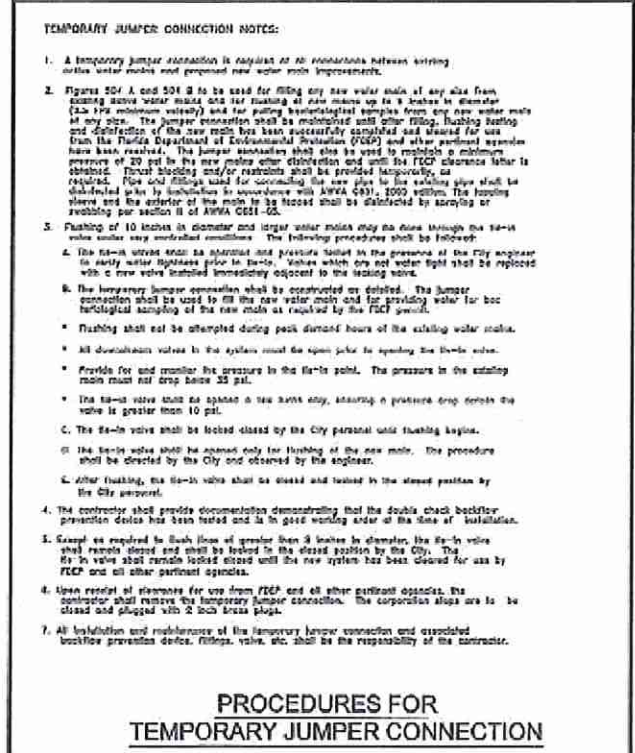
1126/18



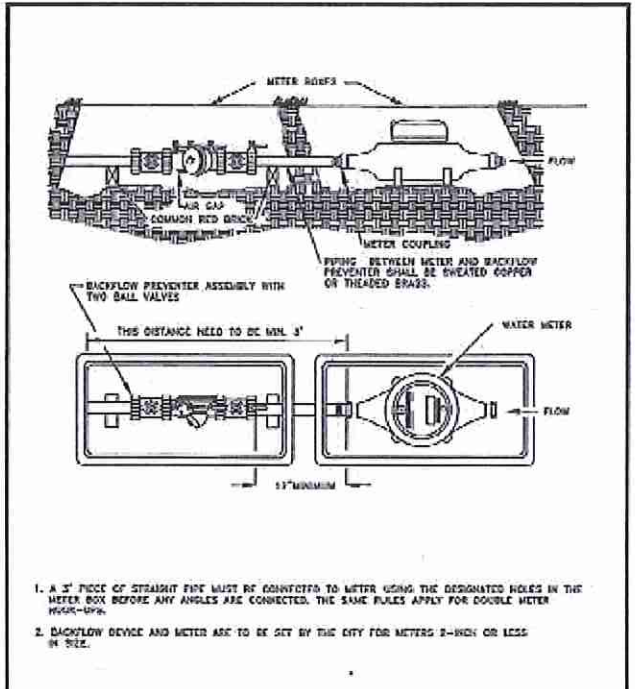
FIRE LINE MASTER METER ASSEMBLY W/ BY-PASS (TYPICAL)
 CITY OF APOPKA DESIGN ENGINEERING DIVISION | JANUARY 2014 | FIG. 500 C



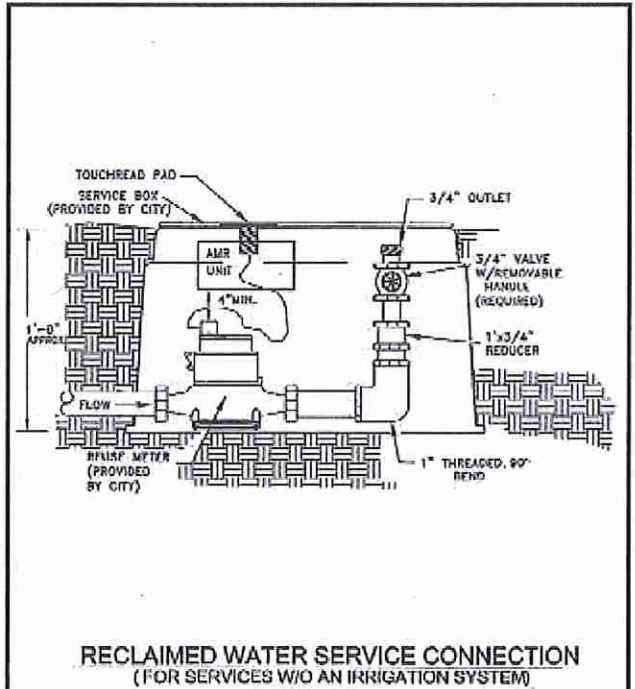
IRRIGATION METER AND DOUBLE CHECK VALVE OR REDUCED PRESSURE BACKFLOW PREVENTER
 CITY OF APOPKA DESIGN ENGINEERING DIVISION | JANUARY 2014 | FIG. 502



PROCEDURES FOR TEMPORARY JUMPER CONNECTION
 CITY OF APOPKA DESIGN ENGINEERING DIVISION | JANUARY 2014 | FIG. 504 C



POTABLE WATER SERVICE DETAIL FOR LOTS SERVED WITH RECLAIMED WATER
 CITY OF APOPKA DESIGN ENGINEERING DIVISION | JANUARY 2014 | FIG. 505



RECLAIMED WATER SERVICE CONNECTION (FOR SERVICES W/O AN IRRIGATION SYSTEM)
 CITY OF APOPKA DESIGN ENGINEERING DIVISION | JANUARY 2014 | FIG. 506

NO.	REVISIONS	DATE
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CITY OF APOPKA DETAILS

SEWER DETAILS
 #500 C, 502, 504 C,
 505 AND #506

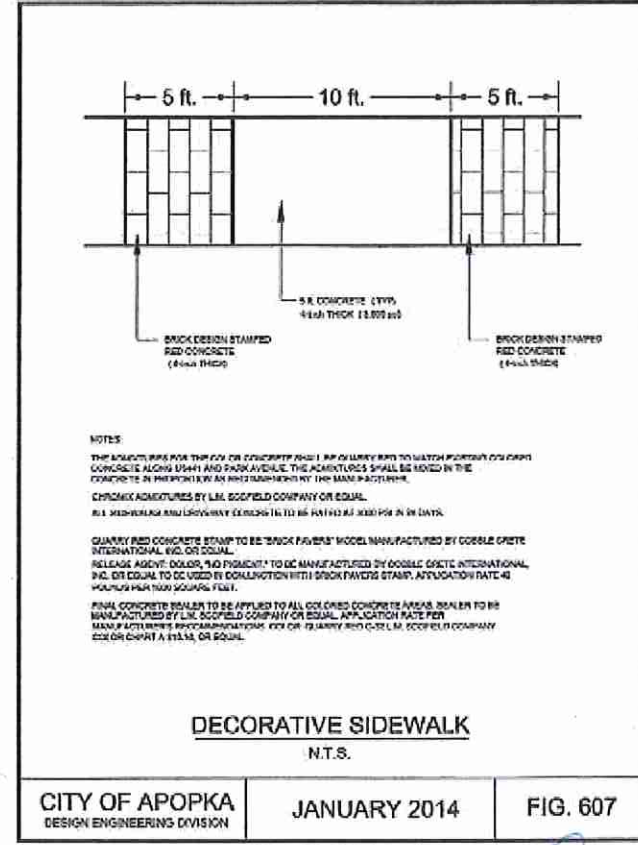
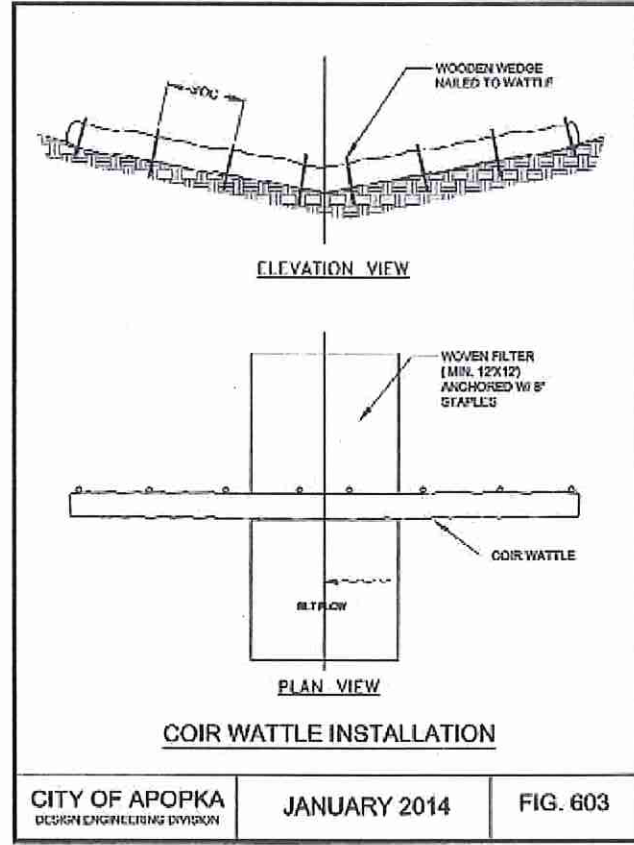
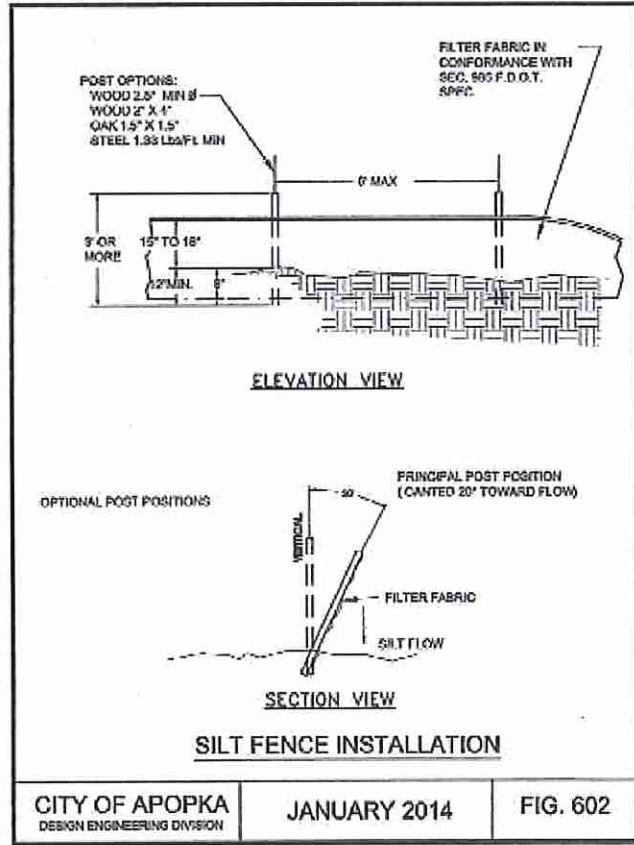
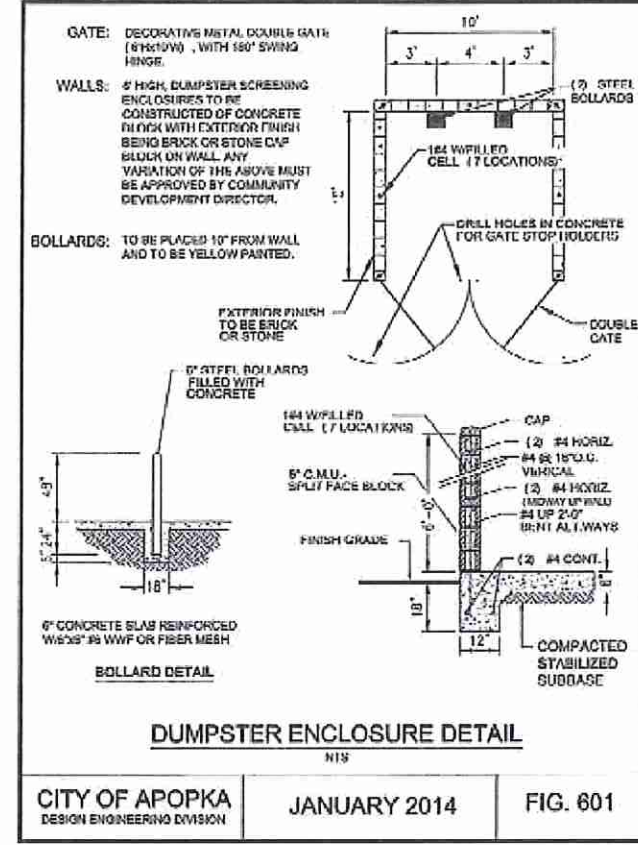
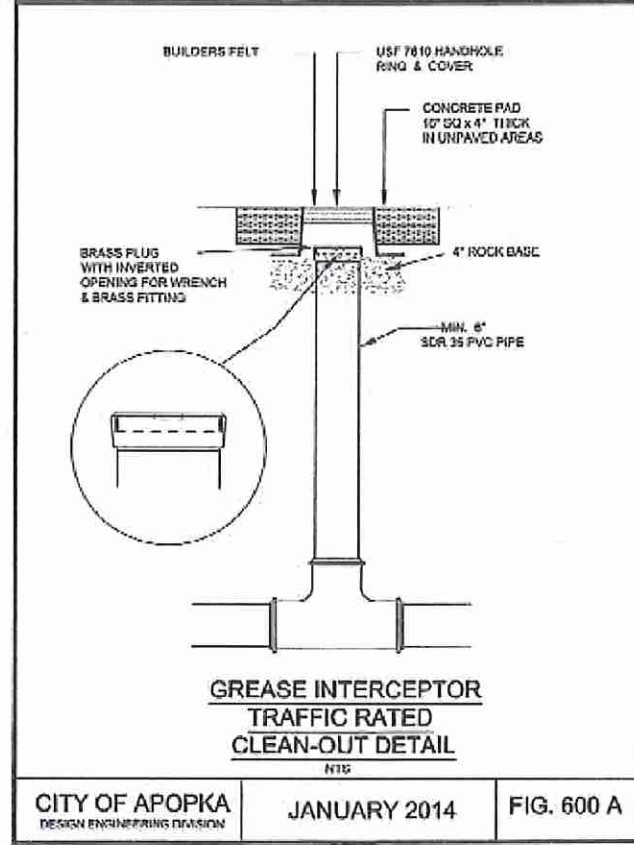
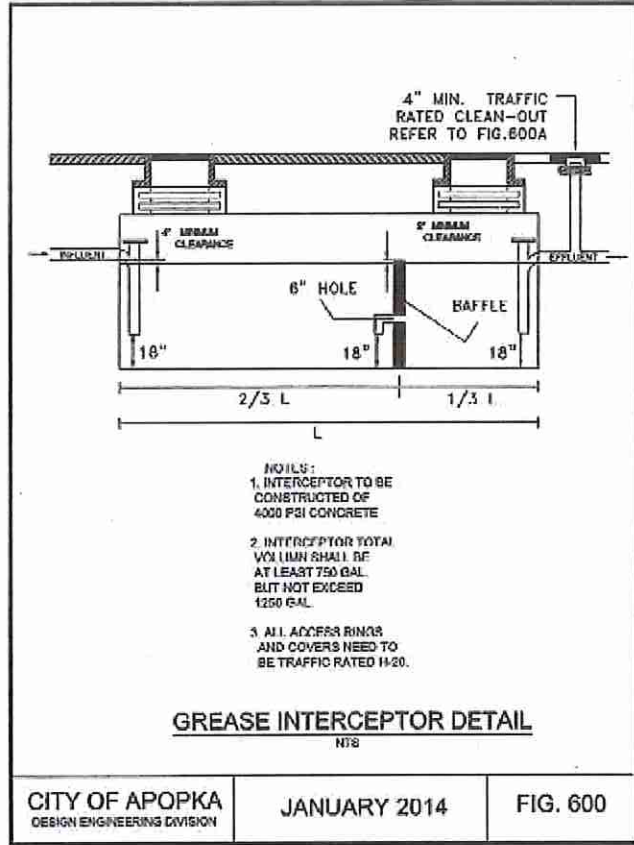
GREATER FAITH WORLD CENTER, INC.
 (FKA CENTER OF FAITH CHURCH, INC.)
 PARCEL ID #04-21-28-0000-00-027
 APOPKA, FLORIDA



Kenneth H. Ehlers
 KENNETH H. EHLERS, FL. PE #18243

DRAWING NO.
 20
 JOB NO. 17100

1126118



NO.	REVISION	DATE
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CITY OF APOPKA DETAILS

GENERAL DETAILS
#600, 600 A, 601,
602, 603 AND #607

GREATER FAITH WORLD CENTER, INC.
(FKA CENTER OF FAITH CHURCH, INC.)

PARCEL ID #04-21-28-0000-00-027
APOPKA, FLORIDA

DRAWING NO.
21

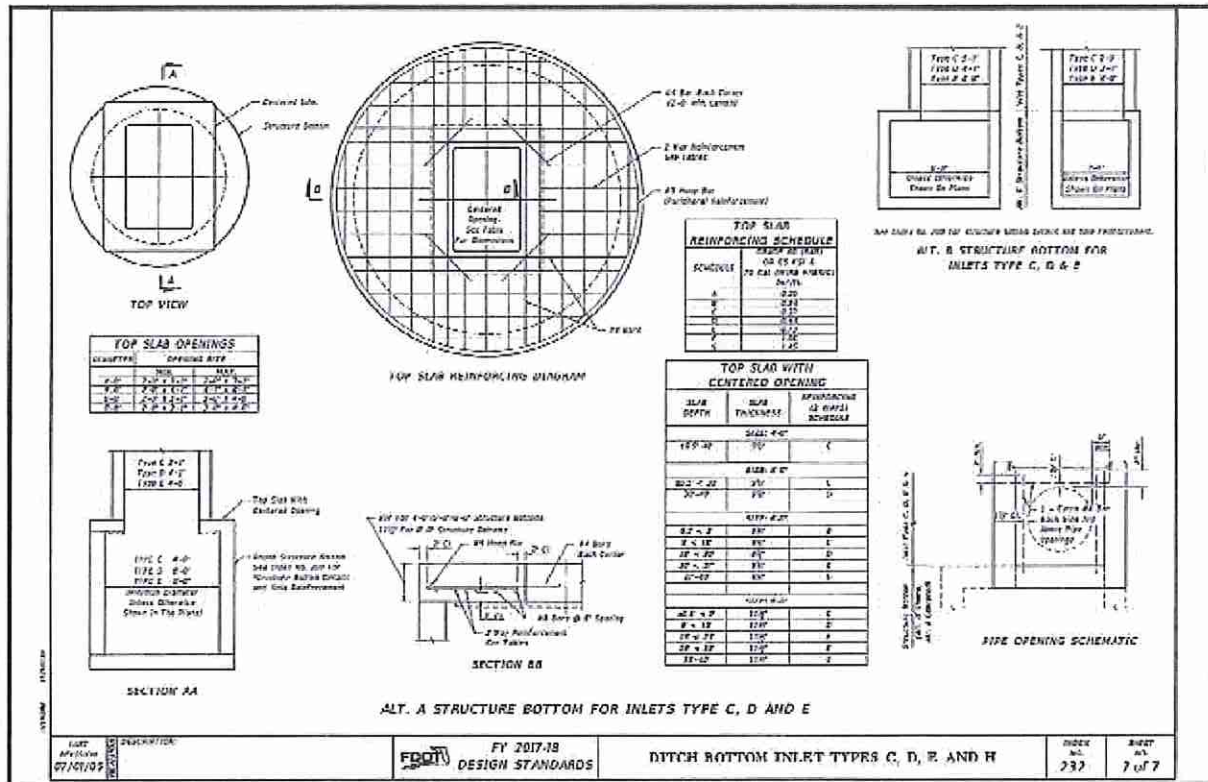
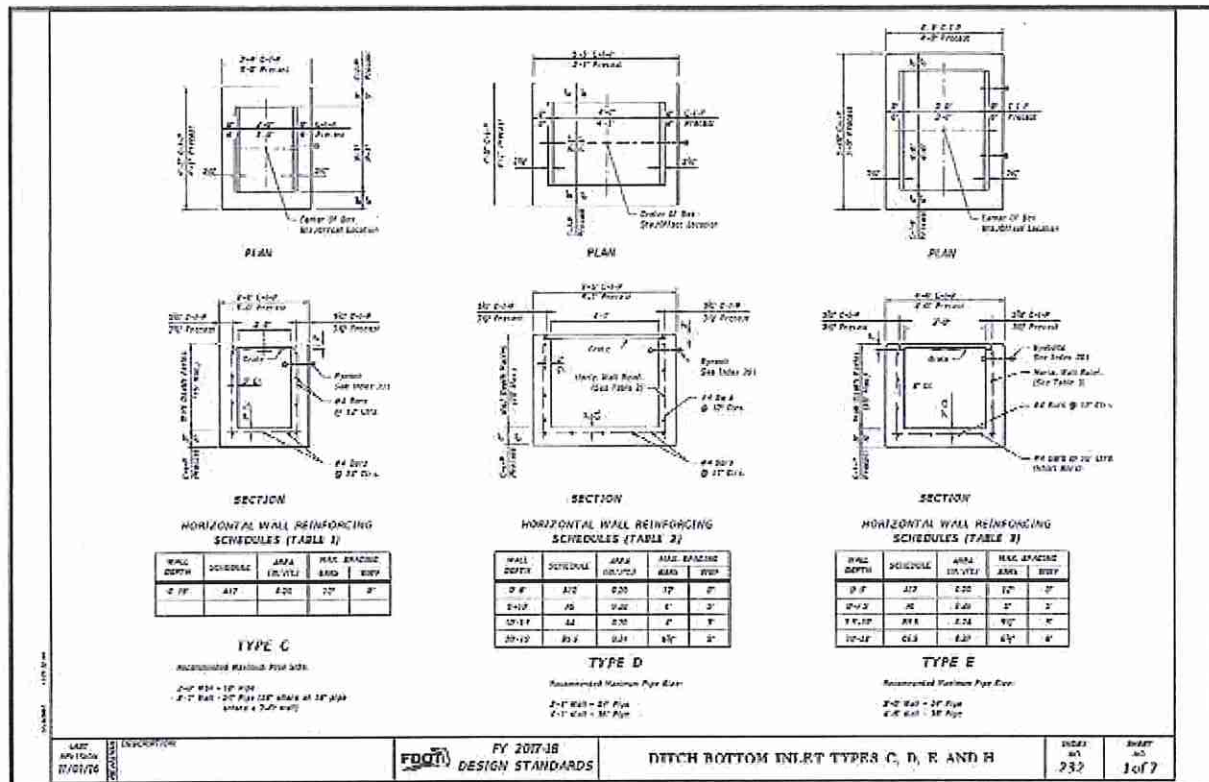
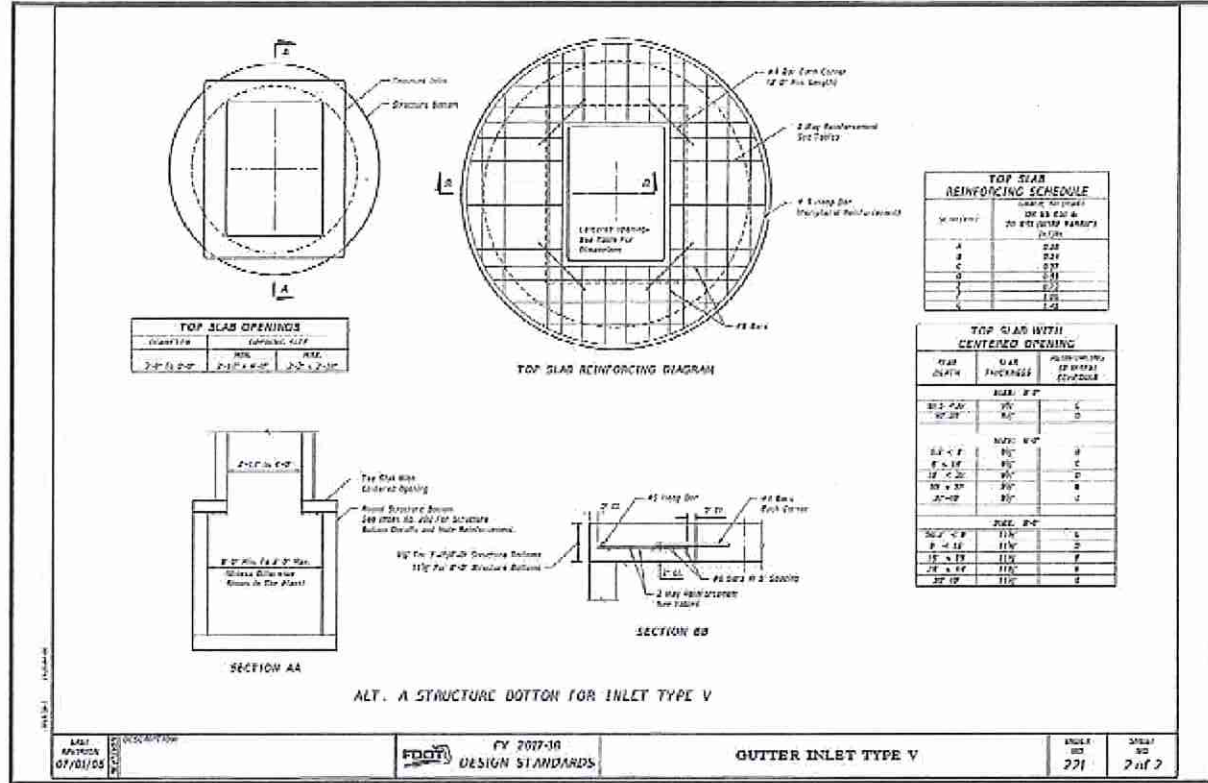
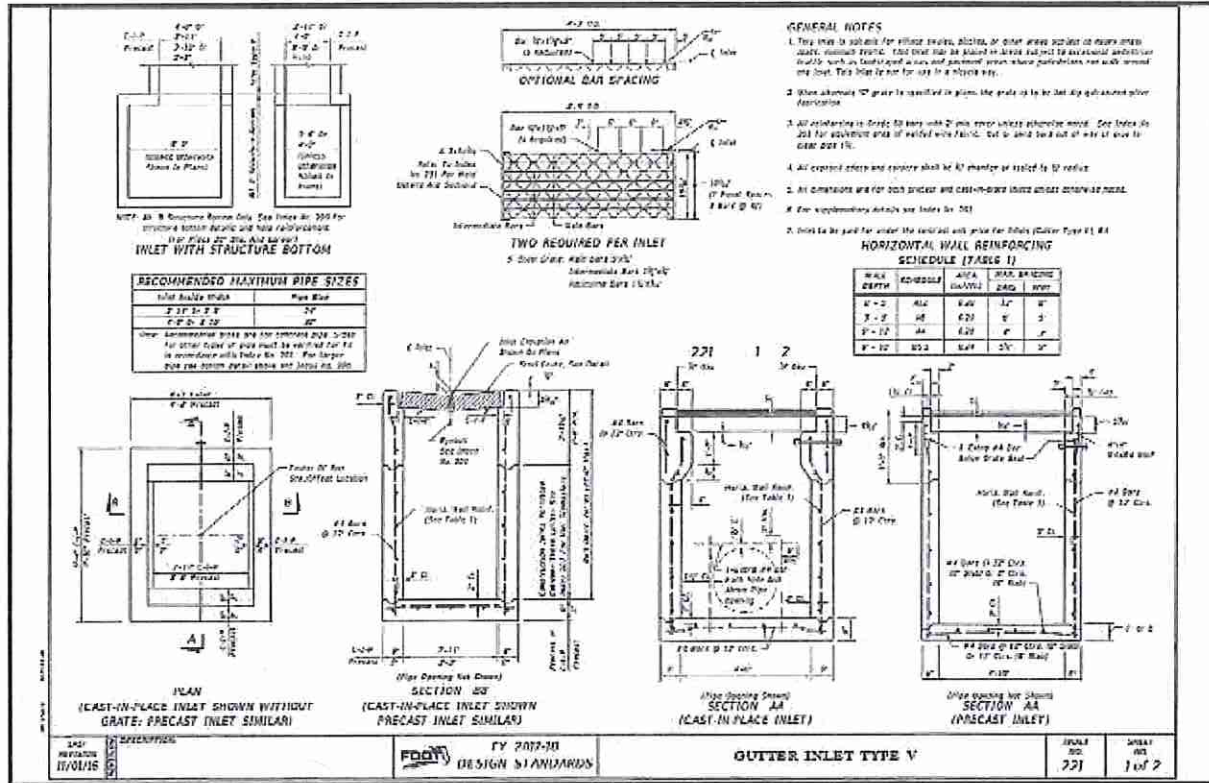
JOB NO. 17100

48 HOURS BEFORE DIGGING
CALL 811
1-800-432-4770
APPOKA 2218 SW 4th
D-HURON, FL

D. Ehlert
KENNETH H. EHLERS, FL PE #10243



1125718



NO.	REVISION	DATE
1		
2		
3		
4		
5		
6		
7		

FDOT STANDARD DETAILS

FDOT STANDARD INDEX #221 AND #232

GREATER FAITH WORLD CENTER, INC. (FKA CENTER OF FAITH CHURCH, INC.) PARCEL ID #04-21-28-0000-00-027 APOPKA, FLORIDA

DRAWING NO. 22
JOB NO. 17100

18 HOUR BEFORE DRIVING CALL TOLL FREE 1-800-432-4777

NO. 18243 STATE OF FLORIDA PROFESSIONAL ENGINEER

KENNETH H. EHLERS, FL PE #18243

112618

NO.	REVISION	DATE
1		
2		
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4		
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6		

FDOT STANDARD DETAILS

FDOT STANDARD INDEX
#273 AND #300

GREATER FAITH WORLD CENTER, INC.
(FKA CENTER OF FAITH CHURCH, INC.)
PARCEL ID #04-21-28-0000-00-027
APOPKA, FLORIDA

DRAWING NO.
23
JOB NO. 17100

DIMENSIONS & QUANTITIES																	
				SINGLE PIPE				CONCRETE (CY)				RODDING (FY)					
D	R	A	Z	C	Z	F	B	W	H	W	H	W	H	W	H	W	H
12"	2-1/2"	2-1/2"	4-1/2"	4-1/2"	2"	2-1/2"	2-1/2"	11.4	1.2	11.4	1.2	11.4	1.2	11.4	1.2	11.4	1.2
18"	3-1/2"	3-1/2"	5-1/2"	5-1/2"	2"	3-1/2"	3-1/2"	17.2	1.8	17.2	1.8	17.2	1.8	17.2	1.8	17.2	1.8
24"	4-1/2"	4-1/2"	6-1/2"	6-1/2"	2"	4-1/2"	4-1/2"	23.0	2.4	23.0	2.4	23.0	2.4	23.0	2.4	23.0	2.4
30"	5-1/2"	5-1/2"	7-1/2"	7-1/2"	2"	5-1/2"	5-1/2"	28.8	3.0	28.8	3.0	28.8	3.0	28.8	3.0	28.8	3.0

TOP VIEW SINGLE PIPE

TOP VIEW MULTIPLE PIPE

SECTION

SINGLE AND MULTIPLE ROUND CONCRETE PIPE

DATE: 07/27/18
SCALE: 1/4" = 1'-0"
SHEET NO: 273
SHEET OF: 1 of 7

PLAN
DITCH TRANSITION

PERMISSIBLE PAVEMENT INDICATION

GENERAL NOTES

1. Unless otherwise specified in the plans, concrete pipe mitered end sections may be used with any type of side drain pipe. Mitered end sections may be used with any type of side drain pipe except minimum 18" dia. mitered end sections. Mitered end sections may be used with any type of side drain pipe except minimum 18" dia. mitered end sections. Mitered end sections may be used with any type of side drain pipe except minimum 18" dia. mitered end sections.
2. Mitered end sections shall be installed in a manner that provides a smooth transition into the existing pavement.
3. Mitered end sections shall be installed in a manner that provides a smooth transition into the existing pavement.
4. Mitered end sections shall be installed in a manner that provides a smooth transition into the existing pavement.
5. Mitered end sections shall be installed in a manner that provides a smooth transition into the existing pavement.
6. Mitered end sections shall be installed in a manner that provides a smooth transition into the existing pavement.
7. Mitered end sections shall be installed in a manner that provides a smooth transition into the existing pavement.
8. Mitered end sections shall be installed in a manner that provides a smooth transition into the existing pavement.
9. Mitered end sections shall be installed in a manner that provides a smooth transition into the existing pavement.
10. Mitered end sections shall be installed in a manner that provides a smooth transition into the existing pavement.

DESIGN NOTES

1. The design engineer must determine and design the plan and profile of the mitered end section and the mitered end section shall be installed in a manner that provides a smooth transition into the existing pavement.
2. The design engineer must determine and design the plan and profile of the mitered end section and the mitered end section shall be installed in a manner that provides a smooth transition into the existing pavement.
3. The design engineer must determine and design the plan and profile of the mitered end section and the mitered end section shall be installed in a manner that provides a smooth transition into the existing pavement.
4. The design engineer must determine and design the plan and profile of the mitered end section and the mitered end section shall be installed in a manner that provides a smooth transition into the existing pavement.

NOTES & INFORMATION

DATE: 07/27/18
SCALE: 1/4" = 1'-0"
SHEET NO: 273
SHEET OF: 7 of 7

TYPE E

TYPE A

TYPE B

TYPE D

TYPE F

TYPE G

CONCRETE CURB

CONCRETE CURB AND GUTTER

VALLEY GUTTER

SHOULDER GUTTER

DRIP CURB

CONTRACTION JOINT IN CURB AND GUTTER

EXPANSION JOINT BETWEEN GUTTER AND CONCRETE PAVEMENT

CONCRETE BUMPER GUARD

ASPHALTIC CONCRETE CURB

DATE: 07/27/18
SCALE: 1/4" = 1'-0"
SHEET NO: 300
SHEET OF: 1 of 2

SHOULDER GUTTER

CONTRACTION JOINT IN CURB AND GUTTER

EXPANSION JOINT BETWEEN GUTTER AND CONCRETE PAVEMENT

CONTRACTION JOINT IN CURB

CONCRETE BUMPER GUARD

ASPHALTIC CONCRETE CURB

GENERAL NOTES

1. For curb, gutter and curb & gutter sections 12" or less in height, the design engineer must determine and design the plan and profile of the curb and gutter sections and the curb and gutter sections shall be installed in a manner that provides a smooth transition into the existing pavement.
2. For curb, gutter and curb & gutter sections 18" or more in height, the design engineer must determine and design the plan and profile of the curb and gutter sections and the curb and gutter sections shall be installed in a manner that provides a smooth transition into the existing pavement.

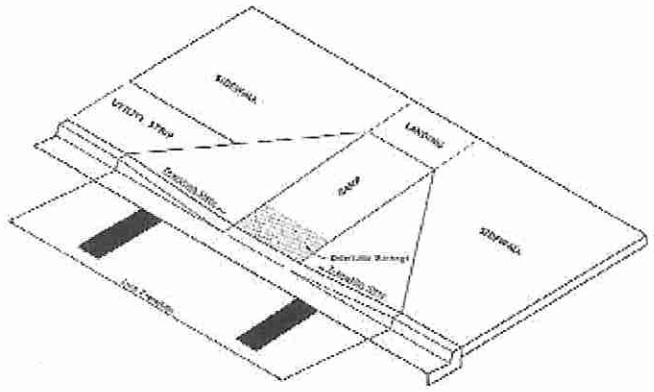
DATE: 07/27/18
SCALE: 1/4" = 1'-0"
SHEET NO: 300
SHEET OF: 2 of 2

48 HOURS BEFORE BIDDING
CALL YOUR AGENT
1-800-432-4777
KENNETH H. EHLERS, FL PE #18243

112618

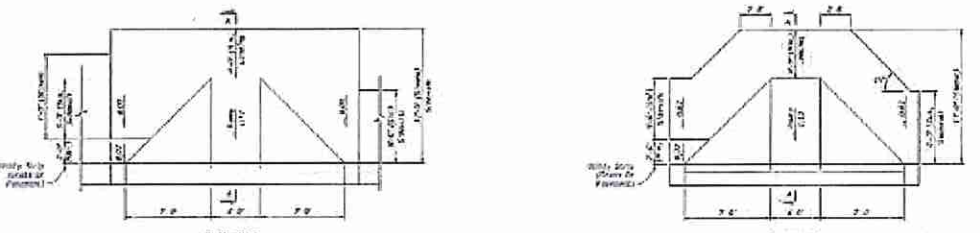
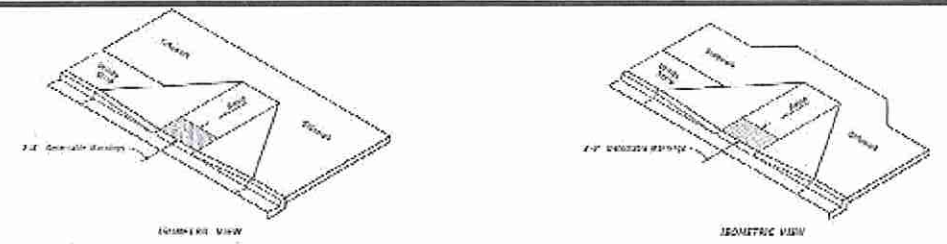
GENERAL NOTES

1. **GENERAL REQUIREMENTS**
 - A. Slope, rise, and landing shall be 0.02, 0.02, and 1:12, shown in blue lines, and shall be clearly marked on the drawings with the following notes: "SLOPE 0.02" and "LANDING 1:12".
 - B. Landings shall have a slope less than or equal to 0.02 in any direction.
 - C. Inset ramps shall have a slope less than or equal to 0.02.
2. **Grade Details**
 - A. Slope shall be at the top and bottom of ramps, and be parallel to each other and perpendicular to the direction of the ramp slope.
 - B. Refer to Table 310 for Slope and Grade Details.
3. **Curb Ramp Width/Height**
 - A. Refer to Table 310 for Curb Ramp Width/Height.
 - B. Refer to Table 310 for Curb Ramp Width/Height.
 - C. Refer to Table 310 for Curb Ramp Width/Height.
4. **Other Notes**
 - A. Refer to Table 310 for Curb Ramp Width/Height.
 - B. Refer to Table 310 for Curb Ramp Width/Height.
 - C. Refer to Table 310 for Curb Ramp Width/Height.
 - D. Refer to Table 310 for Curb Ramp Width/Height.
 - E. Refer to Table 310 for Curb Ramp Width/Height.
 - F. Refer to Table 310 for Curb Ramp Width/Height.
 - G. Refer to Table 310 for Curb Ramp Width/Height.
 - H. Refer to Table 310 for Curb Ramp Width/Height.
 - I. Refer to Table 310 for Curb Ramp Width/Height.
 - J. Refer to Table 310 for Curb Ramp Width/Height.
 - K. Refer to Table 310 for Curb Ramp Width/Height.
 - L. Refer to Table 310 for Curb Ramp Width/Height.
 - M. Refer to Table 310 for Curb Ramp Width/Height.
 - N. Refer to Table 310 for Curb Ramp Width/Height.
 - O. Refer to Table 310 for Curb Ramp Width/Height.
 - P. Refer to Table 310 for Curb Ramp Width/Height.
 - Q. Refer to Table 310 for Curb Ramp Width/Height.
 - R. Refer to Table 310 for Curb Ramp Width/Height.
 - S. Refer to Table 310 for Curb Ramp Width/Height.
 - T. Refer to Table 310 for Curb Ramp Width/Height.
 - U. Refer to Table 310 for Curb Ramp Width/Height.
 - V. Refer to Table 310 for Curb Ramp Width/Height.
 - W. Refer to Table 310 for Curb Ramp Width/Height.
 - X. Refer to Table 310 for Curb Ramp Width/Height.
 - Y. Refer to Table 310 for Curb Ramp Width/Height.
 - Z. Refer to Table 310 for Curb Ramp Width/Height.



CURB RAMP NOMENCLATURE

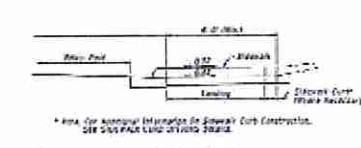
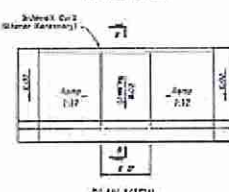
LAST REVISION	DESCRIPTION	FY 2017-18 DESIGN STANDARDS	DETECTABLE WARNINGS AND SIDEWALK CURB RAMPS	SHEET NO. 304	SHEET OF 1 of 8
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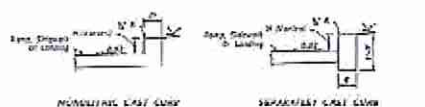
SECTION A-A

SIDEWALK CURB RAMPS CR-A AND CR-B

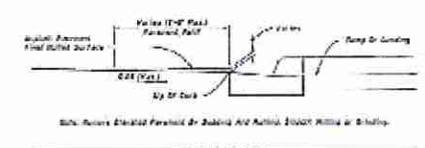
LAST REVISION	DESCRIPTION	FY 2017-18 DESIGN STANDARDS	DETECTABLE WARNINGS AND SIDEWALK CURB RAMPS	SHEET NO. 304	SHEET OF 2 of 8
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CONSTRUCTION OF SIDEWALK CURB IN CUT SECTIONS

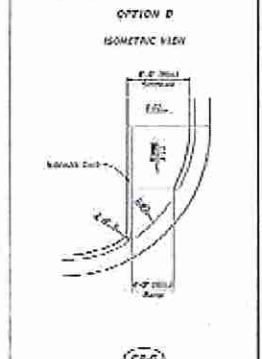
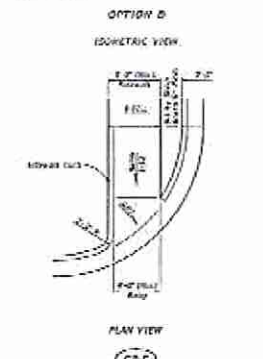
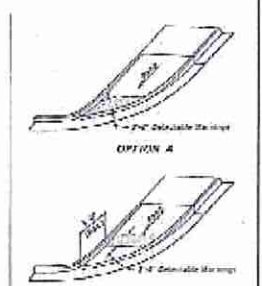
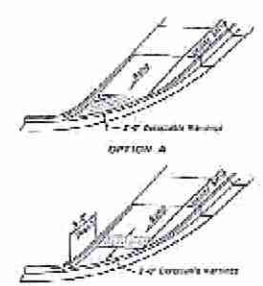
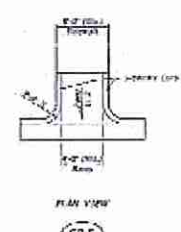
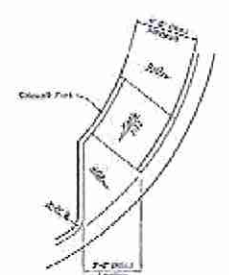
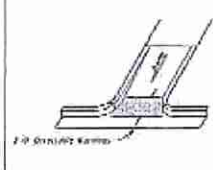
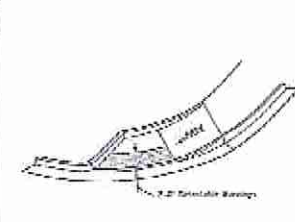


SIDEWALK CURB OPTIONS



SIDEWALK CURB RAMPS CR-C AND SIDEWALK CURB

LAST REVISION	DESCRIPTION	FY 2017-18 DESIGN STANDARDS	DETECTABLE WARNINGS AND SIDEWALK CURB RAMPS	SHEET NO. 304	SHEET OF 3 of 8
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SIDEWALK CURB RAMPS CR-D, CR-E, CR-F & CR-G

LAST REVISION	DESCRIPTION	FY 2017-18 DESIGN STANDARDS	DETECTABLE WARNINGS AND SIDEWALK CURB RAMPS	SHEET NO. 304	SHEET OF 4 of 8
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NO.	REVISION	DATE
1		
2		
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4		
5		
6		

FDOT STANDARD DETAILS

FDOT STANDARD INDEX #304

GREATER FAITH WORLD CENTER, INC.
(FKA CENTER OF FAITH CHURCH, INC.)
PARCEL ID #04-21-28-0000-00-027
APOPKA, FLORIDA

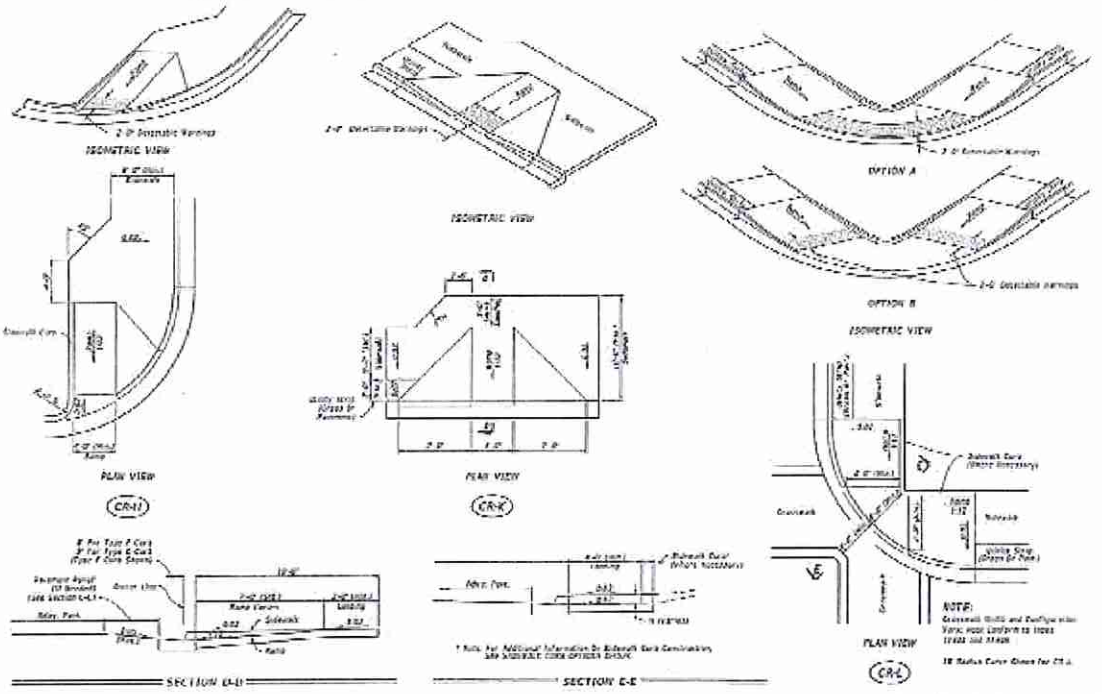
DRAWING NO. 24
JOB NO. 17100

MINIMUMS BEFORE ORDERING
CALL FOR MORE
1-800-432-4770
FLORIDA STATE DEPARTMENT OF TRANSPORTATION

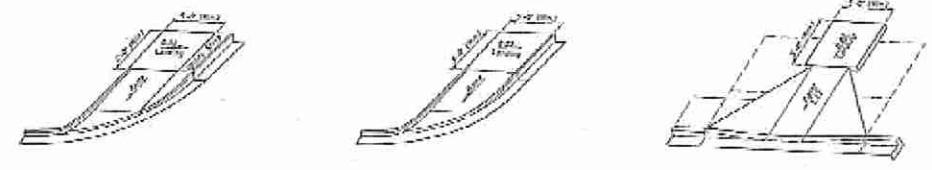


Kenneth H. Ehlers, FL-PE #12844

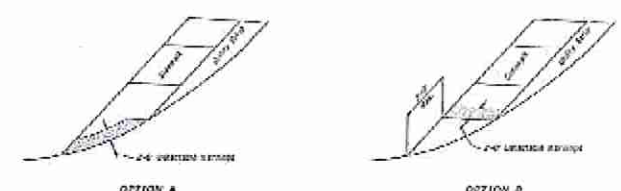
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DATE: 11/01/18	DESCRIPTION: DETECTABLE WARNINGS AND SIDEWALK CURB RAMPS	PROJECT NO: 304	SHEET NO: 5 of 8
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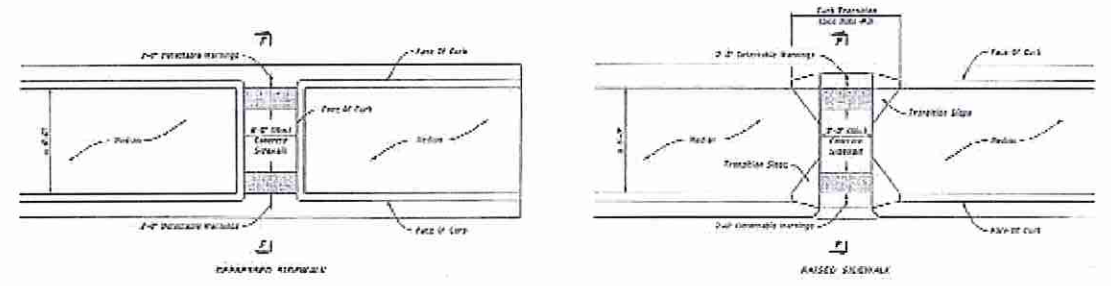


24" WIDE RAMP WITHOUT SIDEWALKS

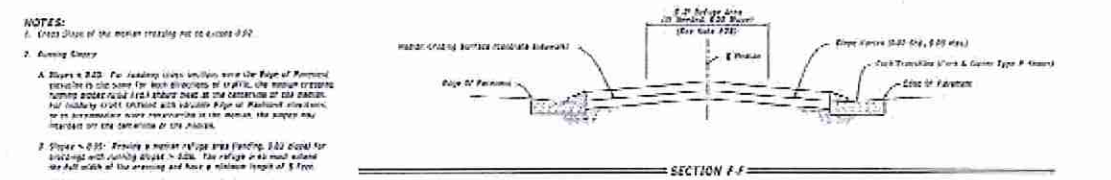


DETECTABLE WARNING ON FLUSH SHOULDER SIDEWALKS

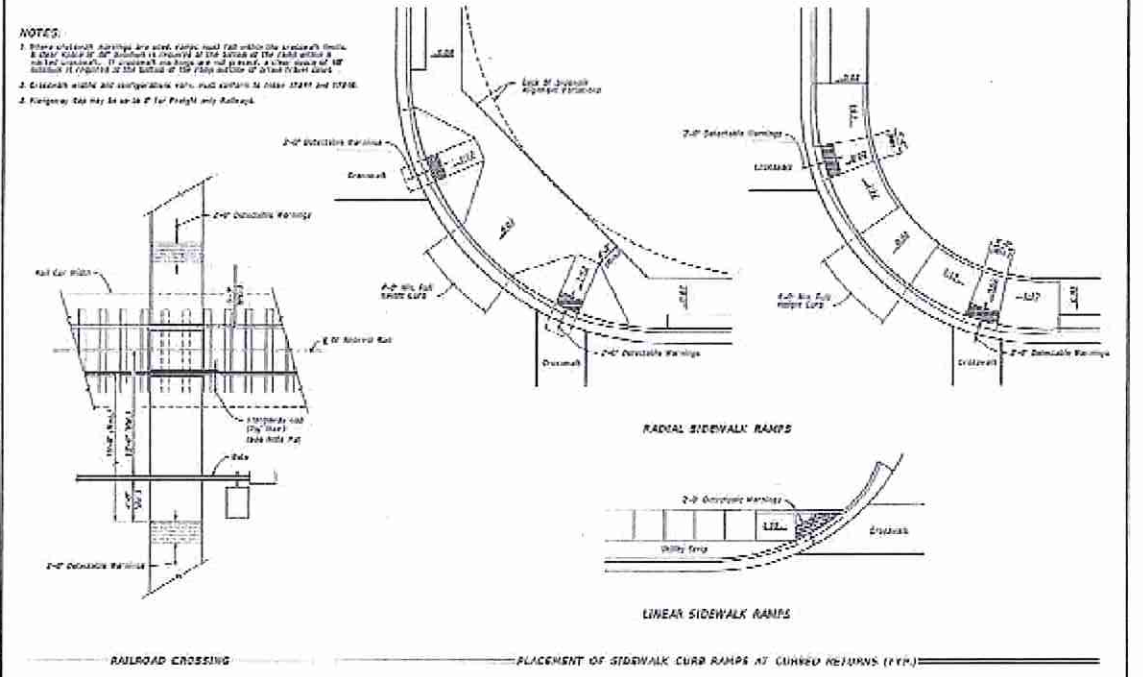
DATE: 11/01/18	DESCRIPTION: CURB RAMPS WITHOUT SIDEWALKS AND FLUSH SHOULDER SIDEWALKS	PROJECT NO: 304	SHEET NO: 8 of 8
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MEDIAN CROSSINGS



DATE: 11/01/18	DESCRIPTION: DETECTABLE WARNINGS AND SIDEWALK CURB RAMPS	PROJECT NO: 304	SHEET NO: 7 of 8
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DATE: 11/01/18	DESCRIPTION: DETECTABLE WARNINGS AND SIDEWALK CURB RAMPS	PROJECT NO: 304	SHEET NO: 8 of 8
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NO.	REVISION	DATE
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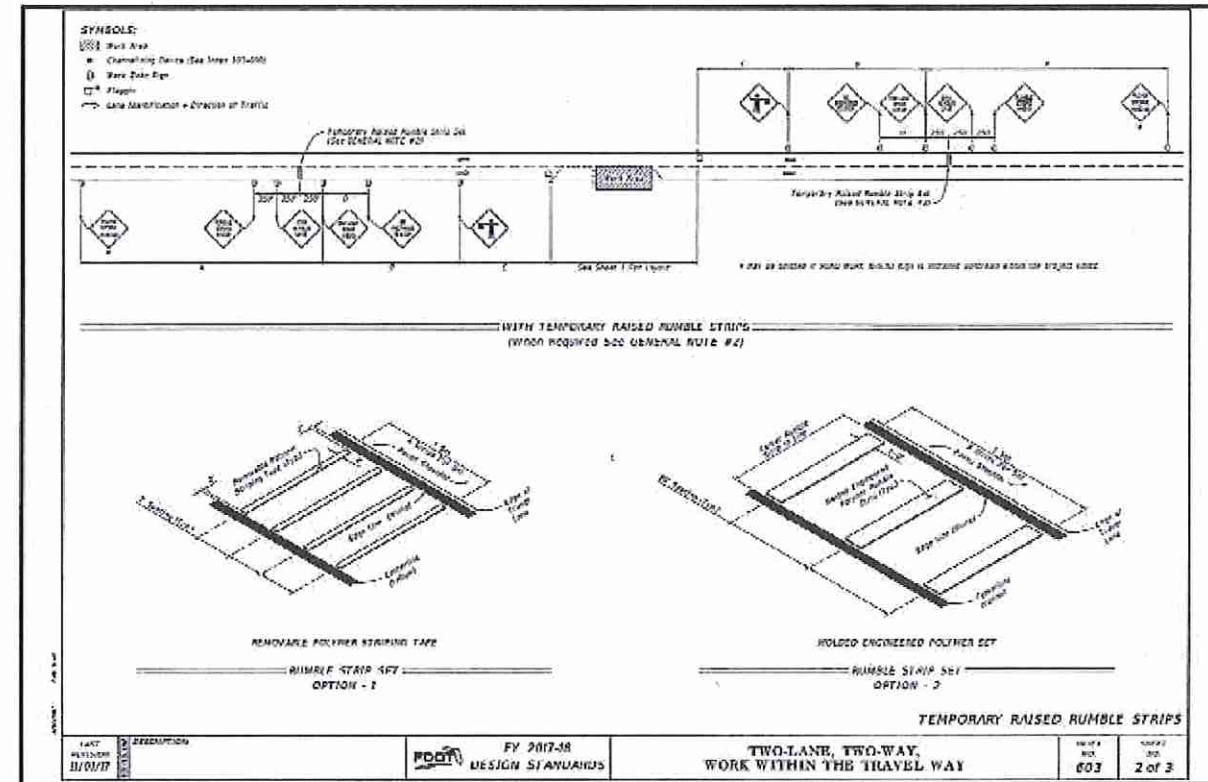
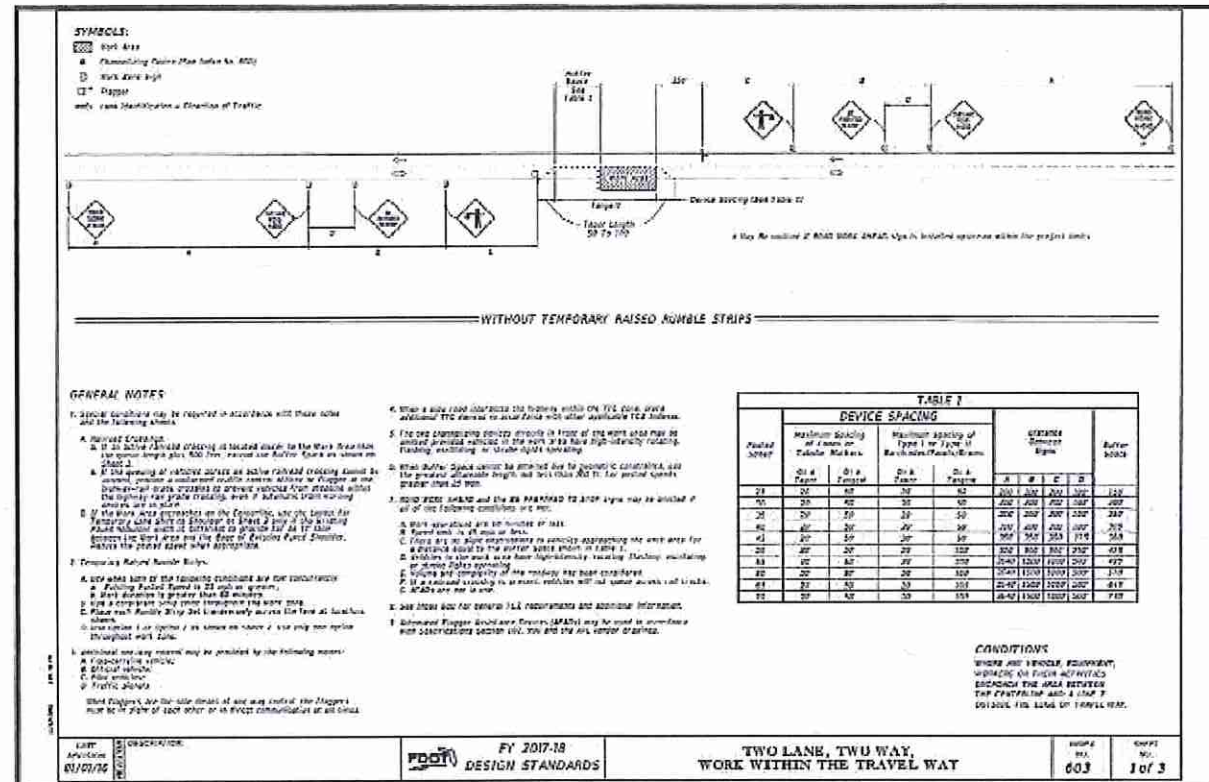
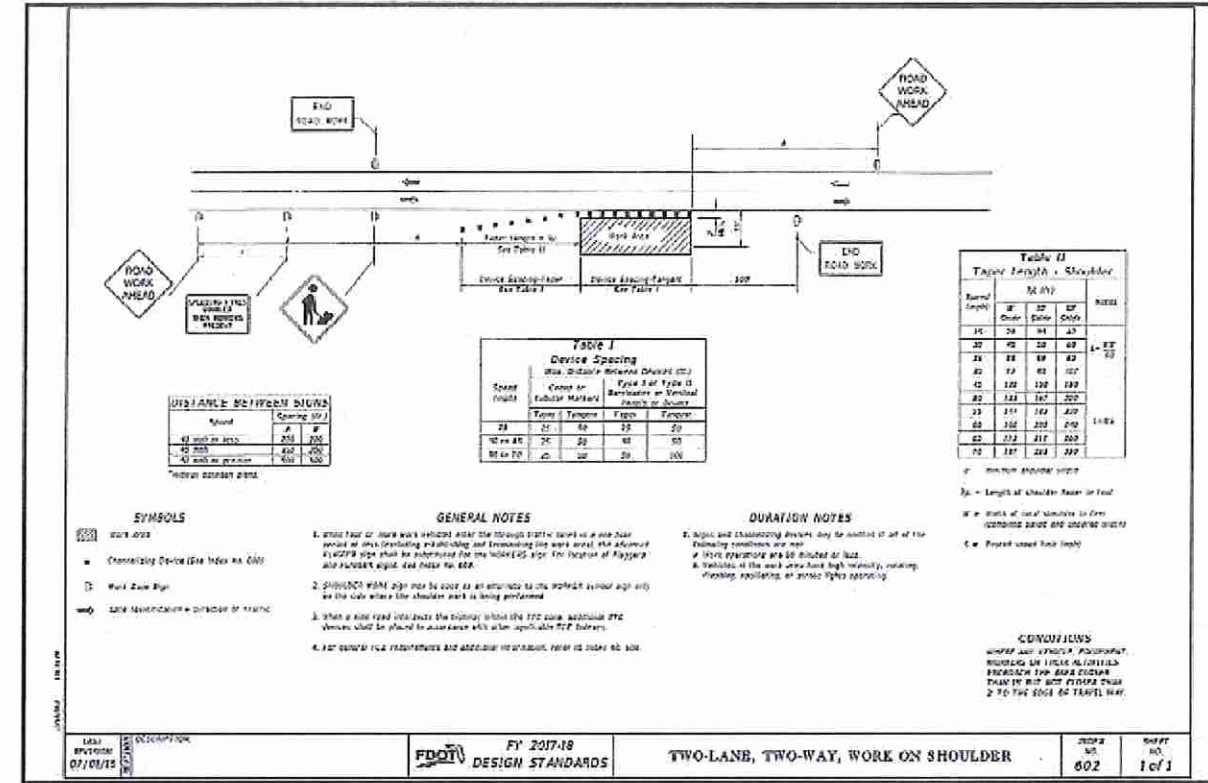
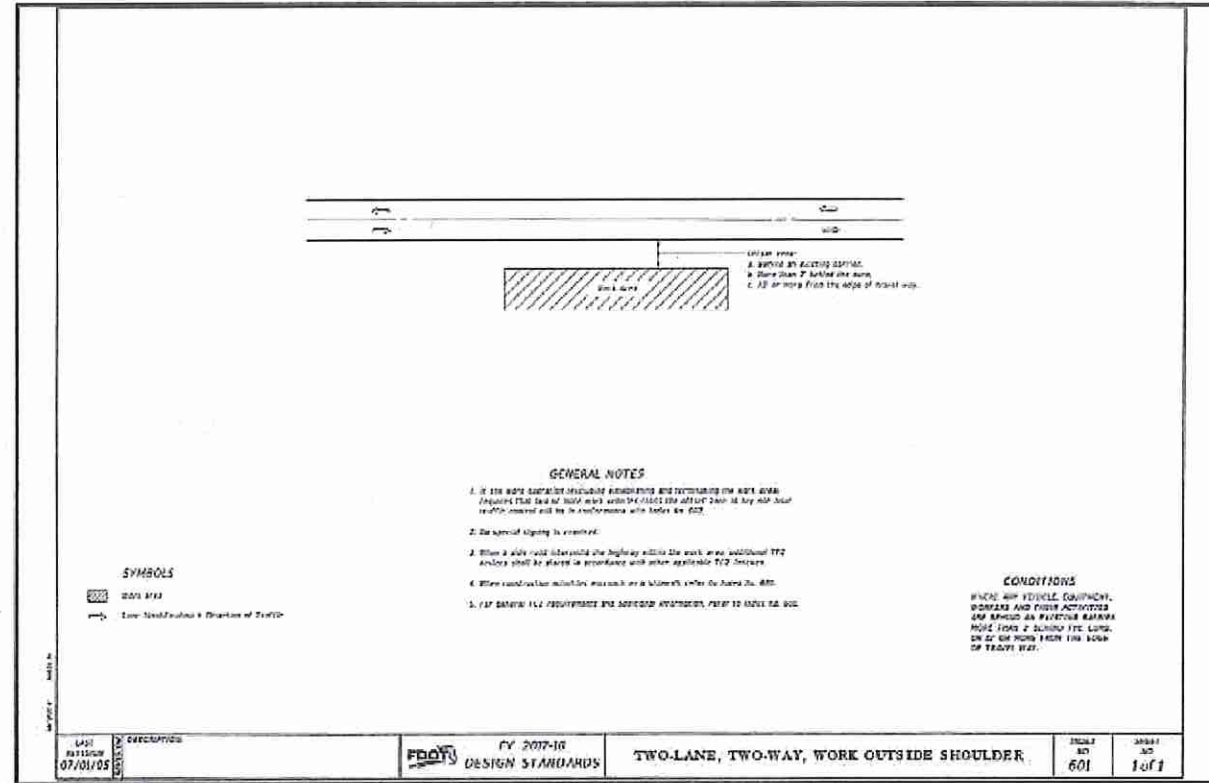
FDOT STANDARD DETAILS

FDOT STANDARD INDEX #304

GREATER FAITH WORLD CENTER, INC.
 (FKA CENTER OF FAITH CHURCH, INC.)
 PARCEL ID #04-21-28-0000-00-027
 APOPKA, FLORIDA

DRAWING NO. 25
 JOB NO. 17100

REGISTERED PROFESSIONAL ENGINEER
 KENNETH H. EHLERS, FL PE #18243
 112618



NO.	REVISION	DATE
1		
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FDOT STANDARD DETAILS
 #601, 602 AND #603

FDOT STANDARD INDEX
 #601, 602 AND #603

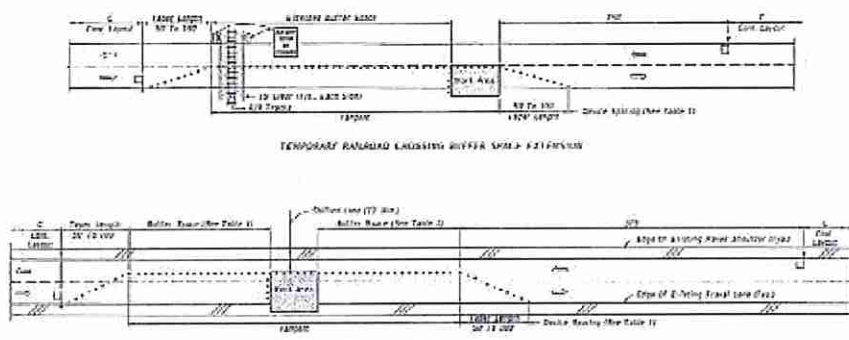
GREATER FAITH WORLD CENTER, INC.
 (FKA CENTER OF FAITH CHURCH, INC.)
 PARCEL ID #04-21-28-0000-00-027
 APOPKA, FLORIDA

DRAWING NO.
26
 JOB NO. 17100

48 HOURS BEFORE RECORD
 CALL NUMBER
 1-800-432-4773
 KENNETH H. EHLERS, FL-PE
 112618

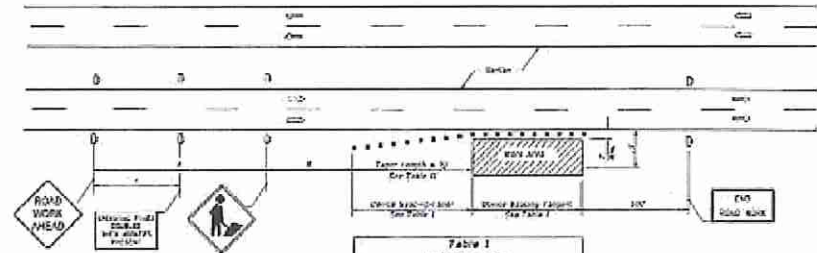
NO.	REVISION	DATE
1		
2		
3		
4		
5		
6		
7		

SYMBOLS
 Start Area
 Flamingo Sign (See Index to 805)
 Road Work Sign
 Lane Shift Sign
 Lane Shift Sign - Direction of Traffic



SPECIAL CONDITIONS
 Other Agencies:
 See General Note #1, Sheet 1 for more information.

LAST REVISION: 01/22/16	DESCRIPTION: 2	DATE: 01/22/16	BY: [Signature]	PROJECT: FY 2017-18 DESIGN STANDARDS	TITLE: TWO LANE, TWO WAY, WORK WITHIN THE TRAVEL WAY	NO. 603	SHEET NO. 3 of 3
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DISTANCE BETWEEN SIGNS

Sign	Spacing (ft)
Start Area	200
Flamingo Sign	200
Road Work Sign	200
Lane Shift Sign	200

TABLE 1
 BUFFER SPACING
 MIN. DISTANCE BETWEEN SIGNS (ft)

Sign	Spacing (ft)
Start Area	200
Flamingo Sign	200
Road Work Sign	200
Lane Shift Sign	200

TABLE 2
 TAPER LENGTH - SHOULDER

Sign	Spacing (ft)
Start Area	200
Flamingo Sign	200
Road Work Sign	200
Lane Shift Sign	200

GENERAL NOTES
 1. There is high volume of work activities and activities and traffic the Start Area at 2000 ft from the edge of the road. All signs shall be placed at 200-500 ft from the ROAD WORK SIGN location and shall be ROAD WORK SIGN sign spacing (200 ft).
 2. The 200 ft Start Area spacing is not included in the buffer zone that is less than 100 ft from the edge of roadway.
 3. Work shall be done performed as a multiple sequential reading the signs, normally mounted in the center of the road.
 4. WORKING signs shall be mounted on fully erected signs on work or being performed.
 5. WORKING signs shall be placed on an alternate to the WORKING sign.
 6. When a sign is placed on the roadway within the 100 ft buffer zone, the sign shall be placed at a distance from the sign to the edge of the roadway.
 7. For general requirements and additional information, refer to Manual for Traffic Signs and Signals.

DIRECTION NOTES
 1. Signs and other traffic devices may be located at or on the roadway shoulder as well.
 2. Signs and other traffic devices shall be placed on the roadway shoulder as well.
 3. Signs and other traffic devices shall be placed on the roadway shoulder as well.

CONDITIONS
 USING ANY VEHICLE, EQUIPMENT, MATERIALS OR TRAFFIC ACTIVITIES SHALL BE AT THE SIGN LOCATION FROM 100 FT FROM THE SIGN TO THE EDGE OF THE ROAD.

LAST REVISION: 01/22/16	DESCRIPTION: 2	DATE: 01/22/16	BY: [Signature]	PROJECT: FY 2017-18 DESIGN STANDARDS	TITLE: MULTILANE, WORK ON SHOULDER	NO. 612	SHEET NO. 1 of 1
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FDOT STANDARD DETAILS

FDOT STANDARD INDEX #603 AND #612

GREATER FAITH WORLD CENTER, INC. (FKA CENTER OF FAITH CHURCH, INC.)
 PARCEL ID #04-21-28-0000-00-027
 APOPKA, FLORIDA

DRAWING NO. 27

JOB NO. 17100

48 HOURS BEFORE DIGGING CALL 1-800-432-1770
 KENNETH H. EHLERS, FL PE #18244
 1126118

MERGE ONLY 21.5' 22.5' 23.5' 24.5' 25.5' 26.5' 27.5' 28.5' 29.5' 30.5'

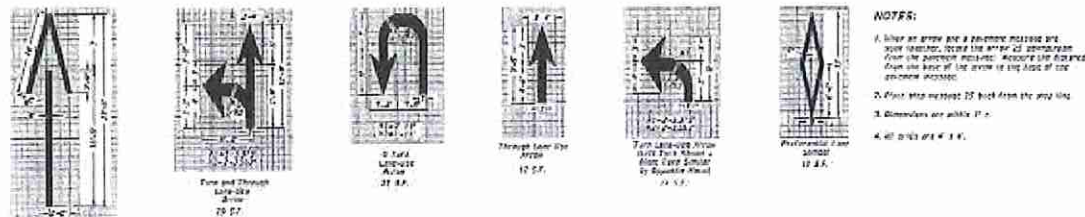
LANE TURN 21.5' 22.5' 23.5' 24.5' 25.5' 26.5' 27.5' 28.5' 29.5' 30.5'

LEFT RIGHT 21.5' 22.5' 23.5' 24.5' 25.5' 26.5' 27.5' 28.5' 29.5' 30.5'

25 MPH 21.5' 22.5' 23.5' 24.5' 25.5' 26.5' 27.5' 28.5' 29.5' 30.5'

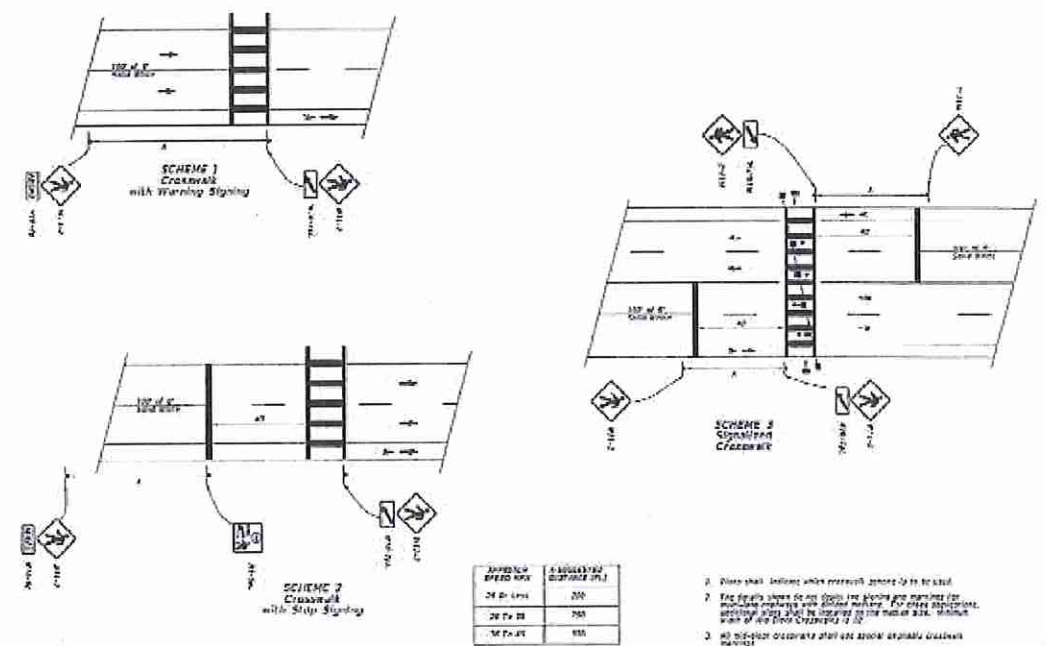
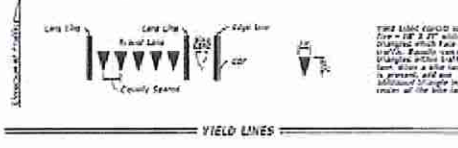
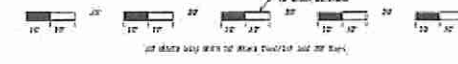
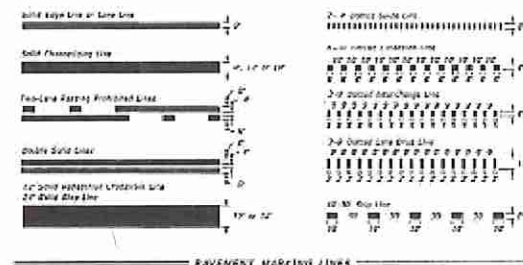
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STOP BUS 21.5' 22.5' 23.5' 24.5' 25.5' 26.5' 27.5' 28.5' 29.5' 30.5'



NOTES:

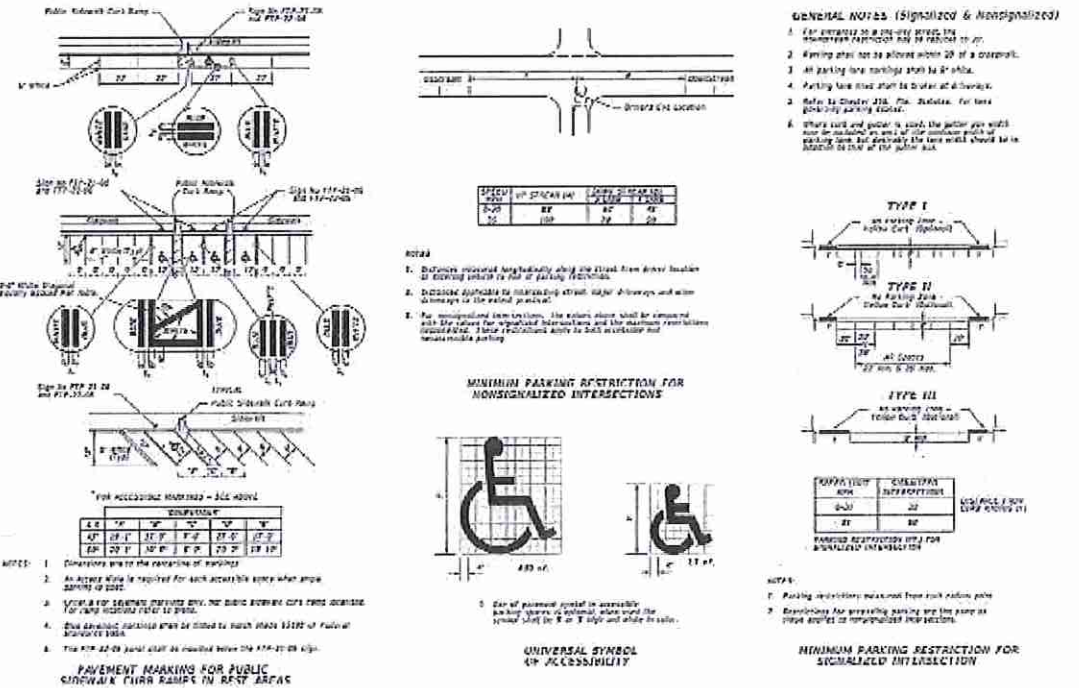
1. When an arrow and a pavement marking are used together, locate the arrow at the beginning of the pavement marking. Measure the distance from the base of the arrow to the edge of the pavement marking.
2. Place the marking 2' back from the arrow tip.
3. Dimensions are in feet (ft).
4. All units are in feet (ft).



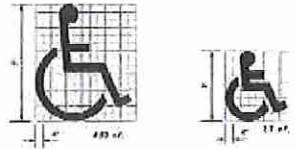
MARKING	MINIMUM WIDTH (ft)	MINIMUM LENGTH (ft)
24" W. LINE	200	200
24" P. LINE	200	200
18" P. LINE	200	200

NOTES:

1. Show shall include white crosswalk, shown to be used.
2. The details shown are for the minimum marking. For other situations, additional details shall be provided to the user at the time of the design.
3. All dimensions are in feet (ft).
4. Crosswalk marking shall be performed during construction.



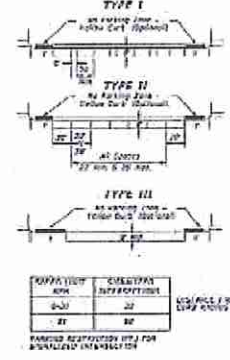
MINIMUM PARKING RESTRICTION FOR NONSIGNALIZED INTERSECTIONS



UNIVERSAL SYMBOL FOR ACCESSIBILITY

GENERAL NOTES (Signalized & Nonsignalized)

1. For signalized intersections, the minimum width shall be 20'.
2. For nonsignalized intersections, the minimum width shall be 20'.
3. All parking line markings shall be 4" wide.
4. Parking line markings shall be 4" wide.
5. Refer to Chapter 206, Part 2, for more information on parking lines.
6. Where a curb and gutter is used, the gutter line shall be 4" wide. The curb shall be 4" wide. The curb shall be 4" wide.



MINIMUM PARKING RESTRICTION FOR SIGNALIZED INTERSECTIONS

FDOT STANDARD DETAILS

FDOT STANDARD INDEX #17346

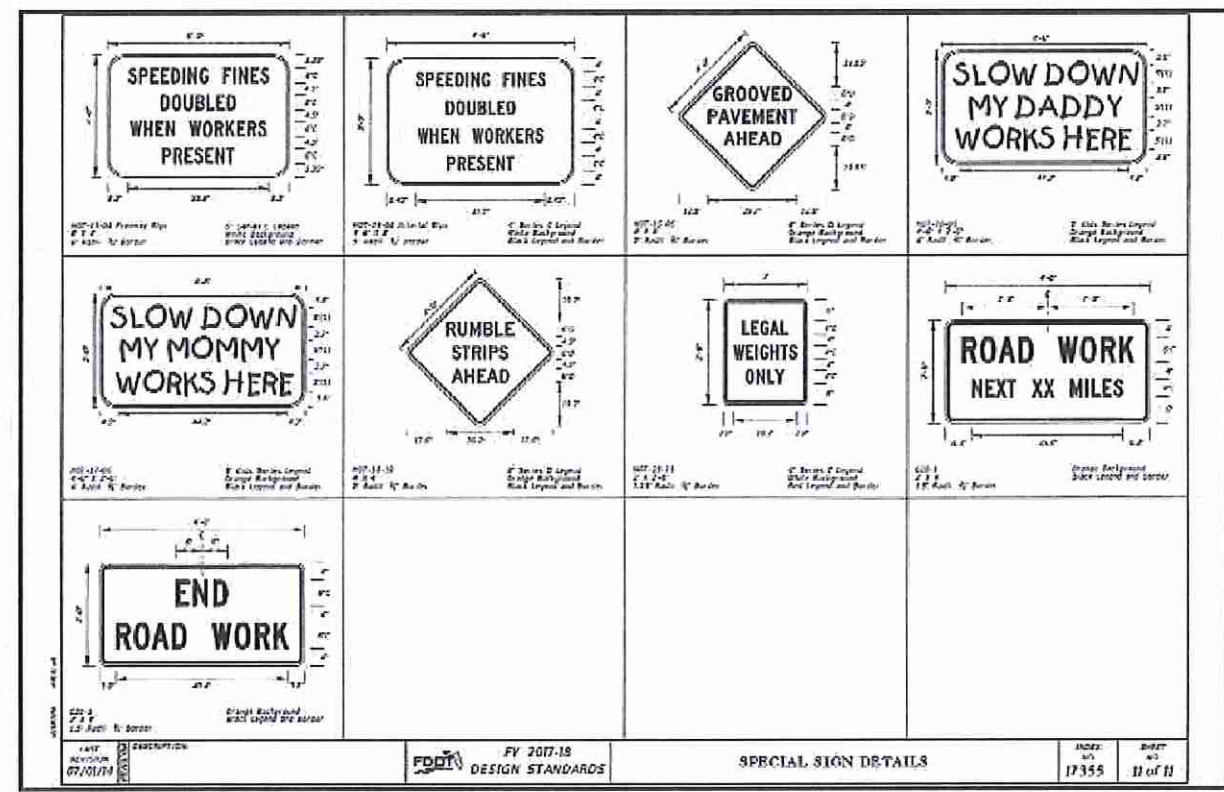
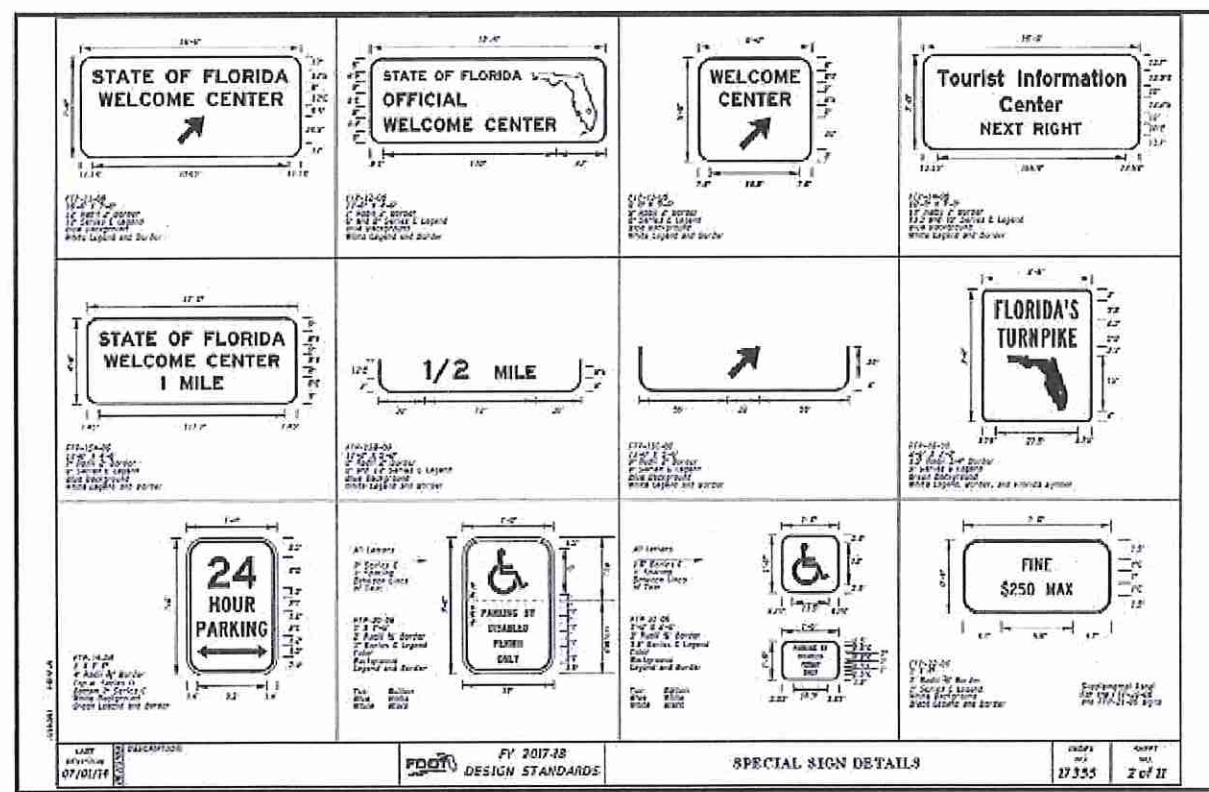
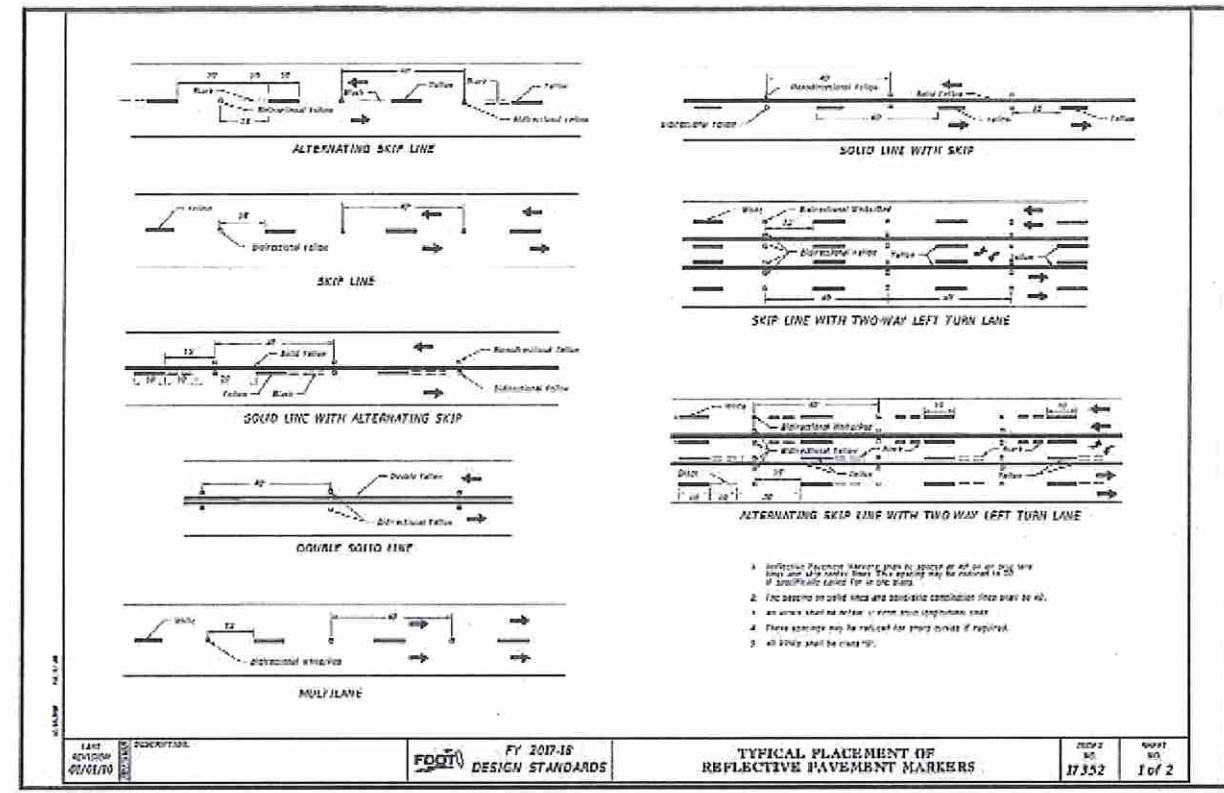
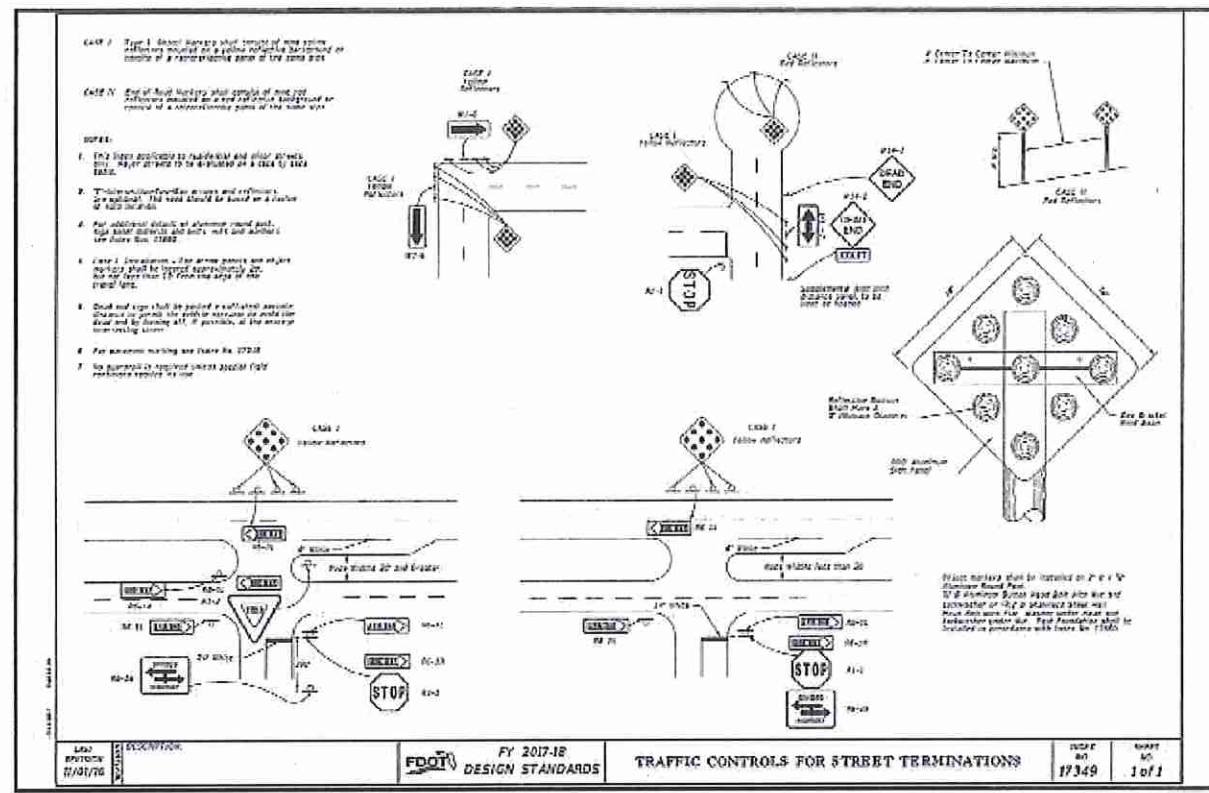
GREATER FAITH WORLD CENTER, INC. (FKA CENTER OF FAITH CHURCH, INC.)
 PARCEL ID #04-21-28-0000-00-027 APOPKA, FLORIDA

DRAWING NO. 28

JOB NO. 17100

48 HOURS BEFORE DIGGING CALL 811/FL
 1-800-432-4770
 KENNETH H. EHLERS, FL PE #18249
 112618

NO.	REVISION	DATE
1		
2		
3		
4		
5		



FDOT STANDARD DETAILS

FDOT STANDARD INDEX #17349, 17352 AND #17355

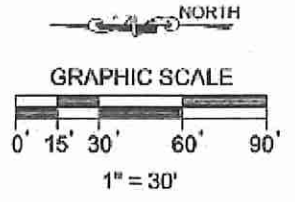
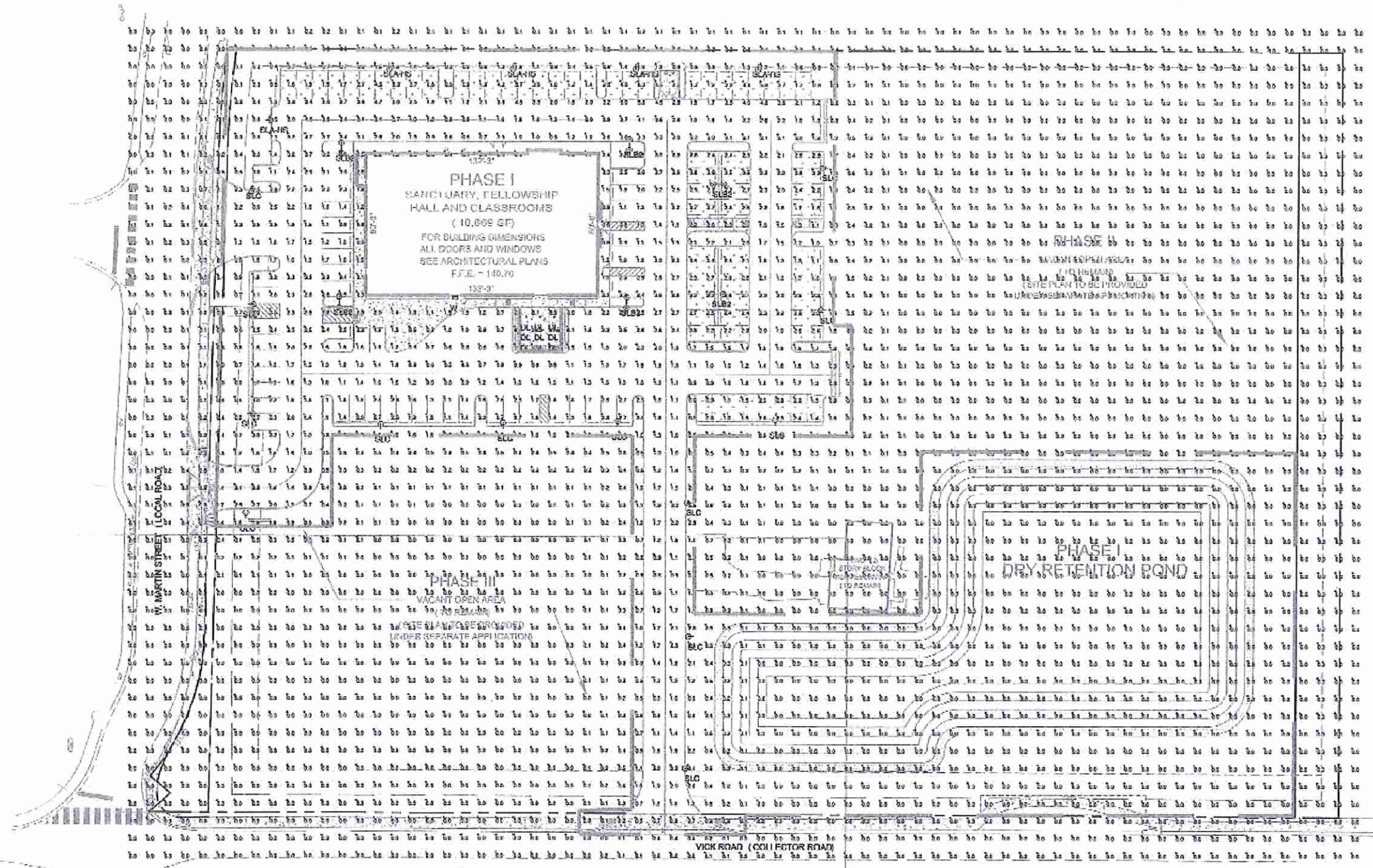
GREATER FAITH WORLD CENTER, INC. (FKA CENTER OF FAITH CHURCH, INC.) PARCEL ID: #04-21-28-0000-00-027 APOPKA, FLORIDA

DRAWING NO. 29
JOB NO. 17100

8 HOURS BEFORE DRIVING
CALL 811
1-800-432-4770
FOR MORE INFORMATION
CALL 811

KENNETH H. EHLERS, FL PE #18243

NO. 18243
STATE OF FLORIDA
PROFESSIONAL ENGINEER



PHOTOMETRIC PLAN

Symbol	Manufacturer	Qty	Label	Arrangement	Description	LFU	Lum. Wtts	Lum. Lumens	SKU #
⊙	NLS Lighting LLC	5	SLA 18	SINGLE	CAL 1 TPI 24 32 7 40K UNV-SLX 185-18K; MOUNTED @ 20' AFD ON A ROUND TAPERED DIRECT BURY ALUMINUM POLE & A4 DECORATIVE ARM	1,000	71	8007	81-115-01
⊙	NLS Lighting LLC	6	SLB3	BYOP BACK	CAL 1 TPI 24 32 7 40K UNV-SLX 185-18K; MOUNTED @ 20' AFD ON A ROUND TAPERED DIRECT BURY ALUMINUM POLE & A4 DECORATIVE ARM	1,000	56	4712	81-115-01
⊙	NLS Lighting LLC	13	SLD	SINGLE	CAL 1 TPI 24 32 7 40K UNV-SLX 185-18K; MOUNTED @ 20' AFD ON A ROUND TAPERED DIRECT BURY ALUMINUM POLE & A4 DECORATIVE ARM	1,000	55	5230	81-115-01
⊙	Libonix Lighting	9	DL	SINGLE	LENH 40, 10 UNV-A10 WL IN DROP DIFFUSOR	1,000	14.3	1038	81-115-02
⊙	Libonix Lighting	1	W	SINGLE	SDWH 170 650 200 200 200 200 T, WAVE MOUNTED AS SHOWN	1,000	19.1	2155	81-115-01

Location	Category	Units	Avg	Max	Min	Avg/Min	Max/Min
Entrance	BUMING	70	0.48	0.73	0.0	FLA	N/A
Parking Lot & Drive	BUMING	70	1.32	0.9	0.35	3.55	12.80

NOTES:
 Any alterations must be submitted 14 days prior to bid date in order to be considered. Alternative fixtures must be submitted with a full copy spec sheet, photometric report, finish chip set and working samples. Submission of alternate fixture does not guarantee approval and will only be accepted if listed in an addendum to the fixture schedule. Review of alternates subject to review of hourly rate by consultant for additional consultants as needed and as required. Note: Bid sheets to be submitted as specified only, with alternates submitted separately with unit pricing. Contact Landreth Inc for pricing: 904.926.6444

48 HOURS BEFORE DIGGING
 CALL 1-800-432-4770
 DUNNING STATE ONE CALL
 OF FLORIDA, INC.



D. Ehlers
 KENNETH H. EHLERS, FL PE #18243

PROJECT UPDATE: 07/22/17

NO.	REVISION	DATE

KENNETH H. EHLERS, P.E.
 CONSULTING ENGINEER
 6034 FALCONBRIDGE PLACE
 MOUNT DORA, FLORIDA 32757
 TEL: 1-407-448-3412
 FAX: 1-952-393-2537

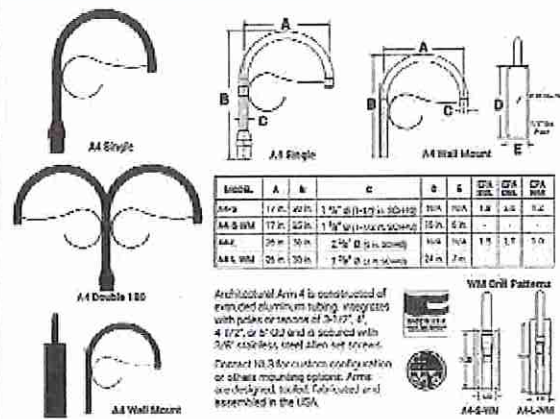
PHOTOMETRIC PLAN

GREATER FAITH WORLD CENTER, INC.
 (FKA CENTER OF FAITH CHURCH, INC.)
 PARCEL ID #04-21-28-0000-00-027
 APOPKA, FLORIDA

DRAWING NO:
30
 JOB NO. 17100

11/26/18

NLS LIGHTING ARCHITECTURAL ARM 4 ARMS



Model	A	B	C	D	E	G1A	G1B	G1C	G1D	G1E
A1 Single	11.4"	40.0"	1.5" x 6" (1.19" to 3.94")	20.4"	10.4"	1.8"	2.8"	3.4"		
A1 Double	17.4"	32.0"	1.5" x 6" (1.19" to 3.94")	32.4"	8.4"					
A1 Wall Mount	20.0"	20.0"	2.5" x 6" (2.19" to 3.94")	16.4"	10.4"	1.8"	1.7"	1.9"		

Architectural Arm 4 is constructed of extruded aluminum tubing integrated with potter ceramic of 3.17", 4", 4.72", or 5" OD and is secured with 3/16" stainless steel Allen set screws. Connect to 3.5" or custom configuration or other mounting options. Arms are designed, built, fabricated and assembled in the USA.

NLS LIGHTING CALIFORNIA SITE • ARCHITECTURAL LIGHTING

The beautiful and simple California Series LED Pedestal Luminaire depicts not only the California lifestyle, but the architecture of California itself. This minimalist luminaire is a beautiful light to use in a park, or campus setting.

The different regional styles in different California styles and a touch of California's historic Spanish mission era. The California Series is the perfect solution for aesthetic lighting design and efficiency in light performance. Designed, tested, manufactured and assembled in the USA.



STAR POWER OPTICAL SYSTEM
NLS Star Power is a revolutionary optical system which provides great value and performance.

Project Name	City	Type	Specs	Notes
California Ave	San Jose	Public	...	...
...

PRODUCT SPECIFICATIONS

Message: easy, Curly Metal Grade Cast and Spun Aluminum with 2 Photo options and 11 LED options.

PRODUCT DIMENSIONS

TOPS

TOP #	Color	Material	Weight	Diameter	Height
TOP 1	Black	Aluminum	...	...	...
TOP 2	White	Aluminum	...	...	...

SHADES

SHADE 1, SHADE 2, SHADE 3, SHADE 4, SHADE 5, SHADE 6, SHADE 7, SHADE 8

USA LIGHTING

D-Series Size 1 LED Wall Luminaire

Specifications Luminaire

Width: 16.4", Height: 12.0", Depth: 4.1"

Specifications Luminaire

Width: 16.4", Height: 12.0", Depth: 4.1"

Ordering Information

Item No.	Part No.	Description	Color
1000	DSW1	Size 1 D-Series Luminaire	Black
1001	...	...	...

Accessories

DSW1-LED-D-Series-Size-1-LED-Wall-Luminaire

CONFIRMATION DATA

Model	Beam Angle	Lumen Output	Beam Diameter	Beam Spread	Beam Length	Beam Width	Beam Height	Beam Area	Beam Volume	Beam Density	Beam Illuminance	Beam Footcandle	Beam Lux	Beam Foot-Lux	Beam Lux-Foot	Beam Lux-Meter
...

LITHONIA LIGHTING

Performance Data

Relative Humidity Multiplier

Operational Load

Temp	Humidity	Load	Multiplier
...

Optical Diagram

Options and Accessories

Features & Specifications

...

LITHONIA LIGHTING

PHOTOMETRIC PLAN CUT SHEETS

18 HOURS BEFORE DIGGING CALL TOLL FREE 1-800-432-4770

Kenneth H. Ehlers, P.E.
Professional Engineer
No. 18243
State of Florida

NO.	REVISION	DATE
1		
2		
3		
4		
5		

KENNETH H. EHLERS, P.E.
CONSULTING ENGINEER
6034 FALCONBRIDGE PLACE
MOUNT DORA, FLORIDA 32757
TEL 1-407-446-3412
Fax: 1-850-985-2557

PHOTOMETRIC PLAN CUT SHEETS

GREATER FAITH WORLD CENTER, INC.
(FKA CENTER OF FAITH CHURCH, INC.)
PARCEL ID #04-21-28-0000-00-027
APOPKA, FLORIDA

DRAWING NO. **31**
JOB NO. 17100

NO.	REVISION	DATE
1		
2		
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4		
5		
6		
7		

LDN4

PHOTOMETRY

Photometric Curve **Distribution Data** **Output Data** **Coefficient of Utilization** **Dimensions Data at 10' Above Floor for a Single Luminaire**

LDN4 35/10 LDN4R, Input watts: 12.45, delivered lumens: 1425, LMW = 82.71, spacing criterion at 0 = LSA, test no. EP 20712P1

Beam Angle	Beam Diameter	Beam Area	Beam Area Factor	Beam Area Multiplier	Beam Area Multiplier	Beam Area Multiplier	Beam Area Multiplier	Beam Area Multiplier	Beam Area Multiplier	Beam Area Multiplier
0	0.00	0.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
10	0.35	0.38	1.15	1.15	1.15	1.15	1.15	1.15	1.15	1.15
20	1.41	1.57	1.57	1.57	1.57	1.57	1.57	1.57	1.57	1.57
30	3.14	3.46	2.00	2.00	2.00	2.00	2.00	2.00	2.00	2.00
40	5.03	5.50	2.31	2.31	2.31	2.31	2.31	2.31	2.31	2.31
50	7.07	7.70	2.50	2.50	2.50	2.50	2.50	2.50	2.50	2.50
60	9.16	10.00	2.59	2.59	2.59	2.59	2.59	2.59	2.59	2.59
70	11.31	12.37	2.59	2.59	2.59	2.59	2.59	2.59	2.59	2.59
80	13.51	15.14	2.50	2.50	2.50	2.50	2.50	2.50	2.50	2.50
90	15.71	18.32	2.31	2.31	2.31	2.31	2.31	2.31	2.31	2.31
100	17.91	21.90	2.00	2.00	2.00	2.00	2.00	2.00	2.00	2.00
110	20.11	25.87	1.57	1.57	1.57	1.57	1.57	1.57	1.57	1.57
120	22.31	30.24	1.15	1.15	1.15	1.15	1.15	1.15	1.15	1.15
130	24.51	35.01	0.71	0.71	0.71	0.71	0.71	0.71	0.71	0.71
140	26.71	40.18	0.38	0.38	0.38	0.38	0.38	0.38	0.38	0.38
150	28.91	45.75	0.15	0.15	0.15	0.15	0.15	0.15	0.15	0.15
160	31.11	51.72	0.08	0.08	0.08	0.08	0.08	0.08	0.08	0.08
170	33.31	58.09	0.04	0.04	0.04	0.04	0.04	0.04	0.04	0.04
180	35.51	64.86	0.02	0.02	0.02	0.02	0.02	0.02	0.02	0.02

LDN4 35/15 LDN4R, Input watts: 20.44, delivered lumens: 1442, LMW = 70.63, spacing criterion at 0 = LSA, test no. EP 20712P2

LDN4 35/20 LDN4R, Input watts: 27.43, delivered lumens: 1915, LMW = 68.42, spacing criterion at 0 = LSA, test no. EP 20712P3

LITHONIA LIGHTING

LDN4

LDN4 35/10 LDN4R, Input watts: 12.45, delivered lumens: 1425, LMW = 82.71, spacing criterion at 0 = LSA, test no. EP 20712P1

LDN4 35/15 LDN4R, Input watts: 20.44, delivered lumens: 1442, LMW = 70.63, spacing criterion at 0 = LSA, test no. EP 20712P2

LDN4 35/20 LDN4R, Input watts: 27.43, delivered lumens: 1915, LMW = 68.42, spacing criterion at 0 = LSA, test no. EP 20712P3

LITHONIA LIGHTING

LDN4

ADDITIONAL DATA

DESCRIPTION	DETAIL	FIELD NOTES
1. Luminaire	LDN4 35/10 LDN4R	
2. Luminaire	LDN4 35/15 LDN4R	
3. Luminaire	LDN4 35/20 LDN4R	

LITHONIA LIGHTING

LDN4

FEATURES & SPECIFICATIONS

FEATURES

- 100% recyclable luminaire housing, made from recycled plastic.
- **CONSTRUCTION** - Fabricated and assembly tested, flame-retardant and tested for fire safety.
- **FINISH** - Powder coated with a durable, UV resistant finish.
- **INSTALLATION** - Easy to install and maintain.
- **OPERATION** - Long life expectancy.
- **SAFETY** - No hot surfaces.
- **ENVIRONMENTAL** - No mercury or other hazardous materials.
- **WARRANTY** - 5 year limited warranty.

PHOTOMETRIC DATA

Beam Angle	Beam Diameter	Beam Area	Beam Area Factor	Beam Area Multiplier	Beam Area Multiplier	Beam Area Multiplier	Beam Area Multiplier	Beam Area Multiplier	Beam Area Multiplier	Beam Area Multiplier
0	0.00	0.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
10	0.35	0.38	1.15	1.15	1.15	1.15	1.15	1.15	1.15	1.15
20	1.41	1.57	1.57	1.57	1.57	1.57	1.57	1.57	1.57	1.57
30	3.14	3.46	2.00	2.00	2.00	2.00	2.00	2.00	2.00	2.00
40	5.03	5.50	2.31	2.31	2.31	2.31	2.31	2.31	2.31	2.31
50	7.07	7.70	2.50	2.50	2.50	2.50	2.50	2.50	2.50	2.50
60	9.16	10.00	2.59	2.59	2.59	2.59	2.59	2.59	2.59	2.59
70	11.31	12.37	2.59	2.59	2.59	2.59	2.59	2.59	2.59	2.59
80	13.51	15.14	2.50	2.50	2.50	2.50	2.50	2.50	2.50	2.50
90	15.71	18.32	2.31	2.31	2.31	2.31	2.31	2.31	2.31	2.31
100	17.91	21.90	2.00	2.00	2.00	2.00	2.00	2.00	2.00	2.00
110	20.11	25.87	1.57	1.57	1.57	1.57	1.57	1.57	1.57	1.57
120	22.31	30.24	1.15	1.15	1.15	1.15	1.15	1.15	1.15	1.15
130	24.51	35.01	0.71	0.71	0.71	0.71	0.71	0.71	0.71	0.71
140	26.71	40.18	0.38	0.38	0.38	0.38	0.38	0.38	0.38	0.38
150	28.91	45.75	0.15	0.15	0.15	0.15	0.15	0.15	0.15	0.15
160	31.11	51.72	0.08	0.08	0.08	0.08	0.08	0.08	0.08	0.08
170	33.31	58.09	0.04	0.04	0.04	0.04	0.04	0.04	0.04	0.04
180	35.51	64.86	0.02	0.02	0.02	0.02	0.02	0.02	0.02	0.02

LITHONIA LIGHTING

RTA

RTA20D6BE

RTA20D6BE

LITHONIA LIGHTING

KENNETH H. EHLERS, P.E.
CONSULTING ENGINEER
6034 FALCONBRIDGE PLACE
MOUNT DORA, FLORIDA 32757
TEL 1-407-448-8412
Fax 1-352-393-2537

**PHOTOMETRIC PLAN
CUT SHEETS**

**GREATER FAITH WORLD CENTER, INC.
(FKA CENTER OF FAITH CHURCH, INC.)**
PARCEL ID #04-21-28-0000-00-027
APOPKA, FLORIDA

DRAWING NO.
32
JOB NO. 17100

**PHOTOMETRIC PLAN
CUT SHEETS**

48 HOURS BEFORE ORDERING
CALL TOLL FREE
1-800-432-4770
DUNBAR STATE ONE CALL
OF FLORIDA, INC.

Kenneth H. Ehlers
Professional Engineer
No. 15848
State of Florida

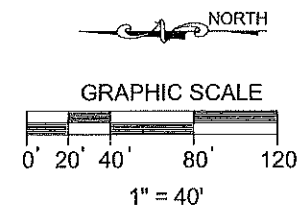
11/26/18

LANDSCAPE NOTES:

1. ALL PLANT MATERIAL SHALL BE FLORIDA NO 1 GRADE OR BETTER AS ESTABLISHED IN THE LATEST PUBLICATION BY THE STATE OF FLORIDA DEPARTMENT OF AGRICULTURE, GRADES, AND STANDARDS FOR NURSERY PLANT MATERIALS, FLORIDA. ALL LANDSCAPING SHALL BE INSTALLED ACCORDING TO ACCEPTED PLANT COMMERCIAL PLANTING PROCEDURES. THE PLANTING HOLE SHALL BE 10% MORE SHALLOW THAN THE ROOT BALL DEPTH SO THAT THE TRUNK FLARE (TAPER) IS VISIBLE ABOVE GRADE. MULCH MUST NOT BE PLACED AT TAPER AND MUST BE SET BACK APPROXIMATELY 12 TO 18 INCHES FROM TRUNK. SHADE TREES SHALL BE A MINIMUM OF EIGHT AND ONE HALF (8 1/2) FEET HIGH AND TWO AND ONE HALF (2 1/2) INCH CALIPER.
2. THE ARCHITECT OR ENGINEER WILL TAG ALL MATERIAL IF REQUESTED BY THE OWNER.
3. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A MINIMUM OF NINETY (90) DAYS.
4. ALL SODDED AREAS MARKED ON THE PLANS SHALL BE ROLLED TO INSURE AN EVEN LOOK.
5. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINISHED GRADING AND ANY SHAPING OR PRUNING OF MATERIALS SPECIFIED ON THE PLANS.
6. LANDSCAPE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES IN FIELD CONDITIONS.
7. ALL PLANT MATERIALS SHALL SURVIVE ALL CLIMATIC CONDITIONS OF THE AREA.
8. BID SHALL BE ON A UNIT BASIS AND SHALL BE SUBMITTED TO THE ARCHITECT PRIOR TO INSTALLATION.

LANDSCAPING REQUIREMENTS:

1. LAUREL OAK (QUERCUS); EIGHT (8) TALL AND 2 1/2" DIA. (DBH) AT PLANTING.
2. DAHOON HOLLIES (ILEX CASSINE), EIGHT (8) TALL AND 3" DIA. (DBH) AT PLANTING.
3. LAGERSTROEMIA INDICA (CREPE MYRTLE); EIGHT (8) TALL AND 2 1/2" DIA. (DBH) AT PLANTING.
4. LIGUSTRUM HEDGE (JAPONIUM); 36" TALL AT PLANTING MEASURED FROM THE PARKING. MAINTAIN MAXIMUM HEIGHT OF 42". PLANT SPACING SHALL BE NO MORE THAN FORTY-TWO (42) INCHES ON CENTER. USE THREE (3) GALLON CONTAINERS.
5. JUNIPERUS PROCUMBENS (CREEPING JUNIPER); 12"x12" HT. AND 24" ON CENTER AT PLANTING.
6. ARGENTINA BAHIA SOD.
7. EXISTING OFF-SITE 36" HIGH CONTINUOUS VIBURNUM HEDGE ALONG EAST PROPERTY LINE.



TREE CHART

- 53 - 24" OAK (DISEASED AND REMOVED)
- 54 - 8" OAK
- 56 - 15" PALM
- 57 - 15" OAK
- 58 - 15" PALM
- 59 - 15" OAK
- 60 - 15" OAK
- 61 - 20" OAK
- 62 - 3-18" OAK
- 64 - 3-7" OAK
- 65 - 10" CHERRY LAUREL
- 66 - 30" OAK
- 68 - 10" HICKORY
- 69 - 24" HICKORY (DISEASED AND REMOVED)
- 70 - 32" OAK (DISEASED AND REMOVED)
- 71 - 32" OAK
- 72 - 30" OAK
- 73 - 8" OAK
- 74 - 14" PALM
- 75 - 14" PALM
- 78 - 13" CEDAR
- 79 - 14" HICKORY
- 80 - 16" PALM
- 82 - 24" OAK
- 83 - 10" OAK
- 84 - 10" CHERRY LAUREL
- 85 - 7" HICKORY
- 86 - 9" HICKORY
- 87 - 2-25" OAK
- 88 - 18" PALM
- 89 - 15" PALM
- 90 - 3-6" CHERRY LAUREL
- 95 - 30" OAK
- 99 - 14" OAK
- 100 - 12" PALM
- 101 - 20" OAK
- 102 - 19" OAK
- 103 - 30" OAK
- 113 - 2-7" MAGNOLIA
- 114 - 14" CAMPHOR
- 115 - 36" OAK
- 116 - 6" OAK
- 117 - 12" OAK
- 118 - 15" PALM
- 119 - 12" OAK
- 120 - 6" CHERRY
- 121 - 20" PALM
- 122 - 9" OAK
- 123 - 18" OAK
- 124 - 14" PINE
- 125 - 2-10" OAK
- 126 - 12" PINE
- 127 - 12" PINE
- 128 - 15" PINE
- 129 - 3-12" OAK
- 130 - 18" PINE
- 137 - 11" OAK
- 138 - 12" PINE
- 139 - 20" PINE
- 140 - 9" CHERRY
- 143 - 15" PALM
- 144 - 12" PALM
- 145 - 20" PINE
- 146 - 18" PINE
- 147 - 3-12" PINE
- 148 - 2-7" CHINA
- 149 - 14" PINE
- 150 - 20" PINE
- 151 - 9" CHINA
- 152 - 12" PINE
- 153 - 5-8" CAMPHOR
- 154 - 15" PINE
- 155 - 12" PALM
- 156 - 20" PINE
- 157 - 9" CHERRY LAUREL
- 158 - 12" HICKORY
- 159 - 15" PALM
- 160 - 23" OAK
- 162 - 15" CHERRY
- 163 - 24" OAK
- 168 - 15" PALM
- 169 - 15" PALM
- 170 - 38" OAK
- 171 - 15" PALM

TREE SURVEY

EXISTING	REMOVED	PRESERVED
MAGNOLIAS	MAGNOLIAS	MAGNOLIAS
2 - 7" = 14"	2 - 7" = 14"	
OAKS	OAKS	OAKS
1 - 6" = 6"	1 - 6" = 6"	
3 - 7" = 21"	3 - 7" = 21"	
2 - 8" = 16"	2 - 8" = 16"	
1 - 9" = 9"		2 - 8" = 16"
3 - 10" = 30"	3 - 10" = 30"	1 - 9" = 9"
1 - 11" = 11"		1 - 11" = 11"
5 - 12" = 60"		5 - 12" = 60"
3 - 14" = 42"	3 - 14" = 42"	
3 - 15" = 45"	1 - 15" = 15"	2 - 15" = 30"
4 - 18" = 72"	2 - 18" = 36"	2 - 18" = 36"
1 - 19" = 19"		1 - 19" = 19"
2 - 20" = 40"		2 - 20" = 40"
1 - 23" = 23"		1 - 23" = 23"
3 - 24" = 72"	3 - 24" = 72"	
2 - 25" = 50"		2 - 25" = 50"
3 - 30" = 90"		2 - 30" = 60"
2 - 32" = 64"		1 - 30" = 30"
2 - 36" = 72"	1 - 36" = 36"	2 - 32" = 64"
1 - 38" = 38"		1 - 36" = 36"
PINES	PINES	PINES
7 - 12" = 84"		7 - 12" = 84"
1 - 14" = 14"		1 - 14" = 14"
1 - 15" = 15"		1 - 15" = 15"
2 - 18" = 36"		2 - 18" = 36"
4 - 20" = 80"		4 - 20" = 80"
HICKORY	HICKORY	HICKORY
1 - 7" = 7"	1 - 7" = 7"	
1 - 9" = 9"	1 - 9" = 9"	
1 - 10" = 10"		1 - 10" = 10"
2 - 12" = 24"	2 - 12" = 24"	
2 - 14" = 28"	1 - 14" = 14"	1 - 14" = 14"
1 - 24" = 24"		1 - 24" = 24"
PALMS	PALMS	PALMS
3 - 12" = 36"		3 - 12" = 36"
2 - 14" = 28"	2 - 14" = 28"	
8 - 15" = 120"	1 - 15" = 15"	7 - 15" = 105"
1 - 18" = 18"		1 - 16" = 16"
1 - 18" = 18"		1 - 18" = 18"
1 - 20" = 20"		1 - 20" = 20"
CHERRY	CHERRY	CHERRY
4 - 6" = 24"	3 - 6" = 18"	1 - 6" = 6"
2 - 9" = 18"		2 - 9" = 18"
2 - 10" = 20"	2 - 10" = 20"	
1 - 15" = 15"		1 - 15" = 15"
TOTAL = 1,440"	TOTAL = 540"	TOTAL = 900"

TREE TABLE

TOTAL TREE INCHES ON CURRENT (NON-ALTERED) SITE = 1,440".

TOTAL TREE INCHES TO BE REMOVED = 540".

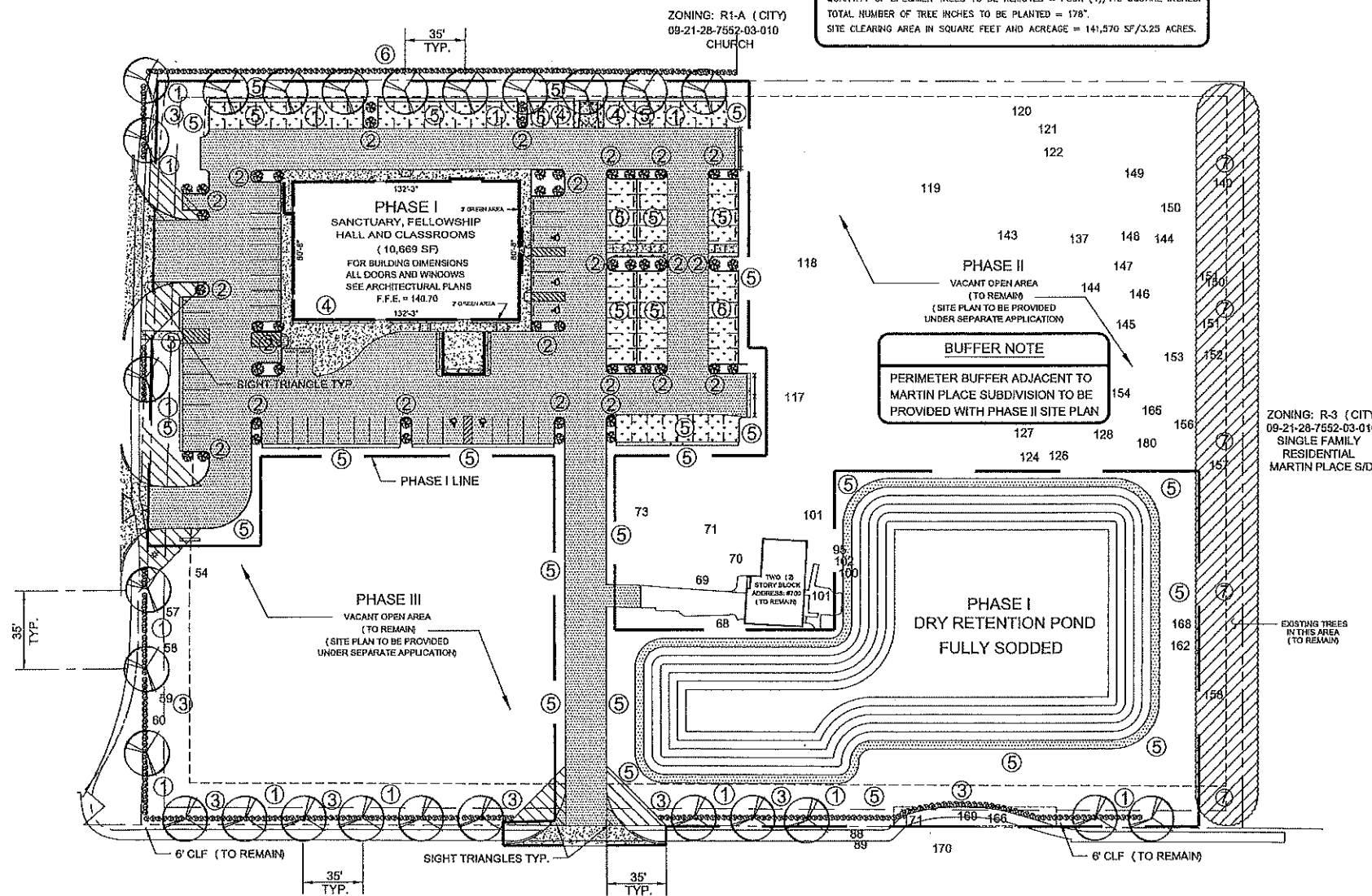
QUANTITY OF SPECIMEN TREES TO BE REMOVED = FOUR (4)/110 SQUARE INCHES.

TOTAL NUMBER OF TREE INCHES TO BE PLANTED = 178".

SITE CLEARING AREA IN SQUARE FEET AND ACREAGE = 141,570 SF/3.25 ACRES.

BUFFER NOTE

PERIMETER BUFFER ADJACENT TO MARTIN PLACE SUBDIVISION TO BE PROVIDED WITH PHASE II SITE PLAN



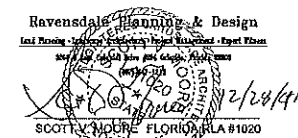
LANDSCAPING PLAN

ZONING: R-3 (CITY)
 09-21-28-7552-03-010
 SINGLE FAMILY RESIDENTIAL
 PARKSIDE AT ERROL ESTATE PH.3
 VICK ROAD (COLLECTOR ROAD)
 CITY OF APOPKA JURISDICTION
 35 MPH (POSTED) AND 80' R/W

NOTES:

1. CONTRACTOR TO REMOVE FOUR (4) SPECIMEN TREES FOR A TOTAL OF 110 SQUARE INCHES.
2. CONTRACTOR TO USE DRIP IRRIGATION TO ESTABLISH NEW CANOPY TREES.
3. ALL PROPOSED TREES ARE DIAMETER BREAST HEIGHT (DBH) ARE MEASURED AT 54" ABOVE THE SOIL.
4. ALL EQUIPMENT INCLUDING ROOF TOP, WATER MAINS, LIFT STATION, BACKFLOW PREVENTERS, FIRE DEPARTMENT CONNECTION, AND UTILITY BOXES, ETC. WILL BE FULLY SCREENED. THIS INCLUDES THE BACK OF THE BUILDING.
5. THREE (3) SPECIMEN TREES 63, 69 AND 70 WERE DISEASED AND REMOVED BY THE OWNER.
6. ALL DISTURBED AREAS TO BE SODDED.

48 HOURS BEFORE DIGGING
 CALL TOLL FREE
 1-800-432-4770
 SAVING STATE ONE CALL
 OF FLORIDA, INC.



NO.	REVISION	DATE
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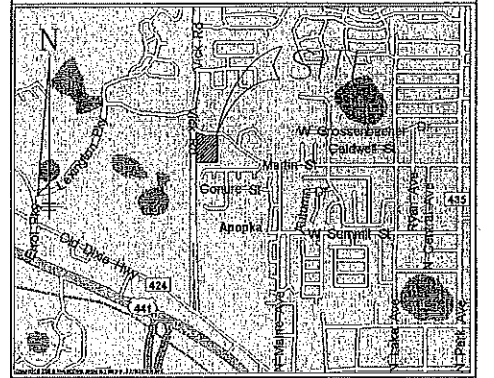
KENNETH H. EHLERS, P.E.
 CONSULTING ENGINEER
 6034 FALCONBRIDGE PLACE
 MOUNT DORA, FLORIDA 32757
 TEL: 1-407-448-3412
 FAX: 1-352-388-2537

LANDSCAPING PLAN

GREATER FAITH WORLD CENTER, INC.
 (FKA CENTER OF FAITH CHURCH, INC.)

PLAT OF SURVEY

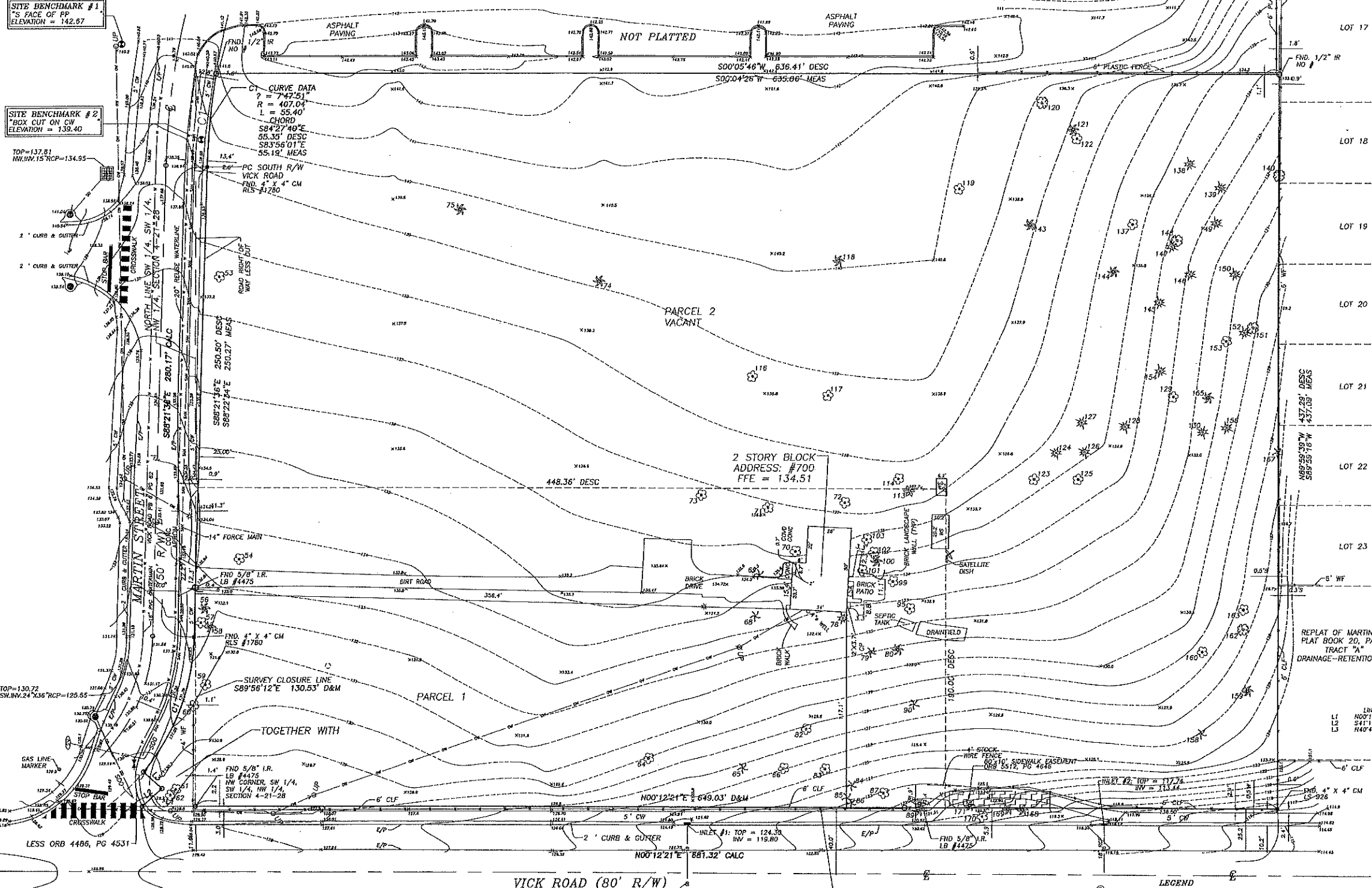
VICINITY MAP N.T.S.



SITE BENCHMARK #1
"S" FACE OF PP
ELEVATION = 142.67

SITE BENCHMARK #2
"BOX CUT ON CW"
ELEVATION = 139.40

TOP = 137.81
NW 1/4 SW 1/4 R/W = 134.95



DESCRIPTION
PARCEL 1: THE NORTH 450 FEET OF THE WEST 190 FEET OF THE SOUTHWEST 1/4 OF SECTION 4, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, LESS ROAD RIGHT OF WAY.
PARCEL 2: THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 4, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY FLORIDA, LESS THE NORTH 450 FEET OF THE WEST 190 FEET AND LESS THE EAST 228 FEET, AND LESS ROAD RIGHT OF WAY.

TOGETHER WITH: (ORB 8228, PG 767)
THAT POINT OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 4, TOWNSHIP 21 SOUTH, RANGE 28 EAST, LYING SOUTHWESTERLY OF VICK ROAD, ORANGE COUNTY, FLORIDA.
CONTAINS 283,381 SQUARE FEET OR 6.506 ACRES MORE OR LESS.

- NOTES:**
1. BEARING STRUCTURE BASED ON: THE NORTH R/W OF VICK ROAD BEING: N 0°12'21" E
 2. THIS SURVEY REFLECTS ONLY MATTERS OF RECORD AS PROVIDED BY THE CLIENT OR CLIENTS REPRESENTATIVE.
 3. THIS SURVEY WAS MADE ON THE GROUND. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
 4. THIS SITE IS NOT IN A FLOOD PRONE AREA, IT IS IN ZONE X, AN AREA OF MINIMAL FLOODING BASED ON FLOOD INSURANCE RATE MAP, PANEL NO. 12017B 0110 E, HAVING AN EFFECTIVE DATE OF 12/08/2008, ORANGE COUNTY, FLORIDA.
 5. ELEVATIONS BASED ON ORANGE COUNTY DATUM, BN #H833006 BEING: 159.16 FEET, (NGVD 29).
 6. ACCORDING TO FLORIDA STATUTES, CHAPTER 472.025, A LAND SURVEYOR SHALL NOT AFFIX HIS SEAL OR NAME TO ANY PLAN OR DRAWING WHICH DEPICTS WORK WHICH HE IS NOT LICENSED TO PERFORM OR WHICH IS BEYOND HIS PROFESSION OR SPECIALTY THEREOF. THEREFORE, WE ARE UNABLE TO CERTIFY AS TO MUNICIPAL ZONING COMPLIANCE, INTERPRETATION OF ZONING CODES OR THE DETERMINATION OF VIOLATIONS THEREOF.
 7. THIS SURVEY MADE WITHOUT BENEFIT OF COMMITMENT FOR TITLE.

TREE CHART
LIVE OAK TREES HAVE BEEN DESIGNATED AS "LIVE OAK". ALL OTHER VARIETIES OF OAK TREES ARE DESIGNATED AS "OAK".

NO.	CENTRAL ANGLE	CURVE RADIUS	CHORD LENGTH	CHORD BEARING	CHORD DISTANCE
L1	N00°22'12"E	32.29'	CALC		
L2	S41°18'40"E	16.20'	CALC		
L3	N40°47'02"E	15.00'	CALC		

BOUNDARY SURVEY DATE: 12-21-10
PER FLORIDA STATUTES 5J-17.003 2D

DATE:	REVISION:	BY:
11/18/11	SHOW SIDEWALK EASEMENT AND ADJOINER'S PARKING	SAH
2/17/11	REVISED BOUNDARY	SAH
1/26/10	IDENTIFY LIVE OAK TREES & RESCALE DRAWING	JB
12-21-10	UPDATE BOUNDARY & ADD ADDITIONAL TOPOGRAPHY	GLT

BOUNDARY & TOPOGRAPHIC SURVEY

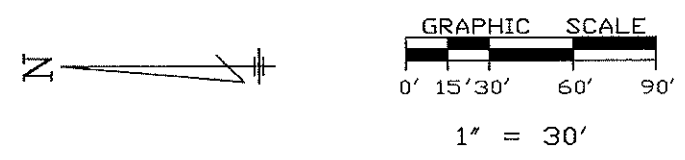
SCALE: 1" = 30'
FIELD DATE: 3/17/05
PREPARED FOR: CENTER OF FAITH CHURCH
LOCATION: N. VICK ROAD AND W. MARTIN STREET APOPKA, FLORIDA
FILE NUMBER: 4-21-28

APPROVED BY: [Signature]
DRAWN BY: ML

ACCURIGHT SURVEYS
of Orlando Inc., LB 4475
2012 E. Robinson St.
Orlando, Florida 32803
PHONE (407) 894-6314 FAX (407) 897-3777

THIS SURVEY MEETS THE "MINIMUM TECHNICAL STANDARDS" AS REQUIRED BY CHAPTER 5J-17, FLORIDA BOARD OF LAND SURVEYORS, PURSUANT TO SECTION 472.027 OF THE FLORIDA STATUTES.

JAMES D. BRAY PSM 6507
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF THIS FLORIDA LICENSED SURVEYOR AND MAPPER.



LEGEND

CO - AIR RELEASE VALVE	DO - DOT INLET	MO - INTERIOR END SECTION	SO - SANITARY MANHOLE
EM - AIR EXHAUSTER	DP - DUMPSTER PAD	MA - MANTISSA WELL	SW - SANITARY LINE
BB - BOTTOM OF BANK	EB - EROSION	MB - METEORIC BOLT	SW00 - SANITARY LINE
BC - BACK OF CURB	EW - ELECTRIC WIRE	MOB - METEORIC BOLT	SP - SPOT ELEVATION
BD - BACKLAP PREVENTER	ED - ELECTRICAL BOX	MOB - METEORIC BOLT	SR - STORM DRAIN LINE
BLK - BLOCK	EMT - EARTHQUAKE	MS - METEORIC BOLT	ST - STORM MANHOLE
BO - BOUNDARY	EP - EDGE OF PAVEMENT	MS - METEORIC BOLT	ST00 - STORM MANHOLE
BP - BRICK PATIO	FA - FLOOD INSURANCE	MS - METEORIC BOLT	ST10 - STORM MANHOLE
BR - BRICK	FC - FLOOD INSURANCE	MS - METEORIC BOLT	ST20 - STORM MANHOLE
BRK - BRICK	FE - FLOOD INSURANCE	MS - METEORIC BOLT	ST30 - STORM MANHOLE
BRK - BRICK	FE - FLOOD INSURANCE	MS - METEORIC BOLT	ST40 - STORM MANHOLE
BRK - BRICK	FE - FLOOD INSURANCE	MS - METEORIC BOLT	ST50 - STORM MANHOLE



NORTH

NO.	REVISION	DATE
1		
2		
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4		
5		
6		
7		

KENNETH H. EHLERS, P.E.
 CONSULTING ENGINEER
 6034 FALCONBRIDGE PLACE
 MOUNT DORA, FLORIDA 32757
 TEL 1-407-448-3412
 Fax 1-352-383-2537

AERIAL PHOTO

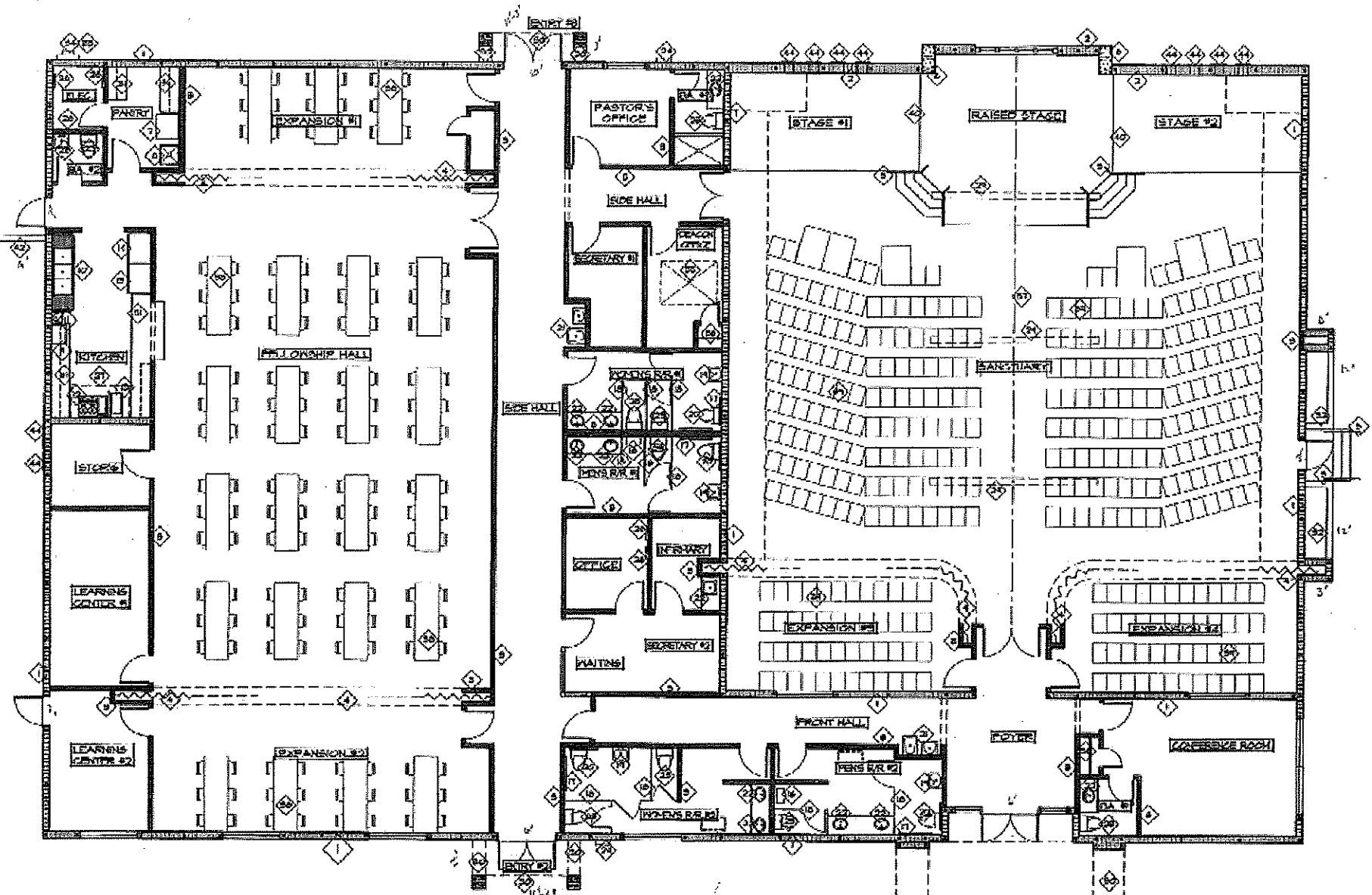
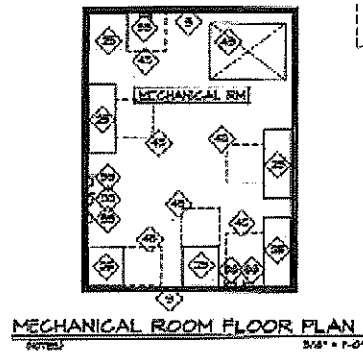
GREATER FAITH WORLD CENTER, INC.
(FKA CENTER OF FAITH CHURCH, INC.)
 PARCEL ID #04-21-28-0000-00-027
 APOPKA, FLORIDA

DRAWING NO.

36

JOB NO. 17100

AERIAL PHOTO TAKEN FRIDAY 12/01/17



FLOOR PLAN REFERENCE NOTES (SEE SHEETS A1.3, A1.4 FOR DOORS AND WINDOWS)

1 8' x 8' x 16' G.M.U. WALLS IV FILLED CELLS (SEE STRUCTURAL DRAWINGS)	16 ADA URINAL	31 86" HIGH COUNTER TOP
2 12' x 8' x 16' G.M.U. WALLS IV FILLED CELLS (SEE STRUCTURAL DRAWINGS)	17 ADA GRAB BARS	32 PLANTER 36" HIGH ABOVE SToop
3 METAL STD FRAME PARTITION	18 RESTROOM PRIVACY STALL PARTITIONS	33 DISCONNECT
4 POCKET CONCEALED CURTAIN ROOM PARTITION	19 ADA WALL MOUNT LAVATORY	34 ELECTRIC METER
5 CONCRETE STEPS AND STAIR HANDRAIL	20 ADA WATER CLOSET	35 12" x 48" ALUM. FLOOR DOOR AT TIC ACC. TO MECHANICAL RM
6 FORKED AND POURED COLUMN INTEGRAL TO ADJACENT HALL (SEE STRUCTURAL)	21 H-LO DRINKING FOUNTAINS	36 CLOTHES HANGER ROD 1 SHELF
7 STACKED PACKER / DRYER	22 LAVATORY IN 86" HIGH COUNTERTOP	37 INTERIOR KNOCK
8 HOP SINK	23 WATER CLOSET	38 TABLE AND CHAIRS (30 SEATS)
9 MICROWAVE	24 WATER HEATER	39 ARMLESS ATTACHED CHAIRS (34 SEATS - (6) WHEELCHAIR SPACES)
10 8 - BAY SINK	25 AIR HANDLER UNIT	40 (1) 6" RISER STEP UP TO RAISED STAGE
11 HAND SINK	26 ELEGT. BREAKER PANEL	41 HVAC CONDENSOR UNIT
12 RANGE	27 GREASE EXHAUST HOOD	42 G.M.U. FRV. WALL 45" HIGH ABOVE GRADE
13 DEEP FRYER	28 TYPE "B" 78" GREASE HOOD	43 12" x 48" ALUM. FLOOR DOOR ACCESS TO DEACON OFFICE
14 FREEZER	29 WALL MOUNT LAVATORY	44 FRESH AIR VENT (SEE SHEETS A2.1, M)
15 REFRIGERATOR	30 DECO. STAINED BEAM	45 SERVICE WORK AREA MINIMUM 50' x 50'
		30 DECO. FLAT PORCH BEAM

DATE	REVISED

STRUCTURAL PLAN SERVICE INC.
 100 BOX 9888
 WILMINGTON, DE 19809
 PHONE (302) 518-5774
 FAX (302) 518-0802

STRUCTURAL PLAN SERVICE INC.
 100 BOX 9888
 WILMINGTON, DE 19809
 PHONE (302) 518-5774
 FAX (302) 518-0802

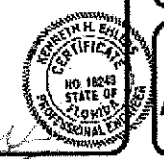
STRUCTURAL PLAN SERVICE INC.
 100 BOX 9888
 WILMINGTON, DE 19809
 PHONE (302) 518-5774
 FAX (302) 518-0802

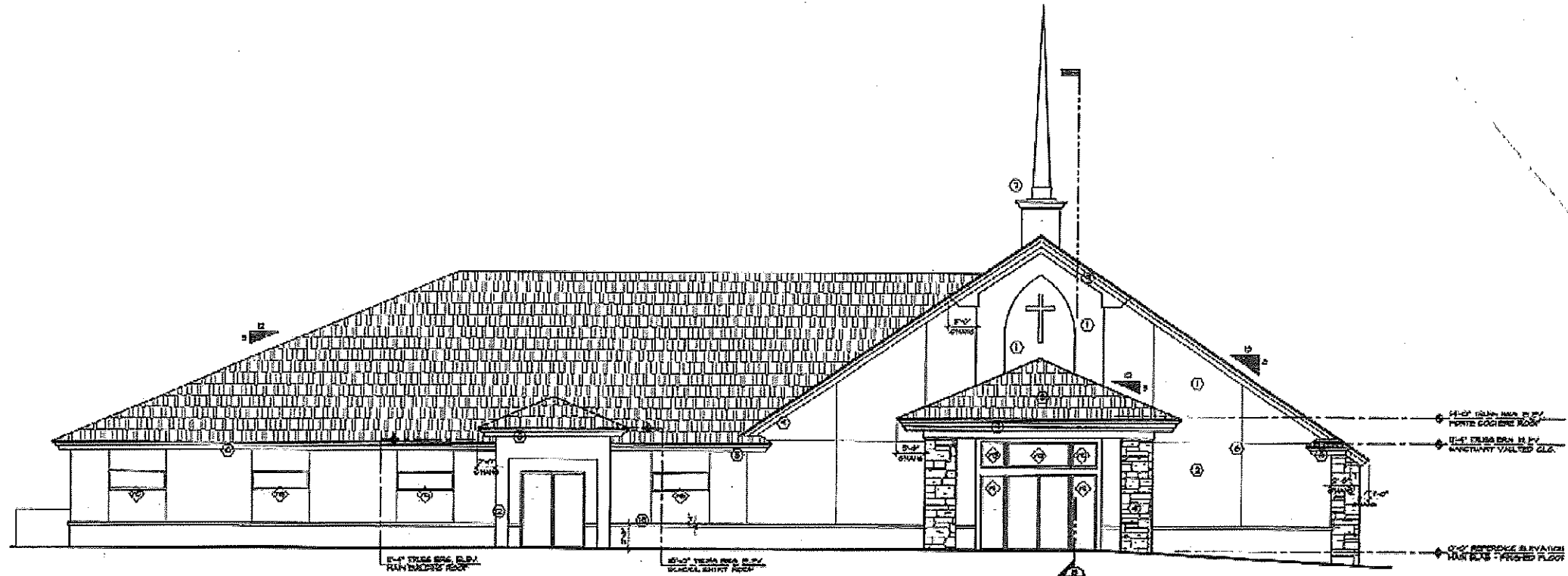
CENTER OF FAITH CHURCH
 700 WEST MARTIN STREET
 APOPKA, FLORIDA 32704

DESIGNED BY	DATE
DRAWN BY	DATE
CHECKED BY	DATE
APPROVED BY	DATE

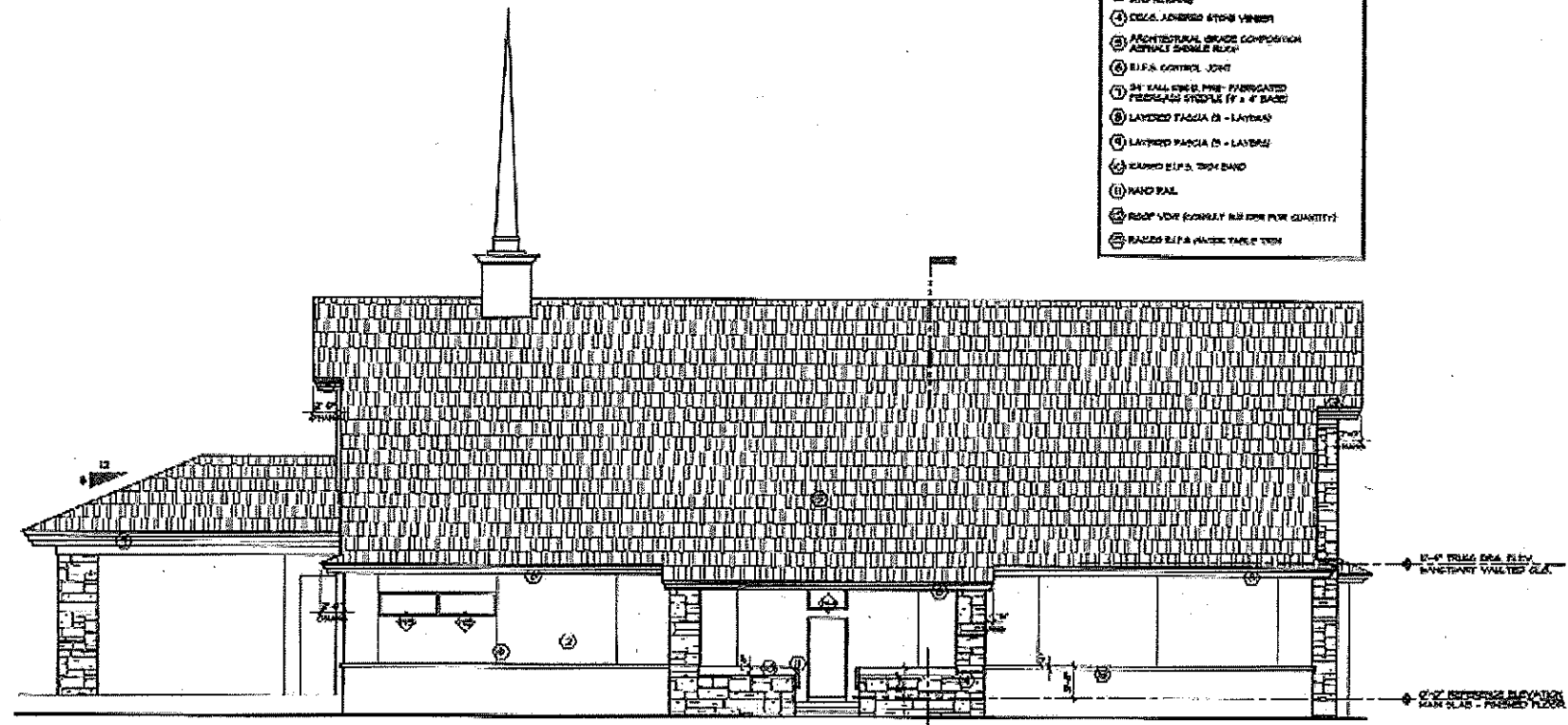
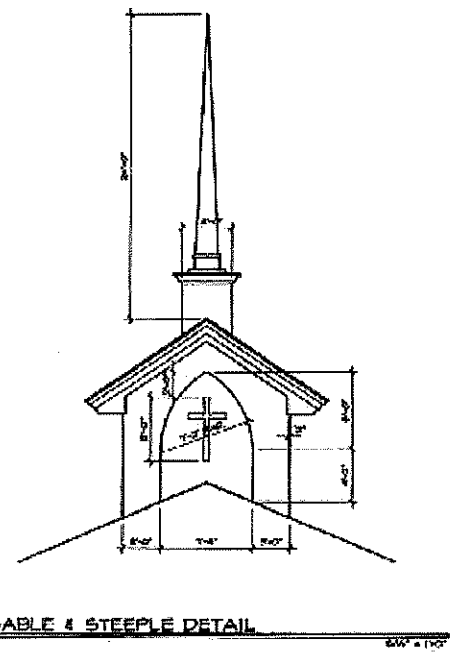
SHEET NO. **A1.1**

B. Ealey
 11/26/18





FRONT ELEVATION
1/8" = 1'-0"



RIGHT SIDE ELEVATION
1/8" = 1'-0"

- ELEVATIONS REFERENCE NOTES**
- ① 3/4" THICK MECHANICALLY FASTENED EIFS OVER FRAMING SYSTEMING BRICKS FASBY
 - ② 3/4" THICK ADHESIVE EIFS OVER CONCRETE EXISTING BRICKS FASBY
 - ③ 1/2" THICK MECHANICALLY FASTENED EIFS OVER CONCRETE AND REINFORCING
 - ④ EIFS ADHESIVE STONE VENEER
 - ⑤ ARCHITECTURAL GRADE COMPOSITION ACTUAL DOUBLE RAKE
 - ⑥ EIFS CONTROL JOINT
 - ⑦ 34" TALL GING PINE PARAGATED FERRUGINA STYPLE (1" x 4" BACK)
 - ⑧ LAYERS FACIA (2 - LAYERS)
 - ⑨ LAYERS FACIA (2 - LAYERS)
 - ⑩ 1/2" THICK EIFS TRIM BAND
 - ⑪ HAND RAIL
 - ⑫ ROOF VENT EQUALS ALL FOR PUR QUANTITY
 - ⑬ RAZED EIFS HANDE TABLE TOP

DATE	REVISION

STRUCTURAL PLAN SERVICE
 I have examined the above
 drawings and find them to
 conform to the approved
 specifications and to the
 requirements of the
 Florida Building Code.
 My examination was limited
 to the structural portions
 of the drawings and I do
 not warrant the accuracy
 of the other portions.
 My services are limited to
 the structural portions of
 the drawings and I do not
 warrant the accuracy of
 the other portions.
 My services are limited to
 the structural portions of
 the drawings and I do not
 warrant the accuracy of
 the other portions.

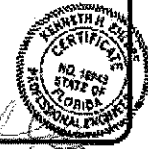
TO THE BEST OF MY KNOWLEDGE AND BELIEF, I AM NOT PROVIDING ANY DESIGN OR CONSTRUCTION SERVICES TO ANY OTHER PARTY.
 I AM NOT PROVIDING ANY DESIGN OR CONSTRUCTION SERVICES TO ANY OTHER PARTY.
 I AM NOT PROVIDING ANY DESIGN OR CONSTRUCTION SERVICES TO ANY OTHER PARTY.
 I AM NOT PROVIDING ANY DESIGN OR CONSTRUCTION SERVICES TO ANY OTHER PARTY.
 I AM NOT PROVIDING ANY DESIGN OR CONSTRUCTION SERVICES TO ANY OTHER PARTY.

STRUCTURAL PLAN SERVICE INC.
 TO BOX 84818
 Maitland, FL 32754
 Phone (407) 320-7764
 Fax (407) 320-5802

STRUCTURAL PLAN SERVICE INC.
 LICENSED PROFESSIONAL ENGINEER

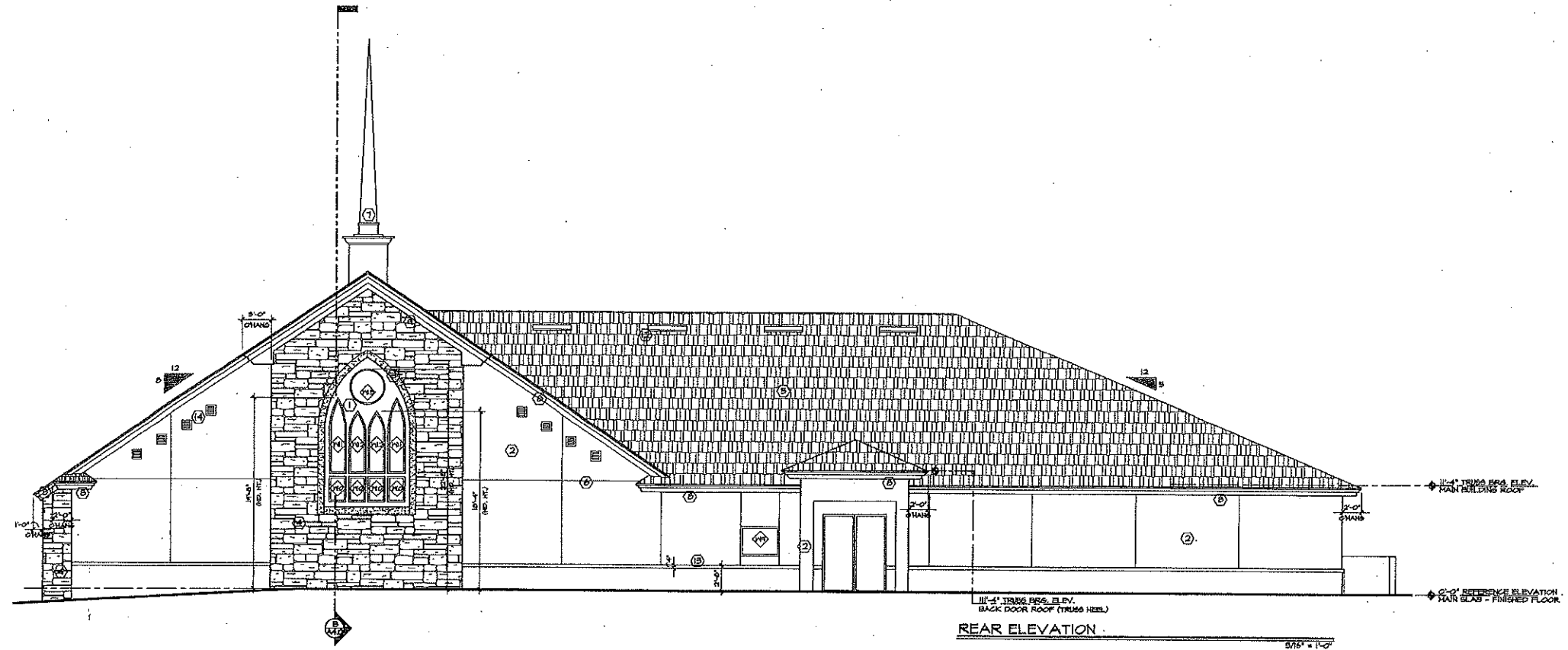
CENTER OF FAITH CHURCH
 700 WEST MARTIN STREET
 APOPKA, FLORIDA 32704

drawn by
 checked by
 date
 notes
 job no.
 4443



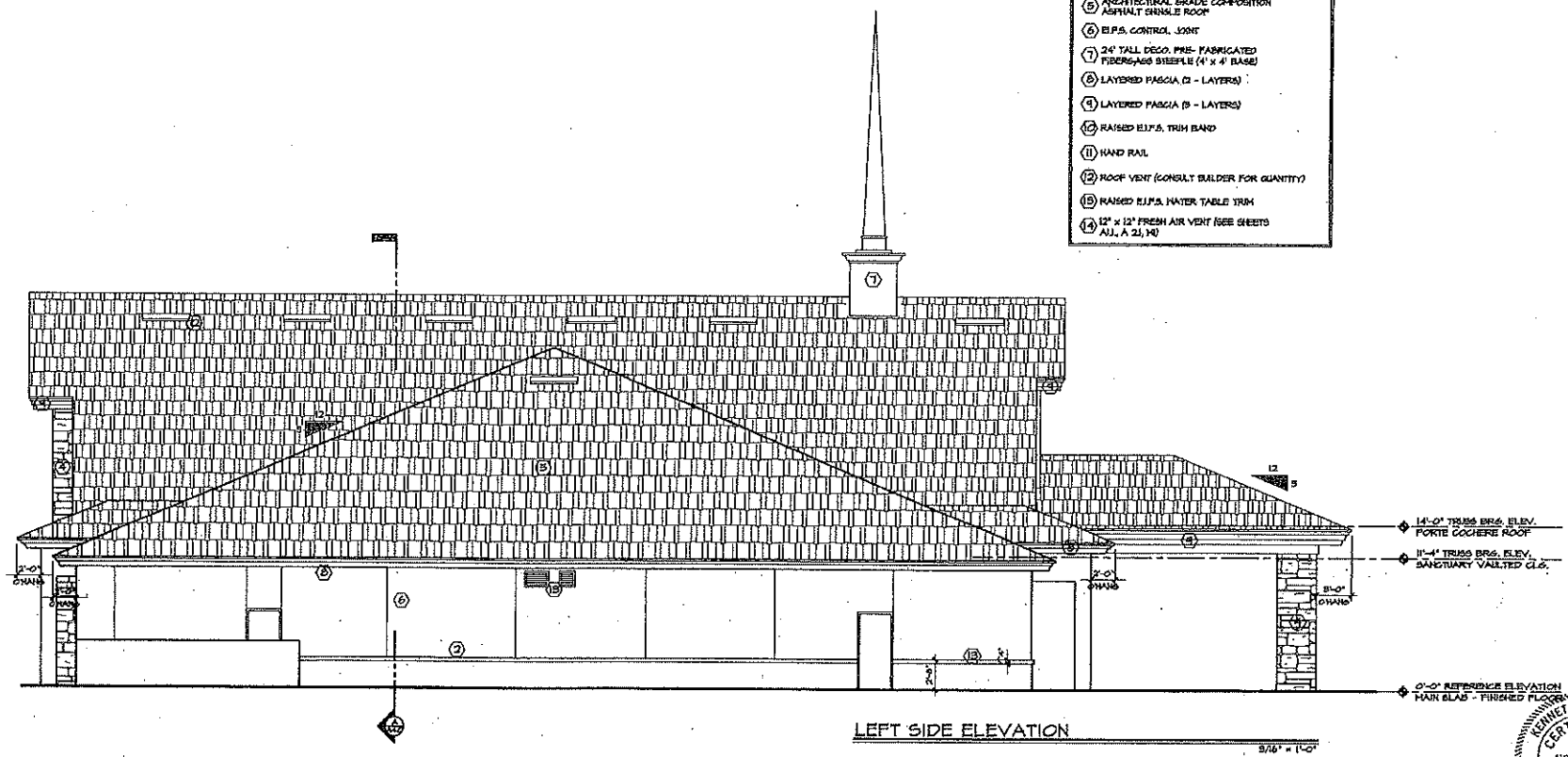
sheet no.
A2.0
 OF 20 SHEETS

D. P. Smith
 1126178



REAR ELEVATION
5/16" = 1'-0"

- ELEVATIONS REFERENCE NOTES**
- ① 3/4" THICK MECHANICALLY FASTENED E.I.P.S. OVER FRAMER (SYNTHETIC STUCCO FINISH)
 - ② 3/4" THICK ADHERED E.I.P.S. OVER CONCRETE (SYNTHETIC STUCCO FINISH)
 - ③ DECO. PRECAST TRIM DWRAP CORNERS INTO REINERS
 - ④ DECO. ADHERED STONE VENEER
 - ⑤ ARCHITECTURAL GRADE COMPOSITION ASPHALT GRANULE ROOF
 - ⑥ E.I.P.S. CONTROL JOINT
 - ⑦ 24" TALL DECO. PRE-FABRICATED FIBERGLASS STEEPLE (4" x 4" BASE)
 - ⑧ LAYERED PASCIA (3 - LAYERS)
 - ⑨ LAYERED PASCIA (2 - LAYERS)
 - ⑩ RAISED E.I.P.S. TRIM BAND
 - ⑪ HAND RAIL
 - ⑫ ROOF VENT (CONSULT BALDUR FOR QUANTITY)
 - ⑬ RAISED E.I.P.S. WATER TABLE TRIM
 - ⑭ 12" x 12" FRESH AIR VENT (SEE SHEETS A.1, A.2, A.3)



LEFT SIDE ELEVATION
5/16" = 1'-0"

date	rev'd

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STRUCTURAL PLAN SERVICE INC.
 PO BOX 84028
 MELHURCH, FL 32784
 Phone (407) 310-7704
 Fax (888) 621-9802

STRUCTURAL PLAN SERVICE INC.
 LICENSED PROFESSIONAL ENGINEER

CENTER OF FAITH CHURCH
 700 WEST MARTIN STREET
 APOPKA, FLORIDA 32704

drawn by
P.C.
 checked by
K.E.
 date
11-14-12
 scale
NOTED
 job no.
4467



sheet no.
A2.1
 OF 26 SHEETS

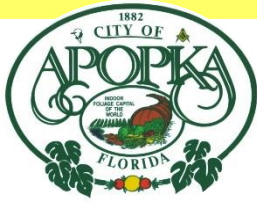
D. Eiler
 112618

CENTER OF FAITH CHURCH
700 WEST MARTIN STREET
APOPKA, FLORIDA 32704

BY
JAN 26 2018



FOR INFO PURPOSES ONLY
NOT FOR CONSTRUCTION



CITY OF APOPKA PLANNING COMMISSION

PUBLIC HEARING
 SITE PLAN
 SPECIAL REPORTS
 OTHER: Plat

MEETING OF: July 10, 2018
FROM: Community Development
EXHIBITS: Vicinity Map
Aerial Map
Plat
Final Development Plan
PUD Master Plan/PDP
FDP/Plat Revision

SUBJECT: PLAT – SAN SEBASTIAN RESERVE

REQUEST: RECOMMEND APPROVAL OF THE PLAT FOR SAN SEBASTIAN RESERVE

SUMMARY:

OWNER(S): A.D Raulerson, Sr. & A.D. Raulerson, Jr.; Curtis and Karen Pumphrey
APPLICANT: Apopka Development II, LLC, c/o Richard C. Wohlfarth, P.E.
LOCATION: North of Lester Road and west of Rock Springs Road
PARCEL NUMBER(S): 28-20-28-0000-00-084; 28-20-28-0000-00-040; 28-20-28-0000-00-077
EXISTING USE: Vacant
ZONING DISTRICT: PUD (Planned Unit Development) Zoning District
MINIMUM LOT WIDTH: 40 feet typical lot width
MINIMUM LOT SIZE: 4,400 square feet
TRACT SIZE: 23.14 +/- acres
PROPOSED DEVELOPMENT: 112 Lots, Detached Single-Family Residences; pool facility; dog park

DISTRIBUTION

Mayor Nelson	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (County)	County Low Density Residential	County R-1AA	Alexandria Place Residential Subdivision
East (County)	County Low Density Residential	County A-1	Vacant\single family homes
South (County)	County Low Medium Density Residential	County MHP	Mobile home park (RSPI MHC LLC)
West (City)	Residential Low (0-5 du\ac)and Residential Very Low Suburban (0-3.5 un\ac)	City R-1 (ZIP), R-1A; County A-1	City stormwater pond; vacant land owned by RSPI MHC LLC

PROJECT SUMMARY: Planning Commission reviewed and recommended approval of the San Sebastian Reserve Preliminary Development Plan PUD Master Plan\ PDP on February 13, 2018. The Planning Commission role is to review the Plat for consistency with the PDP/PUD Master Plan, as the Planning Commission Chair is required to sign the Plat.

The site comprises 23.2 acres, of which, 4.43 acres will be dedicated for recreation space. Residential lots have a minimum lot width of 40 feet and a minimum lot size of 4,400 square feet. The proposed development, San Sebastian Reserve, is a private and gated subdivision of 112 detached, single family homes. All infrastructure, bufferyards, and other common areas will be maintained privately and by the Homeowners' Association.

The HOA will be responsible for maintaining the landscaping and irrigation within the public right-of-way portion of Sebastian Springs Way (Tract RW-1) until the properties on to the north and south side of the road develop, at the City may remove the landscaping or the adjacent property owners can agree to maintain.

The minimum setbacks applicable to this project are:

Setback	Min. Standard
Front*	25'
Side	10'
Rear	20'
Corner	25'

*Front-entry garage must be setback a minimum of 25 feet (per PUD design standards).

ACCESS/TRANSPORTATION: Ingress/egress access points for the development will be via full access Lester Road and to Rock Springs Road (via Sebastian Springs Way.)

SCHOOL CAPACITY REPORT: The applicant is in the process of obtaining an executed school Concurrency Mitigation Agreement (CMA) with Orange County Public Schools (OCPS) to address school impacts generated by this residential development. The plat shall not be recorded and no construction activity will occur until after an executed CMA with OCPS has been obtained.

CONDITONS OF APPROVAL:

- 1.) Revise the Final Development Plan and Plat for consistency with the Master Plan\Preliminary Development Plan for Lots 101 to 105.
- 2.) The HOA will be responsible for maintaining the landscaping and irrigation within the public right-of-way portion of Sebastian Springs Way (Tract RW-1) until the properties on to the north and south side of the road develop, at the City may remove the landscaping or the adjacent property owners can agree to maintain

ORANGE COUNTY NOTIFICATION: The County was notified at the time of the plat application for this property through the DRC agenda distribution.

PUBLIC HEARING SCHEDULE:

July 10, 2018 - Planning Commission, 5:30 p.m.

July 18, 2018 - City Council, 7:00 p.m.

RECOMMENDATION ACTION:

The **Development Review Committee** finds the San Sebastian Reserve – Plat to be consistent with the Preliminary Development Plan and Final Development Plan subject to revision to the FDP and Plat to reflect consistency with the northeast corner of the Master Plan\PDP -- Lots 101 to 105, and recommends approval of San Sebastian Reserve Subdivision – Plat subject to the Conditions of Approval.

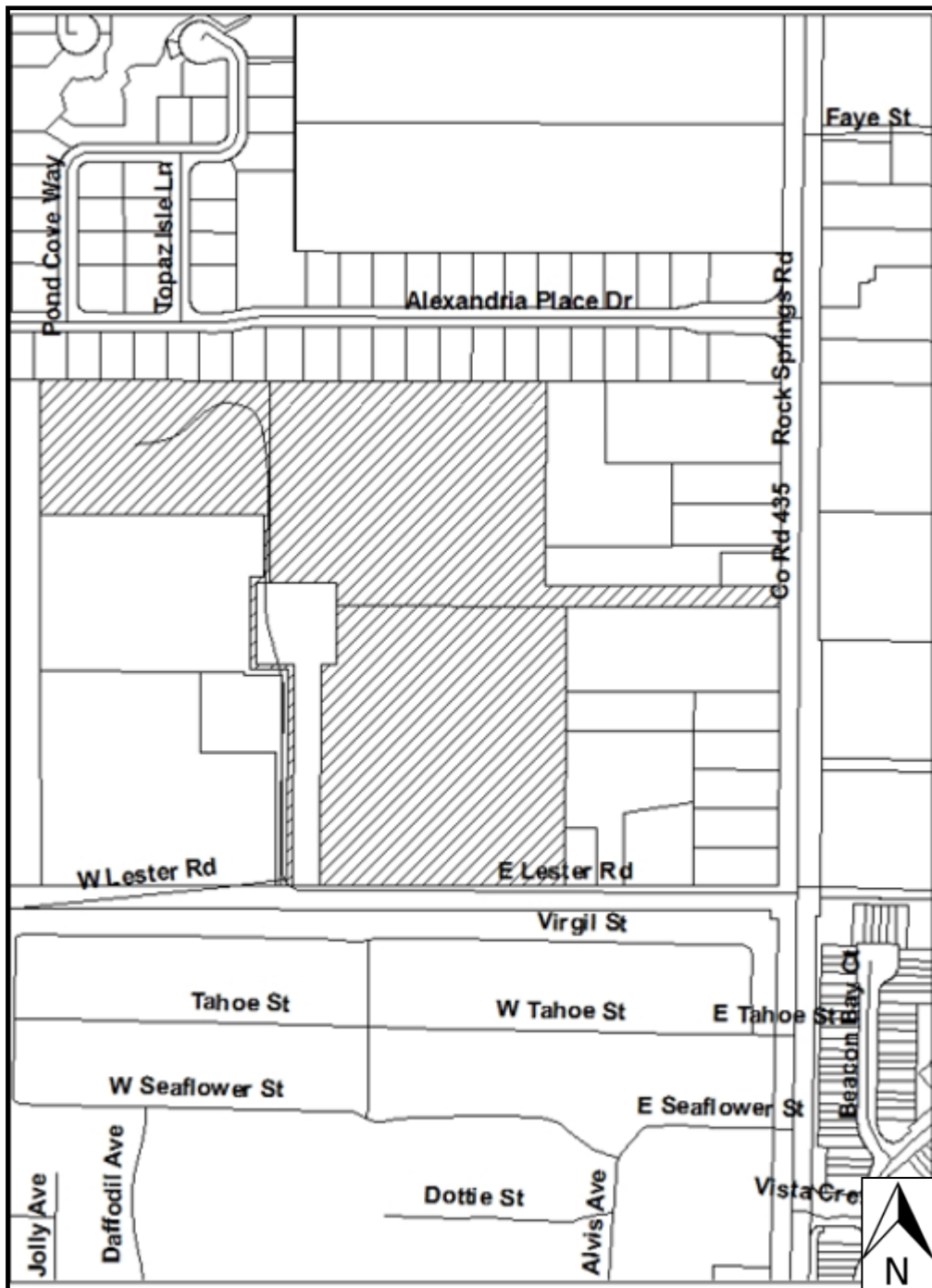
Recommended Motion: Find the proposed plat consistent with the Land Development Code and PUD Master Plan, and recommend approval of the San Sebastian Reserve – Plat, subject to the Conditions of Approval.

Planning Commission Role: Planning Commission may advise the City Council to approve or deny the proposed plat for San Sebastian Reserve Plat based on consistency with the approved San Sebastian Reserve PUD Master Plan/Preliminary Development Plan, Comprehensive Plan and Land Development Code and subject to Ord. No. 2634 (aka PUD Ordinance),

Note: This item is considered **Quasi-Judicial**. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Project Name: San Sebastian Reserve – Plat
Property Owner(s): A. D. Raulerson Sr. A. D. Raulerson, Jr and Curtis & Karen Pumphrey
Applicant: Richard Wohlfarth, P.E. c/o WC Group
Tract Size: 23.14 +/- Acres
Parcel ID #s: 28-20-28-0000-00-084; 28-20-28-0000-00-040; 28-20-28-0000-00-077

VICINITY MAP



AERIAL MAP



SAN SEBASTIAN

A PORTION OF SECTION 28, TOWNSHIP 20 SOUTH, RANGE 28 EAST,
CITY OF APOPKA, ORANGE COUNTY, FLORIDA

SHEET 1 OF 3

PLAT BOOK _____ PAGE _____

LEGAL DESCRIPTION

A parcel of land comprising a portion of Section 28, Township 20 South, Range 28 East, City of Apopka, Orange County, Florida. Being more particularly described as follows:

COMMENCE at the Southeast corner of aforesaid Section 28; thence run North 89° 55' 56" West along the South line of the Southeast 1/4 of said Section 28 for a distance of 600.00 feet; thence departing said South line run North 00° 23' 24" East for a distance of 30.00 feet to a point on the North right-of-way line of East Lester Road and the POINT OF BEGINNING; thence run North 89° 55' 56" West along said North right-of-way line for a distance of 430.44 feet; thence departing said North right-of-way line run North 00° 22' 34" East for a distance of 326.71 feet; thence run North 89° 55' 56" West for a distance of 200.00 feet to a point on the East line of a parcel of land described in Official Records Book 3141, Page 1427 of the Public Records of Orange County, Florida; thence run the following courses along said East line: North 00° 22' 34" East for a distance of 244.90 feet; thence run South 89° 55' 56" East for a distance of 38.50 feet; thence run North 00° 22' 34" East for a distance of 208.00 feet to the Northeast corner of aforesaid parcel of land described in Official Records Book 3141, Page 1427; thence run North 89° 55' 56" West along the North line of said parcel for a distance of 188.12 feet; thence departing aforesaid North line run North 00° 14' 49" East for a distance of 174.83 feet; thence run North 89° 50' 38" West for a distance of 575.31 feet to a point on the West line of the East 1/2 of the Southwest 1/4 of the Southeast 1/4 of aforesaid Section 28; thence run North 00° 07' 01" East along said West line for a distance of 345.69 feet to the Northwest corner of the East 1/2 of the Southwest 1/4 of the Southeast 1/4 of said Section 28; thence run South 89° 50' 38" East along the North line of the South 1/2 of the Southeast 1/4 of said Section 28, also being the South line of ALEXANDER PLACE according to the plat thereof as recorded in Plat Book 55, Pages 93 through 96 of aforesaid Public Records of Orange County, Florida for a distance of 1305.10 feet to the Northeast corner of the West 1/2 of the Southeast 1/4 of said Section 28; thence departing said North line and said South line run South 00° 17' 58" West, along the east line of the west 1/2 of the Southeast 1/4 of the Southeast 1/4 of said Section 28 for a distance of 524.00 feet; thence departing said east line run South 89° 50' 22" East for a distance of 51.71 feet; thence run South 00° 23' 24" West a distance of 774.93 feet to the POINT OF BEGINNING;

Contains 22.86 acres more or less.

Together with:

A portion of Section 28, Township 20 South, Range 28 East, City of Apopka, Orange County, Florida, being more particularly described as follows: COMMENCE at the Southeast corner of said Section 28; thence North 00° 23' 24" East along the East line of the Southeast 1/4 of said Section 28, a distance of 750.01 feet; thence departing from said East line run North 89° 55' 56" West along a line 750 feet North from and parallel with, as measured at right angles to the South line of the Southeast 1/4 of said Section 28, a distance of 50.00 feet to the West right-of-way line of North Rock Springs Road and the POINT OF BEGINNING; thence South 00° 23' 24" West along said West right-of-way line, a distance of 31.06 feet; thence North 44° 43' 29" West, a distance of 35.43 feet to a point on a line lying 60 feet South from and parallel with, as measured at right angles to a Northerly boundary of lands described in that certain Corporate Warranty Deed as recorded in Official Records Book 6302, Page 1942, of the Public Records of Orange County, Florida; thence North 89° 50' 22" West along said parallel line, a distance of 524.90 feet; thence North 00° 23' 24" East along a line 600 feet West from and parallel with, as measured at right angles to the East line of the Southeast 1/4 of said Section 28, a distance of 5.07 feet to the Northwest corner of the South 750 feet of the East 660 feet of the Southeast 1/4 of said Section 28; thence continue North 00° 23' 24" East, a distance of 54.93 feet to a point on the Northerly boundary of said Corporate Warranty Deed; thence South 89° 50' 22" East along said Northerly boundary, a distance of 550.00 feet to the West right-of-way line of North Rock Springs Road; thence South 00° 23' 24" West along said West right-of-way line, a distance of 54.04 feet to the POINT OF BEGINNING.

Contains 0.77 acres more or less.

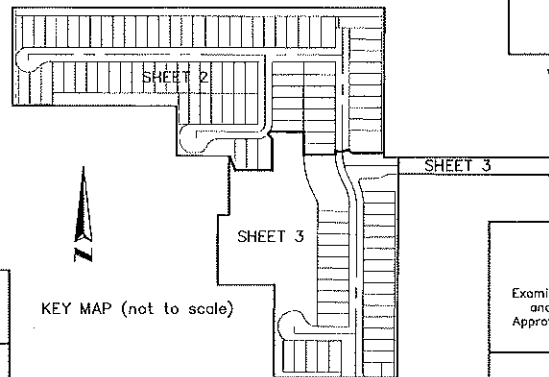
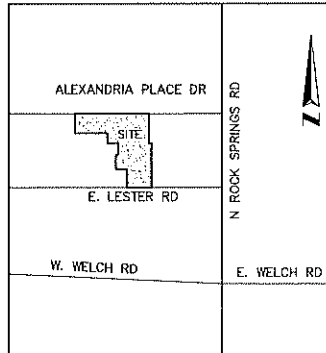
SURVEYOR'S NOTES:

- Bearings shown hereon are assumed and based on the South line of the Southeast 1/4 of Section 28-20-28 being an assumed bearing of North 89°55'56" West for angular designation only.
- All lot lines intersecting curves are radial, unless otherwise noted non-radial (N.R.).
- All platted utility easements shall also be easements for the construction, installation, maintenance, and operation of cable television and data services; provided, however, no such construction, installation, maintenance, and operation of cable television services shall interfere with the facilities and services of an electric, telephone, gas, or other public utility. In the event a cable television company damages the facilities of a public utility, it shall be solely responsible for the damages. This section shall not apply to those private easements granted to or obtained by a particular electric, telephone, gas, or other public utility. Such construction, installation, maintenance, and operation shall comply with the National Electrical Safety Code as adopted by the Florida Public Service Commission.
- Tracts A, H and N, (Retention) are dedicated to and maintained by the San Sebastian Homeowners Association, Inc. (The "Association"), with an easement dedicated to the City of Apopka for emergency operation and maintenance of the stormwater conveyance system. The City of Apopka is not responsible for the maintenance of the stormwater conveyance system.
- Tracts B, C, D, L, M, O and P (Open Space) are dedicated to and maintained by the Association.
- Tract G, (Dog Park) is dedicated to and maintained by the Association.
- Tracts E and F, (Recreation Tracts) are dedicated to and maintained by the Association.
- Tract K (Lift Station Tract) and Tract RW-1 (Public Right-of-way) shall be deeded to and maintained by the City of Apopka.
- Tract J, Private right-of-way, shall be owned and maintained by the Association.
- This plat contains 112 Lots.
- All Lots are subject to a 10.00 foot utility easement adjacent to private rights-of-way, unless otherwise noted.

SHEET INDEX

SHEET 1 of 3 - legal description, Surveyor's notes, legend & dedication

SHEET 2 & 3 of 3 - boundary information, lot & tract geometry



LEGEND:

L.B.	denotes licensed business	⊙	denotes set nail & disk LB 6723
U.E.	denotes utility easement	⊥	denotes permanent control point (PCP)
R/W	denotes right-of-way	—	denotes centerline
—	denotes change in direction along right-of-way lines	LLC	denotes limited liability company
C.C.R. #	denotes Certified Corner Record Number	PC(S)	denotes page(s)
N.R.	denotes non-radial (see note 2)	P.C.	denotes point of curvature
■	denotes set 4" x 4" concrete monument LB 6723 permanent reference monument (PRM)	P.T.	denotes point of tangency
D.E.	denotes drainage easement	P.I.	denotes point of intersection
D.U.E.	denotes drainage and utility easement	P.B.	denotes Plat Book
D.B.	denotes Deed Book	R.P.	denotes radius point
P.C.C.	denotes point of compound curvature	R	denotes radius
N.T.	denotes non tangent	Δ	denotes central angle
		L	denotes arc length
		CH	denotes chord length
		CB	denotes chord bearing

NOTICE: THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

QUALIFICATION STATEMENT OF SURVEYOR AND MAPPER

KNOW ALL MEN BY THESE PRESENTS, that I the undersigned, being a licensed surveyor and mapper, do hereby certify that on April 13, 2016 I completed the survey of the lands as shown in the foregoing plat or plan; that said plat is a true and correct representation of the lands surveyed and platted and was prepared under my direction and supervision; that permanent reference monuments have been placed as shown thereon; and this plat complies with all the survey requirements of Chapter 177, Florida Statutes; and that said land is located in the City of Apopka, Orange County, Florida.

By: _____ Date: _____

James L. Rickman P.S.M. # 5633 Allen & Company Licensed Business # 6723
16 East Plant Street, Winter Garden, Florida 34787

CERTIFICATE OF REVIEW BY REVIEWING SURVEYOR

Pursuant to Section 177.081, Florida Statutes, I have reviewed this plat for conformity to Chapter 177 Part 1 of the Florida Statutes and that said plat complies with the technical requirements of that chapter; provided however, that my review does not include field verification of any of the coordinates, points or measurements shown on this plat.

Signed: _____

Printed Name: Bruce Ducker, PSM Date
Registration Number 5966
Southeastern Surveying and Mapping Corp

CERTIFICATE OF APPROVAL BY CITY ENGINEER

Examined and Approved
Richard Earp Date _____

CERTIFICATE OF APPROVAL BY APOPKA PLANNING COMMISSION

Examined and Approved
Chairman Date _____

CERTIFICATE OF COUNTY COMPTROLLER

I HEREBY CERTIFY, that the foregoing plat was recorded in the Orange County Official Records on _____ as File No. _____

County Comptroller In and for Orange County, Florida.
By _____

SAN SEBASTIAN DEDICATION

THIS is to certify that the undersigned, _____, LLC, a Florida limited liability company hereafter referred to as "Owner" is the lawful owner of the lands described in the caption hereon, and that it has caused the same to be surveyed, and this plat, made in accordance with said survey, is hereby adopted as the true and correct plat of said lands. No part of said lands, except as noted on the face of this plat, is dedicated to the City of Apopka or to the public. None of the property designated "Common Area" on this plat is required for public use; and such "Common Area" is not and will not be a part of the City system of public roads. Said "Common Area" is instead part of the "Common Area" created by this plat and will be subject to the declaration of covenants, conditions, and restrictions for San Sebastian Homeowners Association, Inc. as recorded in Official Records Book _____, Page _____ (herein after referred to as the "Declaration"). Said "Common Area" shall remain private and the sole and exclusive property of Owner its successors and assigns. Owner does hereby grant to the present and future owners of lots (1 through 112) and their guests, invitees, domestic help, and to delivery, pick-up and fire protection services, police and other authorities of law, United States mail carriers, representatives of utilities, holders of mortgage liens on such lands, and such other persons as owner, its successor and assigns, may from time to time designate the non-exclusive and perpetual right of ingress and egress over and across the roads and sidewalks, as they may from time to time be constructed on Tract J of the "Common Area". The Owner, in recording this plat has created the "Common Area" shown hereon, which common area is a portion of the "Common Area" described in the declaration. Said "Common Area" is not dedicated to the use and enjoyment of the general public, but its use is reserved for the common use and enjoyment of the property owners of San Sebastian. The nature and extent of, and the reservations and restrictions on such common use and enjoyment are more fully set forth in the Declaration. Tract RW-1 is dedicated to the City of Apopka.

NOTWITHSTANDING the foregoing: An emergency access easement to the private storm drainage system over Tract J and over all drainage easements shown on this plat is hereby dedicated to the City of Apopka for emergency maintenance purposes in the event inadequate maintenance of the storm drainage system creates a hazard to the public health, safety, and general welfare. The emergency access easement granted above does not impose any obligation, burden, responsibility or liability upon the City of Apopka to enter upon the subject property and take any action to repair or maintain the private drainage system. A non-exclusive easement through, over, under and across the common area and all noted utility easements is hereby dedicated for use by all public utilities for the purpose of constructing, maintaining and replacing their respective facilities servicing the lands encompassed by this plat.

IN WITNESS WHEREOF, the undersigned, _____, LLC, a Florida limited liability company, has caused these presents to be executed and acknowledged by its undersigned Officer thereunto duly authorized on this _____ day of _____, 2018.

_____, LLC
A _____ limited liability company

By: _____ Title: _____
Printed Name:

Signed and sealed in the presence of:

Signature of witness: _____

Printed Name of witness: _____

Signature of witness: _____

Printed Name of witness: _____

ACKNOWLEDGMENT

STATE OF FLORIDA COUNTY OF _____

THIS IS TO CERTIFY, that on this _____ day of _____, 20____, before me an officer duly authorized to take acknowledgments in the State and County aforesaid, personally appeared _____ on behalf of _____, a _____ limited liability company, who executed the foregoing Dedication and severally acknowledged the execution thereof to be his free act and deed for the uses and purposes therein expressed. He is personally known to me or has produced _____ as identification and did/did not take an oath.

IN WITNESS WHEREOF, I have hereto set my hand and seal on the above date.

NOTARY PUBLIC:

Printed Name: _____

Commission No.: _____

My Commission Expires: _____

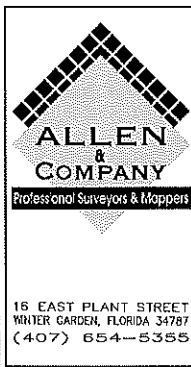
CERTIFICATE OF APPROVAL BY MUNICIPALITY

THIS IS TO CERTIFY, that on _____ the foregoing plat was approved by the Municipality.

Mayor _____

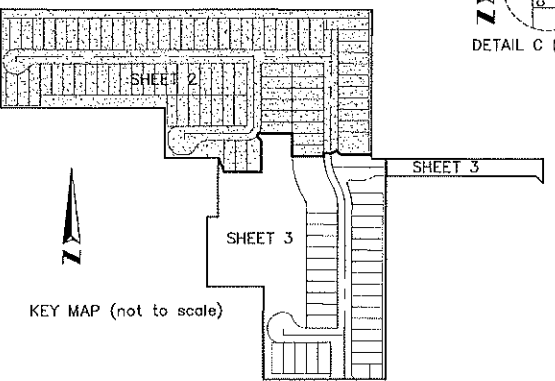
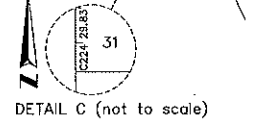
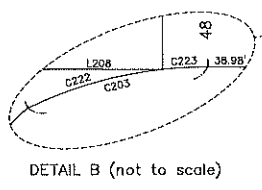
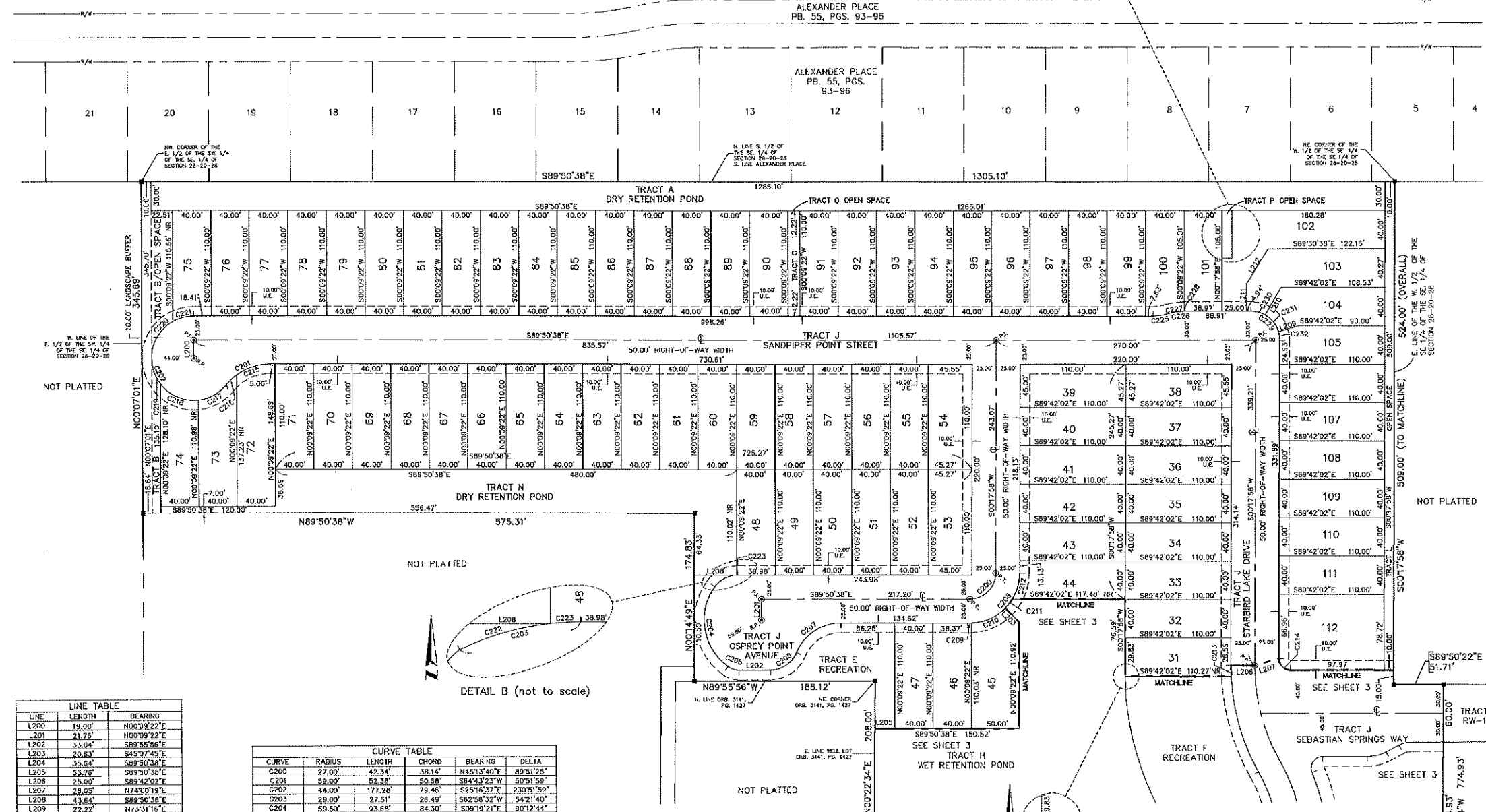
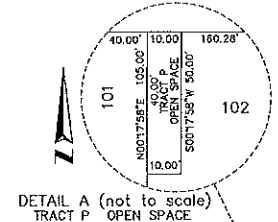
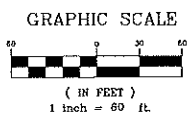
Attest: _____

City Clerk _____



SAN SEBASTIAN

A PORTION OF SECTION 28, TOWNSHIP 20 SOUTH, RANGE 28 EAST,
CITY OF APOPKA, ORANGE COUNTY, FLORIDA



LINE	LENGTH	BEARING
L200	19.00'	N00°09'22"E
L201	21.75'	N00°08'22"E
L202	33.04'	S89°55'56"E
L203	20.83'	S45°07'45"E
L204	35.84'	S89°50'38"E
L205	53.75'	S89°50'38"E
L206	25.00'	S89°42'02"E
L207	26.05'	N74°00'19"E
L208	43.64'	S89°50'38"E
L209	22.22'	N73°31'16"E
L210	33.43'	S32°02'45"W
L211	27.44'	S00°09'22"W
L212	44.09'	S31°39'00"W

CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
C200	27.00'	42.34'	38.14'	N45°13'40"E	89°31'25"
C201	59.00'	52.38'	50.58'	S64°43'23"W	50°51'59"
C202	44.00'	177.28'	79.46'	S25°16'32"E	230°51'59"
C203	29.00'	27.51'	26.49'	S62°58'32"W	54°21'40"
C204	59.50'	93.88'	84.30'	S09°19'21"E	90°12'44"
C205	19.00'	11.86'	11.87'	S72°32'49"E	35°48'45"
C206	28.00'	34.17'	32.23'	N58°18'34"E	87°30'59"
C207	50.00'	59.00'	55.63'	S58°21'14"W	67°36'17"
C208	52.00'	81.55'	73.45'	N45°13'40"E	89°51'25"
C209	52.00'	1.63'	1.63'	N89°15'29"E	01°47'46"
C210	52.00'	39.50'	38.85'	N85°36'00"E	43°31'13"
C211	52.00'	12.19'	12.18'	N38°07'33"E	13°29'41"
C212	52.00'	28.24'	27.89'	N19°51'20"E	31°06'45"
C213	225.00'	11.41'	11.41'	S01°09'12"E	02°54'20"
C214	12.00'	16.88'	16.99'	S44°48'12"E	90°08'20"
C215	59.00'	37.39'	36.77'	S72°00'02"W	36°18'40"
C216	59.00'	14.99'	14.95'	S48°21'01"W	14°33'19"
C217	44.00'	34.09'	33.29'	N61°23'26"E	44°24'06"
C218	44.00'	45.51'	43.51'	S68°40'25"E	59°16'10"
C219	44.00'	28.53'	28.03'	S18°27'39"E	37°09'22"
C220	44.00'	46.57'	44.43'	S30°26'35"W	50°39'04"
C221	44.00'	29.57'	29.32'	S73°27'44"W	29°23'17"
C222	29.00'	26.50'	26.59'	S61°58'17"W	52°21'09"
C223	29.00'	1.02'	1.02'	S89°09'07"W	2°00'31"
C224	300.00'	3.41'	3.41'	S00°01'33"E	0°39'01"
C225	50.00'	14.86'	14.81'	N81°38'25"E	17°01'56"
C226	64.00'	19.93'	19.95'	S81°18'25"W	17°01'56"
C227	64.00'	18.00'	17.94'	S81°10'50"W	16°26'46"
C228	64.00'	1.93'	1.93'	S89°21'48"W	00°59'09"
C229	30.00'	47.20'	42.48'	N44°46'20"W	90°08'35"
C230	30.00'	15.65'	15.47'	N74°53'57"W	29°53'20"
C231	30.00'	22.76'	22.22'	N58°13'01"W	43°28'33"
C232	30.00'	6.79'	6.75'	N08°55'23"W	16°46'42"

ALLEN & COMPANY
Professional Surveyors & Mappers

16 EAST PLANT STREET
WINTER GARDEN, FLORIDA 34787
(407) 654-5355

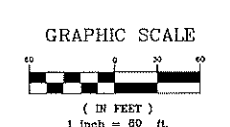
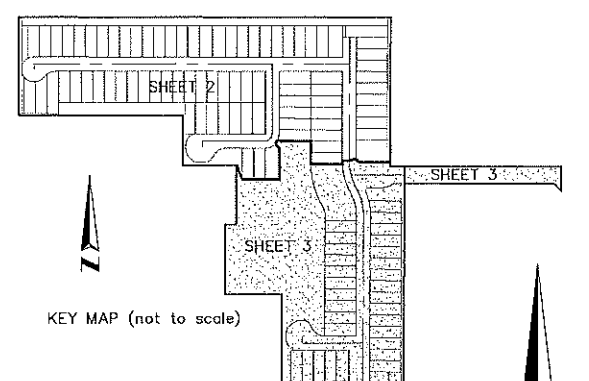
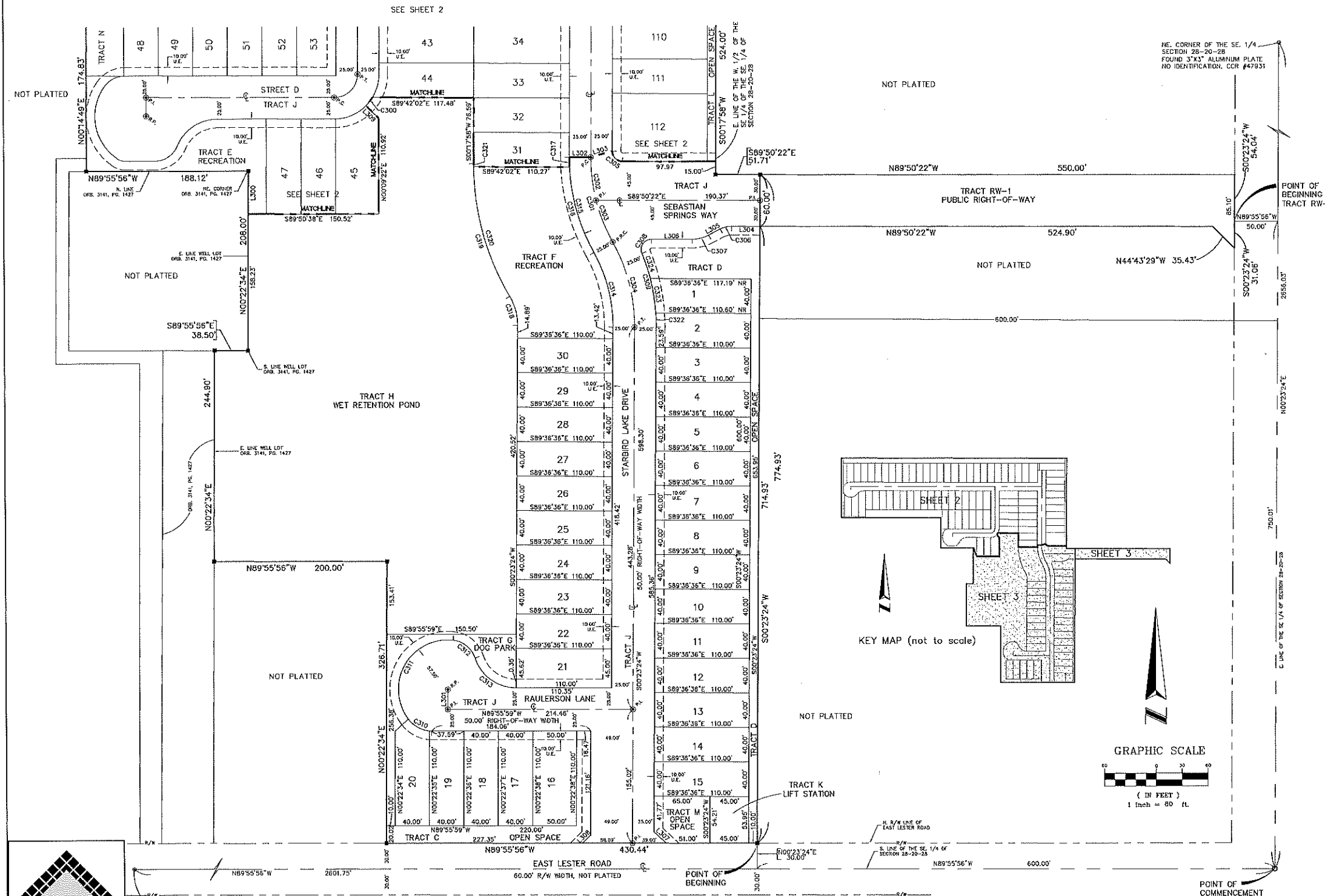
SHEET INDEX
SHEET 1 of 3 - legal description, Surveyor's notes, legend & dedication
SHEET 2 & 3 of 3 - boundary information, lot & tract geometry

SAN SEBASTIAN

A PORTION OF SECTION 28, TOWNSHIP 20 SOUTH, RANGE 28 EAST,
CITY OF APOPKA, ORANGE COUNTY, FLORIDA

SHEET 3 OF 3

PLAT BOOK _____ PAGE _____



ALLEN & COMPANY
Professional Surveyors & Mappers

16 EAST PLANT STREET
WINTER GARDEN, FLORIDA 34787
(407) 654-5355

1/4 OF THE SE 1/4 OF SECTION 28-20-28 RECORDED MAP, NO IDENTIFICATION, USED REFERENCES FROM COR #5509 TO VERIFY LOCATION.

POINT OF COMMENCEMENT
SE CORNER OF SECTION 28-20-28
FOUND 3"x3" ALUMINUM PLATE
NO IDENTIFICATION, COR #47931

LINE	LENGTH	BEARING
L300	49.77	N00°22'34"E
L301	23.00	S00°21'53"W
L302	25.00	S89°42'02"E
L303	26.00	N74°00'19"E
L304	32.99	S89°50'22"E
L305	15.13	N82°31'54"E
L306	46.99	S89°50'22"E
L307	18.91	S47°20'55"E
L308	12.73	S45°57'05"W
L309	26.83	S49°07'45"E

CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
C300	52.00'	12.19'	12.16'	N38°07'33"E	132°5'41"
C301	290.00'	102.54'	101.42'	S142°3'18"E	292°2'30"
C302	290.00'	50.30'	50.16'	S08°34'19"E	142°4'51"
C303	280.00'	52.24'	52.09'	S21°35'33"E	145°7'59"
C304	200.00'	102.85'	101.72'	N14°20'34"W	292°7'56"
C305	12.00'	18.85'	16.99'	S44°48'12"E	80°08'20"
C306	28.00'	13.50'	13.37'	S75°20'48"W	272°37'43"
C307	42.00'	28.25'	28.06'	N76°20'48"E	272°37'43"
C308	12.00'	23.47'	19.91'	S34°07'24"W	112°04'28"
C309	225.00'	87.59'	87.03'	N10°45'43"W	222°18'14"
C310	34.00'	31.71'	30.57'	S63°12'56"E	53°26'04"
C311	97.50'	133.34'	105.41'	S29°56'04"W	132°51'55"

CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
C312	30.00'	34.42'	32.56'	N50°45'44"W	69°44'30"
C313	50.00'	62.67'	58.61'	S53°54'44"E	72°02'30"
C314	175.00'	90.00'	89.01'	N142°02'14"W	292°22'56"
C315	225.00'	115.36'	114.10'	S142°31'18"E	292°22'30"
C316	225.00'	103.95'	103.02'	S15°50'27"E	262°28'10"
C317	225.00'	11.41'	11.41'	S01°09'12"E	02°54'20"
C318	65.00'	34.94'	34.62'	N15°09'06"W	30°48'05"
C319	300.00'	181.19'	159.26'	S15°03'06"E	302°42'06"
C320	300.00'	157.79'	155.87'	S15°25'06"E	303°08'05"
C321	300.00'	3.41'	3.41'	S00°01'33"E	00°39'01"
C322	225.00'	16.43'	16.42'	N01°42'08"W	041°02'59"
C323	225.00'	40.59'	40.54'	N08°07'42"W	102°02'14"
C324	225.00'	30.57'	30.54'	N08°01'19"W	074°07'01"

SHEET INDEX
SHEET 1 of 3 - legal description, Surveyor's notes, legend & dedication
SHEET 2 & 3 of 3 - boundary information, lot & tract geometry

FINAL DEVELOPMENT PLAN

for

SAN SEBASTIAN RESERVE (P.U.D)



LEGAL DESCRIPTION:

PARCEL 1 (O.R.B. 6302, PG. 1942)
 A PARCEL OF LAND LYING IN SECTION 28, TOWNSHIP 20 SOUTH, RANGE 28 EAST, ORANGE COUNTY FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS; FROM THE SOUTH EAST CORNER OF SECTION 28, TOWNSHIP 20 SOUTH, RANGE 28 EAST, RUN THENCE NORTH 01'45'16" WEST, 750.00 FEET, ALONG THE EAST LINE OF SAID SECTION 28; THENCE SOUTH 87'59'45" WEST, 50.00 FEET PARALLEL WITH THE SOUTH LINE OF SAID SECTION 28 FOR THE POINT OF BEGINNING OF THIS DESCRIPTION; CONTINUE THENCE SOUTH 87'59'45" WEST 1143.99 FEET TO THE EAST LINE OF PARCEL PREVIOUSLY DEEDED FOR A WELL LOT, THENCE NORTH 02'00'11" WEST, 59.60 FEET TO THE NORTHEAST CORNER OF THE AFOREMENTIONED WELL LOT; THENCE SOUTH 87'59'49" WEST, 173.12 FEET ALONG THE NORTH LINE OF THE SAID WELL LOT; THENCE NORTH 01'49'26" WEST 519.15 FEET TO THE NORTH LINE OF THE SOUTH ONE HALF (S 1/2) OF THE SOUTHEAST ONE QUARTER (SE 1/4) OF SECTION 28; THENCE NORTH 88'02'24" EAST 714.27 FEET ALONG THE NORTH LINE OF SAID SOUTH ONE HALF (S 1/2) OF THE SOUTHEAST ONE QUARTER (SE 1/4) TO THE NORTHEAST CORNER OF THE WEST ONE-HALF (W 1/2) OF THE SOUTHEAST ONE QUARTER (SE 1/4) OF THE SOUTHEAST ONE QUARTER (SE 1/4) OF SAID SECTION 28; THENCE SOUTH 01'49'16" EAST, 524.00 FEET ALONG THE EAST LINE OF THE SAID WEST ONE HALF (W 1/2) OF THE SOUTHEAST ONE QUARTER (SE 1/4) OF THE SOUTHEAST ONE QUARTER (SE 1/4); THENCE NORTH 88'02'24" EAST 603.10 FEET TO A POINT 50.00 FEET WEST OF THE EAST LINE OF SAID SECTION 28; THENCE SOUTH 01'45'16" EAST 54.04 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPT THE FOLLOWING DESCRIBED LANDS;

FROM THE SOUTH EAST CORNER OF SECTION 28, TOWNSHIP 20 SOUTH, RANGE 28 EAST, RUN THENCE NORTH 01'45'16" WEST, 750.00 FEET, ALONG THE EAST LINE OF SAID SECTION 28; THENCE SOUTH 87'59'45" WEST, 50.00 FEET PARALLEL WITH THE SOUTH LINE OF SAID SECTION 28 FOR THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE CONTINUE SOUTH 87'59'45" WEST, A DISTANCE OF 550.01 FEET; THENCE NORTH 01'45'16" WEST, A DISTANCE OF 54.16 FEET; THENCE NORTH 88'02'24" EAST, A DISTANCE OF 550.00 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF ROCK SPRINGS ROAD; THENCE SOUTH 01'45'16" EAST, ALONG SAID WEST RIGHT-OF-WAY, A DISTANCE OF 54.04 FEET TO THE POINT OF BEGINNING;

TOGETHER WITH

PARCEL 2 (O.R.B.10532, PG. 3926)
 A PARCEL OF LAND LYING IN SECTION 28, TOWNSHIP 20 SOUTH, RANGE 28 EAST, ORANGE COUNTY FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS; FROM THE SOUTH EAST CORNER OF SECTION 28, TOWNSHIP 20 SOUTH, RANGE 28 EAST RUN SOUTH 87'59'49" WEST 600.00 FEET ALONG THE SOUTH LINE OF SAID SECTION 28 FOR A POINT OF BEGINNING OF THIS DESCRIPTION; CONTINUE THENCE SOUTH 87'59'49" WEST 630.44 FEET; THENCE RUN NORTH 01'41'41" WEST 601.62 FEET TO THE SOUTH LINE OF A PREVIOUSLY DEEDED WELL LOT, THENCE NORTH 87'59'49" EAST 38.50 FEET TO THE SOUTHEAST CORNER OF THE AFOREMENTIONED WELL LOT; THENCE NORTH 01'41'41" WEST 148.40 FEET ALONG THE EAST LINE OF AFOREMENTIONED WELL LOT; THENCE NORTH 87'59'45" EAST 593.99 FEET TO A POINT 600.00 FEET WEST OF THE EAST LINE OF AFOREMENTIONED SECTION 28, AND 750.00 FEET NORTH OF THE SOUTH LINE OF AFOREMENTIONED SECTION 28; THENCE SOUTH 01'45'16" EAST 750.00 FEET TO THE POINT OF BEGINNING, LESS THE SOUTH 30.00 FEET THEREOF FOR ROAD; LESS AND EXCEPT THE SOUTH 326.71 FEET OF THE WEST 200.00 FEET OF THE ABOVE DESCRIBED PARCEL 2;

TOGETHER WITH

PARCEL 3 (O.R.B. 9759, PG. 6283)
 A PART OF THE EAST ONE HALF (E 1/2) OF THE SOUTHWEST ONE QUARTER (SW 1/4) OF THE SOUTHEAST ONE QUARTER (SE 1/4) OF SECTION 28, TOWNSHIP 20 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS; BEGIN AT THE SOUTHEAST CORNER OF SAID EAST ONE-HALF (E 1/2) OF THE SOUTHWEST ONE-QUARTER (SW 1/4) OF THE SOUTHEAST ONE-QUARTER (SE 1/4) OF SECTION 28, TOWNSHIP 20 SOUTH, RANGE 28 EAST, THENCE SOUTH 87'59'49" WEST ALONG THE SOUTHERLY LINE OF SAID SECTION 28 FOR 15.00 FEET; THENCE NORTH 01'46'12" WEST, PARALLEL WITH THE EAST LINE OF THE AFORESAID EAST ONE-HALF (E 1/2) OF THE SOUTHWEST ONE-QUARTER (SW 1/4) OF THE SOUTHEAST ONE-QUARTER (SE 1/4) FOR 586.62 FEET; THENCE SOUTH 87'59'49" WEST FOR 83.51 FEET; THENCE NORTH 01'46'12" WEST FOR 238.00 FEET; THENCE NORTH 87'59'49" EAST FOR 35.35 FEET; THENCE NORTH 01'49'26" WEST PARALLEL WITH THE WESTERLY BOUNDARY OF LANDS DESCRIBED IN OFFICIAL RECORD BOOK 2748, PAGE 1803 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA FOR 159.83 FEET; THENCE SOUTH 88'03'21" WEST, PARALLEL WITH THE NORTH LINE OF THE AFORESAID EAST ONE-HALF (E 1/2) OF THE SOUTHWEST ONE-QUARTER (SW 1/4) OF THE SOUTHEAST ONE-QUARTER (SE 1/4) OF SECTION 28 FOR 595.03 FEET TO THE WEST LINE OF SAID EAST ONE-HALF (E 1/2) OF THE SOUTHWEST ONE-QUARTER (SW 1/4) OF THE SOUTHEAST ONE-QUARTER (SE 1/4); THENCE NORTH 01'46'37" WEST, ALONG THE WEST LINE FOR 345.00 FEET TO THE NORTHWEST CORNER OF SAID EAST ONE-HALF (E 1/2) OF THE SOUTHWEST ONE-QUARTER (SW 1/4) OF THE SOUTHEAST ONE-QUARTER (SE 1/4); THENCE NORTH 88'03'21" EAST ALONG THE NORTH LINE OF SAID EAST ONE-HALF (E 1/2) OF THE SOUTHWEST ONE-QUARTER (SW 1/4) OF THE SOUTHEAST ONE-QUARTER (SE 1/4) FOR 609.75 FEET; THENCE SOUTH 01'49'26" EAST ALONG THE WESTERLY LINE OF THE AFORESAID LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 2748, PAGE 1803, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA FOR A DISTANCE OF 519.81 FEET TO THE NORTHERLY BOUNDARY OF LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 3141, PAGE 1427, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE SOUTH 87'59'49" WEST ALONG SAID NORTHERLY BOUNDARY FOR 34.88 FEET TO THE NORTHWEST CORNER OF SAID LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 3141, PAGE 1427, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE SOUTH 01'46'12" EAST FOR 208.00 FEET TO THE SOUTHWEST CORNER OF SAID LANDS DESCRIBED IN OFFICIAL RECORD BOOK 3141, PAGE 1427, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE NORTH 87'59'49" EAST, ALONG THE SOUTHERLY BOUNDARY OF SAID LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 3141, PAGE 1427, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA FOR 83.51 FEET TO THE EAST LINE OF THE AFOREMENTIONED EAST ONE-HALF (E 1/2) OF THE SOUTHWEST ONE-QUARTER (SW 1/4) OF THE SOUTHEAST ONE-QUARTER (SE 1/4) OF SECTION 28; THENCE SOUTH 01'46'12" EAST ALONG SAID EAST LINE, FOR 601.62 FEET TO THE POINT OF BEGINNING, LESS AND EXCEPTING THEREFROM THE SOUTHERLY 30 FEET FOR ROAD RIGHT-OF-WAY.

PROJECT ADDRESS: 2122 ROCK SPRINGS ROAD
 ORANGE COUNTY, FLORIDA
 SECTION 28, TOWNSHIP 20 SOUTH, RANGE 28 EAST

TAX I.D. PARCEL NUMBERS: 28-20-28-0000-00-040 (A PORTION OF)
 28-20-28-0000-00-077 (ENTIRE PARCEL)
 28-20-28-0000-00-084 (ENTIRE PARCEL)

PARCEL ADDRESS: 213 W. LESTER ROAD
 2122 ROCKSPRINGS ROAD
 251 W. LESTER ROAD

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- S-1.0 - S1.4 BOUNDARY/TOPOGRAPHIC SURVEY
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- A-1 ARCHITECTURAL ELEVATIONS OF HOMES, GAZEBO, CABANA & MAIL KIOSK

MARCH 2018



LOCATION MAP
 N.T.S.

<p>OWNER: A D RAULERSON 251 W. LESTER ROAD APOPKA, FLA 407-448-0157 ADUG@COLORADOCHOICE.COM</p> <p>A D RAULERSON, JR 2122 ROCK SPRINGS ROAD APOPKA, FL 407-448-0157 ADUG@COLORADOCHOICE.COM</p> <p>CURTIS AND KAREN PUMPHREY 213 W. LESTER ROAD APOPKA, FL 407-448-0157 KAREN@COSTAVERDEIMPORTS.COM</p>	<p>APPLICANT/DEVELOPER: APOPKA RESERVE DEVELOPMENT, LLC CONTACT: RICHARD C. WOHLFARTH, P.E. 2300 MAITLAND CENTER PARKWAY SUITE 101 MAITLAND, FLORIDA 32751 407-660-2120 OFFICE 407-359-9090 CELL RWOHLFARTH@IBIGROUP.COM</p> <p>CIVIL ENGINEER: WOHLFARTH CONSULTING GROUP, LLC CONTACT: RICHARD C. WOHLFARTH, P.E. 246 N. WESTMONTE DRIVE ALTAMONTE SPRINGS, FL 407-750-3123 RWOHLFARTH@WCGROUP.CO</p>	<p>SURVEYOR: IBI GROUP (FLORIDA), INC. CONTACT: WILSON E. WAY, PSM 2300 MAITLAND CENTER PARKWAY SUITE 101 MAITLAND, FLORIDA 32751 407-660-2120 OFFICE 407-359-9090 CELL WILSON.WAY@IBIGROUP.COM</p> <p>ENVIRONMENTAL CONSULTANT: BIO-TECH CONSULTING, INC. CONTACT: JOHN MIKLOS, PRESIDENT DANNY GOUGH, PROJECT MANAGER 2002 EAST ROBINSON STREET ORLANDO, FLORIDA 32803 407-894-5969 PHONE 407-894-5970 FAX 407-963-2751 CELL DANNY@BTC-INC.COM</p>	<p>GEOTECHNICAL CONSULTANT: G.E.O. ENGINEERING & SCIENCES, INC. CONTACT: GABI STEPHAN, VICE PRESIDENT 250 S RONALD REAGAN BOULEVARD SUITE 114 LONGWOOD, FLORIDA 32750 407-379-9510 PHONE 407-402-1819 CELL GSTEPHAN@GEOENGINEERING.COM</p>	<p>UTILITIES POTABLE WATER NON-POTABLE WATER WASTEWATER POWER TELECOMMUNICATIONS GAS</p> <p>CITY OF APOPKA CITY OF APOPKA DUKE ENERGY SPECTRUM LAKE APOPKA</p>
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WOHLFARTH CONSULTING GROUP LLC
 ENGINEERS & PLANNERS

246 N. WESTMONTE DRIVE
 ALTAMONTE SPRINGS, FL 32714
 (407) 750-3123

PERMITS REQUIRED

AGENCY	PERMIT TYPE	DATE APPROVED	APPROVAL NO.	EXPIRATION DATE
CITY OF APOPKA	FDP			
SURVIAID	ERP			
FDEP	WATER			
FDEP	SEWER			

REV.	DATE	DESCRIPTION	REV.

WCG GROUP
 LAND DEVELOPMENT & ENGINEERING SERVICES

BUSINESS NO. 32108

ENGINEER'S PROJECT NO. 2017-011

C:\Users\Dennis Murrey\Dropbox\Rick Wohlforth\San Sebastian\DWG\Construction Plans\2017-01-01-C1.0 - Cover - Construction Plans.dwg Plotted: 6/20/2018 By: dennis murrey

GENERAL NOTES

1. UNLESS OTHERWISE SPECIFIED, ALL WORK SHALL BE PERFORMED CONSISTENT WITH THE FOLLOWING SPECIFICATIONS:
 - * CITY OF APOPKA, FLORIDA
 - * ST. JOHNS RIVER WATER MANAGEMENT DISTRICT
 - * FLORIDA DEPARTMENT OF TRANSPORTATION
 - * FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION
 - * NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM
2. THE GEOTECHNICAL REPORT SHALL BE REVIEWED BY THE CONTRACTOR, AND THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE SITE, INCLUDING ALL SURFACE AND SUBSURFACE CONDITIONS, THE WORK REQUIRED, AND ALL OTHER CONDITIONS THAT MAY AFFECT THE SUCCESSFUL COMPLETION OF THE JOB PRIOR TO COMMENCEMENT OF WORK.
3. THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND PERMIT CONDITIONS BEARING ON THE CONDUCT OF THE WORK, AS DRAWN AND SPECIFIED. IF THE CONTRACTOR OBSERVES THAT THE DRAWINGS AND SPECIFICATIONS ARE AT VARIANCE THEREWITH, HE SHALL PROMPTLY NOTIFY THE ENGINEER, IN WRITING, AND ANY NECESSARY CHANGES SHALL BE ADJUSTED, AS PROVIDED IN THE AGREEMENT FOR CHANGES IN THE WORK.
4. THE CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER AND THE ENGINEER FOR THE ACTS AND OMISSIONS OF CONTRACTOR'S EMPLOYEES AND ALL HIS SUBCONTRACTORS AND THEIR AGENTS AND EMPLOYEES AND OTHER PERSONS PERFORMING ANY OF THE WORK UNDER A CONTRACT WITH THE CONTRACTOR.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING ALL NECESSARY ARRANGEMENTS WITH GOVERNMENTAL DEPARTMENTS, PUBLIC UTILITIES, PUBLIC CARRIERS, SERVICE COMPANIES, AND CORPORATIONS OWNING OR CONTROLLING ROADWAYS, RAILWAYS, WATER, SEWER, GAS, ELECTRICAL, TELEPHONE, AND TELEGRAPH FACILITIES SUCH AS PAVEMENTS, TRACKS, PIPING, WIRES, CABLES, CONDUITS, POLES, GUYS, OR OTHER SIMILAR FACILITIES, INCLUDING INCIDENTAL STRUCTURES CONNECTED THEREWITH THAT ARE ENCOUNTERED IN THE WORK IN ORDER THAT SUCH ITEMS MAY BE PROPERLY SUPPORTED, PROTECTED OR LOCATED.
6. UNLESS OTHERWISE SPECIFIED IN THE GENERAL CONDITIONS, ALL CONSTRUCTION IS TO BE GOVERNED BY THE PLANS, APPLICABLE PERMITS, AND SPECIFICATIONS HEREIN, AND ALL APPLICABLE FEDERAL, STATE AND LOCAL BUILDING AND SAFETY CODES, LAWS AND ORDINANCES.
7. PRIOR TO PERFORMING ANY WORK WITHIN ANY PUBLIC OR UTILITY RIGHT-OF-WAY, CONTRACTOR SHALL OBTAIN AUTHORIZATION AND PERMIT FROM JURISDICTION RESPONSIBLE FOR SUCH RIGHT-OF-WAY. IN ADDITION, CONTRACTOR SHALL OBTAIN GAS I.D. NUMBER FROM LOCAL GAS COMPANY AND NOTIFY SUNSHINE STATE ONE-CALL UTILITY NOTIFICATION CENTER AT 1-800-432-4770 AT LEAST 48 HOURS PRIOR TO START OF WORK.
8. PRIOR TO PERFORMING ANY WORK WITHIN ANY PUBLIC RIGHT-OF-WAY, CONTRACTOR SHALL DEVELOP AND IMPLEMENT A TRAFFIC CONTROL PLAN CONSISTENT WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" PUBLISHED BY THE U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION, AND SUBMIT TO THE COUNTY ENGINEER FOR APPROVAL.
9. IN THE EVENT THE CONTRACTOR DISCOVERS ANY ERRORS OR OMISSIONS IN THE PLANS HE SHALL IMMEDIATELY NOTIFY THE ENGINEER AND/OR OWNER OR OWNER'S AGENT.
10. CONTRACTOR SHALL PRESERVE AND PROTECT ALL PERMANENT REFERENCE MONUMENTS, PERMANENT CONTROL POINTS, PERMANENT BENCH MARKS AND PROPERTY CORNERS. IN THE EVENT THE MONUMENTS, POINTS OR MARKERS ARE DISTURBED THE CONTRACTOR SHALL EMPLOY A FLORIDA REGISTERED LAND SURVEYOR TO RESET OR REPLACE THEM.
11. THE OWNER, OWNER'S AGENT AND INSPECTORS OF APPLICABLE GOVERNMENT JURISDICTIONS, SHALL AT ALL TIMES HAVE ACCESS TO THE WORK WHEREVER AND WHENEVER IT IS IN PREPARATION OR PROGRESS; AND THE CONTRACTOR SHALL PROVIDE PROPER FACILITIES FOR SUCH ACCESS AND FOR THE INSPECTION.
12. IT IS THE CONTRACTOR'S RESPONSIBILITY TO TAKE ALL REASONABLE AND PRUDENT PRECAUTIONS TO INSURE THAT ALL COMPLETED WORK, MATERIALS AND EQUIPMENT STORED ON SITE ARE SAFE AND SECURED FROM UNAUTHORIZED ACCESS, USE, THEFT, OR VANDALISM. SUCH PRECAUTIONS MAY INCLUDE INSTALLATION OF SIGNS, FENCES, OR POSTING OF SECURITY GUARDS.
13. CONTRACTOR SHALL, AT ALL TIMES, UTILIZE ALL NORMALLY ACCEPTED AND REASONABLY EXPECTED SAFETY PRACTICES AND COMPLY WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES AND GUIDELINES PERTAINING TO SAFE UTILIZATION OF EQUIPMENT OR MATERIALS AS PUBLISHED BY THEIR MANUFACTURER'S.
14. PRIOR TO INITIATING ANY EXCAVATION (INCLUDING BUT NOT LIMITED TO TUNNELS, DITCHES, STORM WATER PONDS, CANALS, ARTIFICIAL LAKES) CONTRACTOR SHALL INSTALL FENCES AND/OR TAKE ALL OTHER REASONABLE AND PRUDENT STEPS TO INSURE THAT ACCESS TO EXCAVATION BY UNAUTHORIZED PERSONNEL IS PREVENTED.
15. CONTRACTOR SHALL COMPLY IN EVERY RESPECT WITH THE PROVISIONS OF THE FLORIDA STATE TRENCH SAFETY ACT.
16. THE CONTRACTOR SHALL TAKE ALL REASONABLE PRECAUTIONS FOR THE SAFETY OF, AND SHALL PROVIDE ALL REASONABLE PROTECTION TO PREVENT DAMAGE, INJURY OR LOSS TO:
 - A. ALL EMPLOYEES ON THE WORK AND ALL OTHER PERSONS WHO MAY BE AFFECTED THEREBY;
 - B. ALL THE WORK AND ALL MATERIALS AND EQUIPMENT TO BE INCORPORATED THEREIN, WHETHER IN STORAGE ON OR OFF THE SITE, UNDER THE CARE, CUSTODY OR CONTROL OF THE CONTRACTOR OR ANY OF ITS SUBCONTRACTORS;
 - C. OTHER PROPERTY AT THE SITE OR ADJACENT THERETO, INCLUDING TREES, SHRUBS, LAWNS, WALKS, PAVEMENTS, ROADWAY, STRUCTURES AND UTILITIES NOT DESIGNATED FOR DEMOLITION IN THE COURSE OF CONSTRUCTION.
17. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE SAFETY CODES AND WITH ALL APPLICABLE LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC, QUASI PUBLIC OR OTHER AUTHORITY HAVING JURISDICTION FOR THE SAFETY OF PERSONS OR PROPERTY OR FOR THEIR PROTECTION AGAINST DAMAGE, INJURY OR LOSS, OR DESIGNED TO PROTECT THE ENVIRONMENT. THE CONTRACTOR SHALL ERECT AND MAINTAIN, AS REQUIRED BY EXISTING CONDITIONS AND PROGRESS OF THE WORK, ALL REASONABLE SAFEGUARDS FOR SAFETY AND PROTECTION, INCLUDING POSTING DANGER SIGNS AND OTHER WARNINGS AGAINST HAZARDS, PROMULGATING SAFETY REGULATIONS AND NOTIFYING OWNERS AND USERS OF ADJACENT UTILITIES OF THE EXISTENCE OF HAZARDS AND OF THE SAFETY REGULATIONS.
18. ALL DAMAGE OR LOSS TO ANY PROPERTY CAUSED IN WHOLE OR IN PART BY THE CONTRACTOR, A SUBCONTRACTOR, OR BY ANYONE FOR WHOSE ACTS ANY OF THEM MAY BE LIABLE, SHALL BE REMEDIED BY THE CONTRACTOR, EXCEPT DAMAGE OR LOSS PROPERLY ATTRIBUTABLE SOLELY TO THE ACTS OR OMISSIONS OF THE OWNER, OR THE ENGINEER OR ANYONE EMPLOYED BY THEM, OR FOR WHOSE ACTS ANY OF THEM MAY BE LIABLE, AND NOT PROPERLY ATTRIBUTABLE IN WHOLE OR IN PART, TO THE FAULT OR NEGLIGENCE OF THE CONTRACTOR.
19. THOSE PARTS OF WORK IN PLACE WHICH ARE SUBJECT TO DAMAGE BECAUSE OF OPERATIONS BEING CARRIED ON ADJACENT THERETO SHALL BE COVERED, BOARDED UP OR SUBSTANTIALLY ENCLOSED WITH ADEQUATE PROTECTION BY THE CONTRACTOR AT CONTRACTOR'S EXPENSE.
20. UNTIL FINAL ACCEPTANCE OF THE WORK BY OWNER, THE CONTRACTOR SHALL HAVE THE CHARGE AND CARE OF AND SHALL BEAR THE RISK OF INJURY OR DAMAGE, LOSS OR EXPENSE TO ANY PART THEREOF, OR TO ANY MATERIALS STORED ON SITE, BY THE ACTION OF THE ELEMENTS OR FROM ANY OTHER CAUSE WHETHER ARISING FROM THE EXECUTION OR NON-EXECUTION OF THE WORK. THE CONTRACTOR SHALL REBUILD, REPAIR, RESTORE AND MAKE GOOD ALL INJURIES OR DAMAGES TO ANY PORTION OF THE WORK OCCASIONED BY ANY OF THE ABOVE CAUSES BEFORE FINAL ACCEPTANCE AND SHALL BEAR THE EXPENSES THEREOF.
21. ADEQUATE TRAFFIC CONTROL, BARRICADES AND FLAGMAN SERVICES SHALL BE FURNISHED AND MAINTAINED BY THE CONTRACTOR AT ALL POINTS WHERE CONVEYING EQUIPMENT ENGAGED ON THE WORK REGULARLY ENTERS ONTO OR CROSSES TRAFFIC-CARRYING ROADS.
22. THE CONTRACTOR SHALL COMPLY IN EVERY RESPECT WITH THE FEDERAL OCCUPATIONAL HEALTH AND SAFETY ACT OF 1970 AND ALL RULES AND REGULATIONS NOW OR HEREAFTER IN EFFECT UNDER SAID ACT, AND THE CONTRACTOR FURTHER AGREES TO COMPLY WITH ANY AND ALL APPLICABLE STATE LAWS AND REGULATIONS PERTAINING TO JOB SAFETY AND HEALTH.
23. CONTRACTOR AND ITS SUBCONTRACTORS SHALL USE, HANDLE, TRANSPORT, AND DISPOSE OF ALL MATERIALS (HAZARDOUS OR OTHERWISE) IN COMPLIANCE WITH ALL PRESENT FEDERAL, STATE AND LOCAL ENVIRONMENTAL, HEALTH OR SAFETY LAWS, INCLUDING, BUT NOT LIMITED TO, ALL SUCH STATUTES, REGULATIONS, RULES, ORDINANCES, CODES, AND RULES OF COMMON LAW.

HANDICAP ACCESSIBILITY NOTES:

1. ALL CONSTRUCTION MUST MEET OR EXCEED ALL REQUIREMENTS AS OUTLINED IN THE AMERICANS WITH DISABILITIES ACT (ADA) AND THE FLORIDA ACCESSIBILITY CODE, MOST RECENT EDITIONS. BOTTOM OF CURB RAMP ELEVATION (B.O. RAMP) IS RELATIVE TO EACH CURB RAMP CONDITION. ACTUAL ELEVATIONS SHALL BE BASED ON EXISTING GRADE OF CURB FLOW LINE AT THE B.O. RAMPS.
2. TOP OF CURB ELEVATION ADJACENT TO B.O. RAMP = 0.50 FT. MAX. UNLESS OTHERWISE NOTED.
3. ADA REQUIREMENTS SUPERSEDE SPOT GRADES AT LOT LINES. CONTRACTOR TO CUT BACK SLOPE AT 3:1 OR FLATTER AS NEEDED FOR RAMP AND SIDEWALK CONNECTION.
4. REFER TO PLAN SHEETS AND SECTIONS FOR LOCATIONS AND SIDEWALK WIDTHS.
5. THE DETECTABLE WARNING STRIP SHALL CONSIST OF A 24 INCH WIDE TACTILE PATTERN OF RAISED TRUNCATED DOWNS (ALIGNED PATTERN). DOWNS SHALL HAVE A DIAMETER OF 0.9 INCH, A HEIGHT OF 0.2 INCH, AND A CENTER TO CENTER SPACING OF 2.35 INCHES. THE RAMP DETECTABLE WARNING STRIP SHALL BE CONTRASTING IN COLOR. THE MATERIAL USED TO PROVIDE CONTRAST SHALL CONTRAST BY AT LEAST 70%.
6. THE CROSS SLOPE OF RAMP SURFACES AND ADJACENT STREET GRADES SHALL BE NO MORE THAN 1:50 OR 2% MAXIMUM.
7. CURB RAMPS CONSTRUCTED BY THE CONTRACTOR SHALL MEET ALL CURRENT APPLICABLE A.D.A. REQUIREMENTS AND SHALL HAVE DETECTABLE WARNING COMPLYING WITH A.D.A. REQUIREMENTS. ACCESSIBILITY ROUTES SHALL MEET ALL APPLICABLE A.D.A. REQUIREMENTS.
8. CONTRACTOR TO REFER TO MUNICIPALITY DETAILS AS NEEDED.
9. DRIVEWAY/ROADWAY CROSS SLOPES AT CROSSWALKS SHALL BE MAXIMUM 2% PER ADA REQUIREMENTS.
10. SIDEWALK CROSS SLOPES SHALL BE MAXIMUM 2% PER ADA REQUIREMENTS.
11. CURB RAMP FLARES & LANDINGS SHALL MEET ADA REQUIREMENTS.
12. ACCESSIBLE ROUTE WITH RUNNING SLOPES GREATER THAN 1:20 IS A RAMP AND SHALL COMPLY WITH ADA RAMP REQUIREMENTS.
13. IT IS THE CONTRACTORS SOLE RESPONSIBILITY TO MEET ALL CURRENT ADA STANDARDS. CONTRACTOR SHALL REFER TO FDOT STANDARDS. (INDEX 304, MOST CURRENT EDITION)

RECORD DRAWING AS-BUILT REQUIREMENTS:


- AS-BUILT DRAWINGS SHALL BE PREPARED BY AND CERTIFIED (SIGNED AND SEALED) BY A REGISTERED SURVEYOR, AND SHALL BE PROVIDED TO THE ENGINEER OF RECORD UPON COMPLETION OF THE PROJECT SITE IMPROVEMENTS A MINIMUM OF 1 WEEK PRIOR TO CONTRACTORS ATTEMPT FOR FINAL CERTIFICATE OF OCCUPANCY (CO). AS-BUILT DRAWINGS SHALL REFLECT ANY CHANGES TO THE IMPROVEMENTS MADE DURING CONSTRUCTION AND MUST MEET THE MINIMUM REQUIREMENTS OF ALL REGULATORY AGENCIES HAVING JURISDICTION AS WELL AS THE CRITERIA OUTLINED BELOW. BOTH THE ORIGINAL DESIGN AND REVISED AS-BUILT DATA, AS APPLICABLE, MUST BE CLEARLY SHOWN. THE AS-BUILT DRAWINGS MUST BE CLEARLY LABELED AS AS-BUILT OR RECORD DRAWING. THE FOLLOWING INFORMATION, AT A MINIMUM, SHALL BE CERTIFIED ON THE AS-BUILT DRAWINGS:
- WATER DISTRIBUTION SYSTEM:
- A. LOCATION AND DIMENSIONS OF PIPES, VALVES, FITTINGS, CHANGE OF DIRECTION, AND OTHER ASSOCIATED FACILITIES.
- WASTEWATER COLLECTION/TRANSMISSION SYSTEM:
- A. LOCATION, DIMENSION, AND INVERT ELEVATIONS OF PIPES, MANHOLES (INCLUDING RIM ELEVATION), LIFTSTATION, FORCEMAIN, FITTINGS, CHANGE IN DIRECTION AND OTHER ASSOCIATED FACILITIES.
- PAVING AND DRAINAGE SYSTEM:
- A. DIMENSIONS AND ELEVATIONS OF ALL DISCHARGE STRUCTURES INCLUDING ALL WEIRS, SLOTS, GATES, PIPES, AND SKIMMERS;
 - B. LOCATIONS, DIMENSIONS, AND ELEVATIONS OF ALL FILTER, EXFILTRATION, OR UNDERDRAIN SYSTEMS INCLUDING CLEANOUTS, PIPES, CONNECTIONS TO CONTROL STRUCTURES, AND POINTS OF DISCHARGE TO THE RECEIVING WATERS;
 - C. DIMENSIONS, ELEVATIONS, CONTOURS, OR CROSS-SECTIONS OF ALL STORMWATER TREATMENT POND STORAGE AREAS SUFFICIENT TO DETERMINE STAGE-STORAGE RELATIONSHIPS OF THE STORAGE AREA, AND THE POND DEPTH AND VOLUME BELOW THE CONTROL WATER ELEVATION FOR NORMALLY WET SYSTEMS;
 - D. DIMENSIONS, ELEVATIONS, CONTOURS, FINAL GRADES, OR CROSS-SECTIONS OF THE DRAINAGE SYSTEM IMPROVEMENTS TO DETERMINE FLOW DIRECTIONS AND CONVEYANCE OF RUNOFF TO THE TREATMENT SYSTEM;
 - E. DIMENSIONS, ELEVATIONS, CONTOURS, FINAL GRADES, OR CROSS-SECTIONS OF ALL CONVEYANCE SYSTEMS UTILIZED TO CONVEY OFF-SITE RUNOFF AROUND THE SYSTEM;
 - F. EXISTING WATER ELEVATION OF SURFACE WATERS AND THE DATE DETERMINED;
 - G. ELEVATION AND LOCATION OF BENCHMARK'S FOR THE SURVEY.
- ADA FACILITIES:
- A. ELEVATIONS AT THE FOUR CORNERS OF ALL HANDICAP PARKING SPACES AND ADJACENT LOADING AISLES.
 - B. ELEVATIONS AND LOCATIONS FOR ALL ACCESSIBLE RAMPS WHICH ADEQUATELY REFLECT THE BUILT SLOPES.
 - C. ELEVATIONS AND LOCATIONS ALONG THE PATHS OF CONVEYANCE FOR PEDESTRIAN TRAFFIC AND ALL ADA ACCESSIBLE ROUTES EVERY 25 FT. WHICH ADEQUATELY REFLECT THE SLOPE AND CROSS SLOPE.

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NO.	REV.	DATE	DESCRIPTION
	A		
	B		
	C		
	D		
	E		
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	G		
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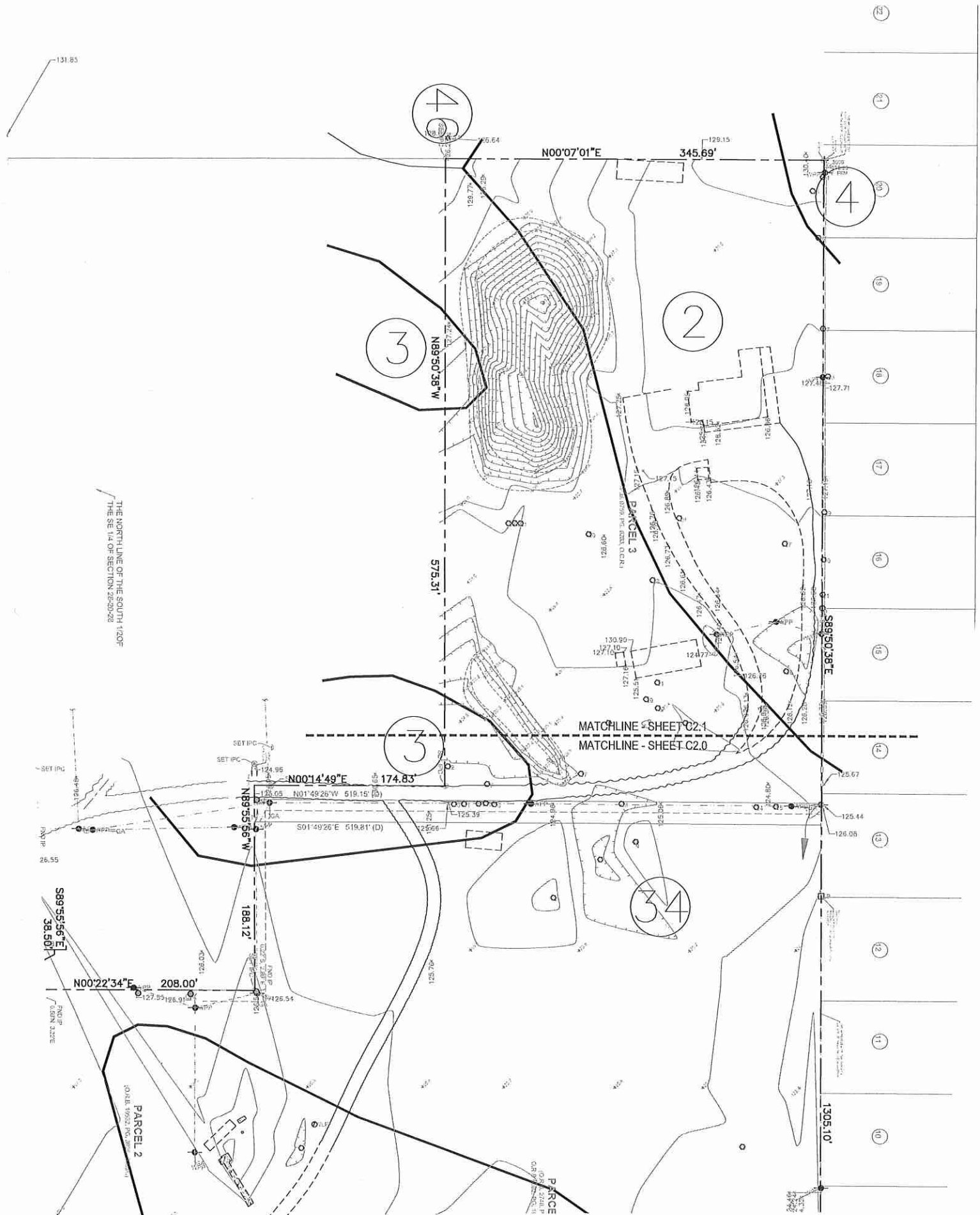
WOHLFARTH CONSULTING GROUP LLC ENGINEERS & PLANNERS		245 N. WESTMONTPE DRIVE ALTA MONTE SPRINGS, FL 32714 (407) 750-3123
GENERAL NOTES		

SCALE	N/A
PROJECT	2017-011
SHEET	C-2.0
DRAWN:	D.M.
DESIGNED:	
CHECKED:	R.W.
DATE:	3/12/2018

 LAND DEVELOPMENT & ENGINEERING SERVICES	
BUSINESS NO. 32108	

6/2018

NOT TO BE FILED FOR RECORD UNLESS SIGNED AND SEALED BY THE ORIGINAL ENGINEER OR ARCHITECT WITH THE ORIGINAL SEAL OF PROFESSIONAL QUALIFICATIONS, FLORIDA P.E. # 1286



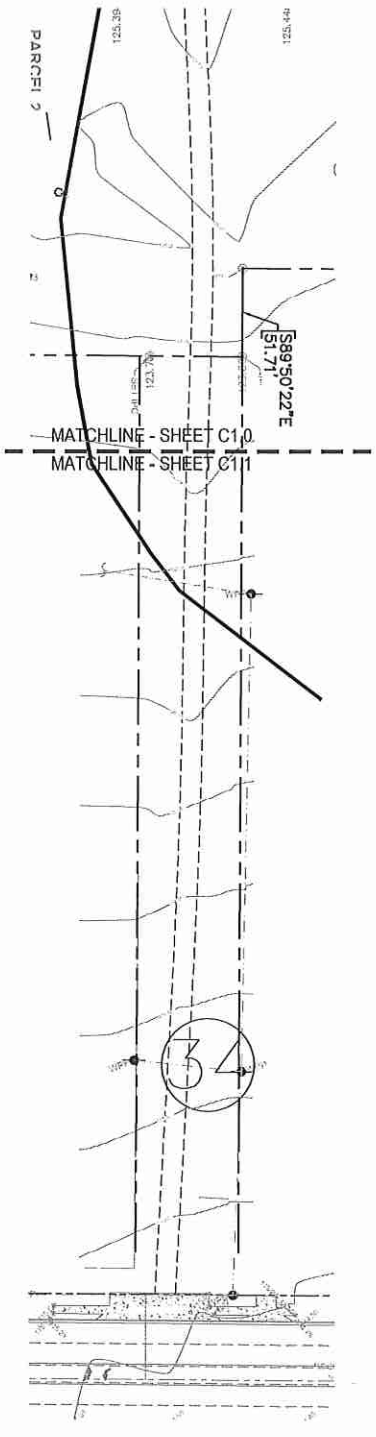
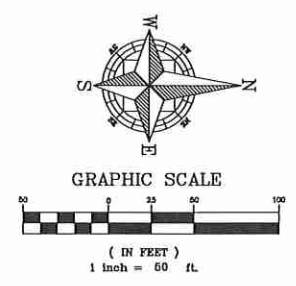
TREE IMPACT SCHEDULE			
1 24" Live Oak	Side Yard of Lot 45	Save	
2 15" Live Oak	In Lake	Remove	
3 28" Live Oak	In Backyard Lot 18	Save	
4 40" Laurel Oak	At Lester Entrance	Remove	Tree shows distress and has signs of tree rot
5 38" Laurel Oak	At Lester Entrance	Remove	Tree shows distress and has signs of tree rot
6 12" Maple	Lot 59	Remove	
7 10" Live Oak	In Road	Remove	Tree appears to be dead
8 8" Live Oak	Unit 96	Remove	
9 16" Live Oak	Unit 96	Remove	
10 10" Laurel Oak	Open Space and Buffers near Lots 60 and 61	Save	Clean-up and trim tree
11 10" Laurel Oak	Open Space and Buffers near Lots 60 and 61	Save	Clean-up and trim tree
12 15" Laurel Oak	Open Space and Buffers near Lots 60 and 61	Save	Clean-up and trim tree
13 Sabal Palm	Open Space and Buffers near Lots 60 and 61	Save	Clean-up and trim tree
14 6" Laurel Oak	Open Space and Buffers near Lots 60 and 61	Save	Clean-up and trim tree
15 6" Laurel Oak	Open Space and Buffers near Lots 60 and 61	Save	Clean-up and trim tree
16 8" Laurel Oak	Open Space and Buffers near Lots 60 and 61	Save	Clean-up and trim tree
17 15" Mahogany	Unit 61	Remove	
18 15" Sable Palm	Lot 59	Relocate to 30' Buffer	
19 18" Laurel Oak	Lot 62	Remove	
20 30" Laurel Oak	Road	Remove	
21 Twin Chinese Palms		Relocate to 30' Buffer	
22 Sable Palms		Relocate to 30' Buffer	
23 34" Laurel Oak	Lot 87	Save	
24 Sable Palm	Between Lot 88 and 89	Relocate to 30' Buffer	
25 Twin Laurel Oaks	Between Lot 88 and 89	Save	
26 30" Laurel Oak	Lot 85	Save	
27 24" Laurel Oak	Lot 82	Save	
28 36" Laurel Oak	Road	Remove	
29 40" Laurel Oak	Lot 82	Remove	
30 36" Laurel Oak	Lot 66	Remove	
31 Sabal Palm	Lot 67	Relocate to 30' Buffer	
32 Sabal Palm	Lot 67	Relocate to 30' Buffer	
33 Sabal Palm	Lot 67	Relocate to 30' Buffer	
34 Sabal Palm	Lot 67	Relocate to 30' Buffer	
35 Sabal Palm		Relocate to 30' Buffer	
36 Sabal Palm		Relocate to 30' Buffer	
37 Sabal Palm		Relocate to 30' Buffer	
38 Sabal Palm		Relocate to 30' Buffer	
39 Sabal Palm		Relocate to 30' Buffer	
40 Sabal Palm		Relocate to 30' Buffer	
41 Sabal Palm		Relocate to 30' Buffer	
42 48" Live Oak	In Lot 111	Remove	See if lots can be shifted south to save trees
43 43" Live Oak	Between Lots 1 and 2	Save	See if lots can be shifted south to save trees
44 48" Live Oak	Entrance to Recreation Ar	Save	Tree shows distress and has signs of tree rot. Need to see what can be done to save tree
45 12-30" Cluster of Oak	In Lot 111	Partial Removal	Trees are worth saving. Shift Lots 103 to 111 North to avoid trees

LEGEND	
	EXISTING FLOOD ZONE A
	EXISTING SOILS
	EXISTING TOPOGRAPHIC CONTOUR
	EXISTING WETLAND
	BORING/NUMBER

USDA-NRCS SOILS, ORANGE COUNTY, FLORIDA

SOIL SYMBOL	NAME
2	ARCHBORD FINE SAND, 0 TO 5 PERCENT SLOPES
3	BASINGER FINE SAND, 5 TO 1 PERCENT SLOPES
4	CANDLER FINE SAND, 0 TO 5 PERCENT SLOPES
34	POMELLO FINE SAND, 0 TO 5 PERCENT SLOPES
46	TAVARES FINE SAND, 0 TO 5 PERCENT SLOPES

SURVEY PROVIDED BY WC GROUP, LLC DATED 10/12/2017
 VERTICAL DATUM OF 1988 (NAVD 88); BENCHMARK OF ORIGIN;
 ORANGE COUNTY ENGINEERING DEPARTMENT, BENCHMARK "L137003",
 EL 116.00 (NAVD88) AND BENCHMARK "L1305017", EL=116.00
 (NAVD88)



WOHLFARTH CONSULTING GROUP LLC ENGINEERS & PLANNERS 246 N. WESTMONTE DRIVE ALAMONTE SPRINGS, FL 32714 (407) 750-3123	
SAN SEBASTIAN RESERVE ORANGE COUNTY, FLORIDA EXISTING CONDITIONS PLAN NORTH	
DRAWN: DM DESIGNED: RW CHECKED: RW DATE: 3/12/2018	SCALE: 1"=50' PROJECT: 2017-011 SHEET: C-3.0
BUSINESS NO. 32108	

**ROCKS SPRINGS
BORE LOCATIONS**

LOCATION	NORTHING	EASTING	ELEVATION(FT)
BORE 1	1,592,587.73	492,245.40	126.10
BORE 2	1,592,625.33	492,073.20	126.38
BORE 3	1,592,812.91	492,321.64	124.64
BORE 4	1,592,706.77	492,002.90	127.15
BORE 5	1,592,903.59	491,878.33	127.34
BORE 6	1,592,906.16	492,066.85	126.45
BORE 7	1,592,985.89	492,245.94	124.96
BORE 8	1,593,127.04	491,830.28	127.75
BORE 9	1,593,097.27	492,030.69	126.71
BORE 10	1,593,235.52	492,286.63	124.63
BORE 11	1,593,267.97	491,971.49	126.58
BORE 12	1,593,366.33	492,192.76	125.72
BORE 13	1,593,548.00	492,263.33	124.47
BORE 14	1,593,467.88	491,992.11	125.85
BORE 15	1,593,481.66	491,776.12	125.88
BORE 16	1,593,678.38	492,005.63	124.88
BORE 17	1,593,751.71	491,772.95	124.98
BORE 18	1,593,681.04	491,557.52	124.93
BORE 19	1,593,729.87	491,291.82	127.87
BORE 20	1,593,581.27	491,339.41	125.35
BORE 21	1,593,659.11	491,087.71	127.93

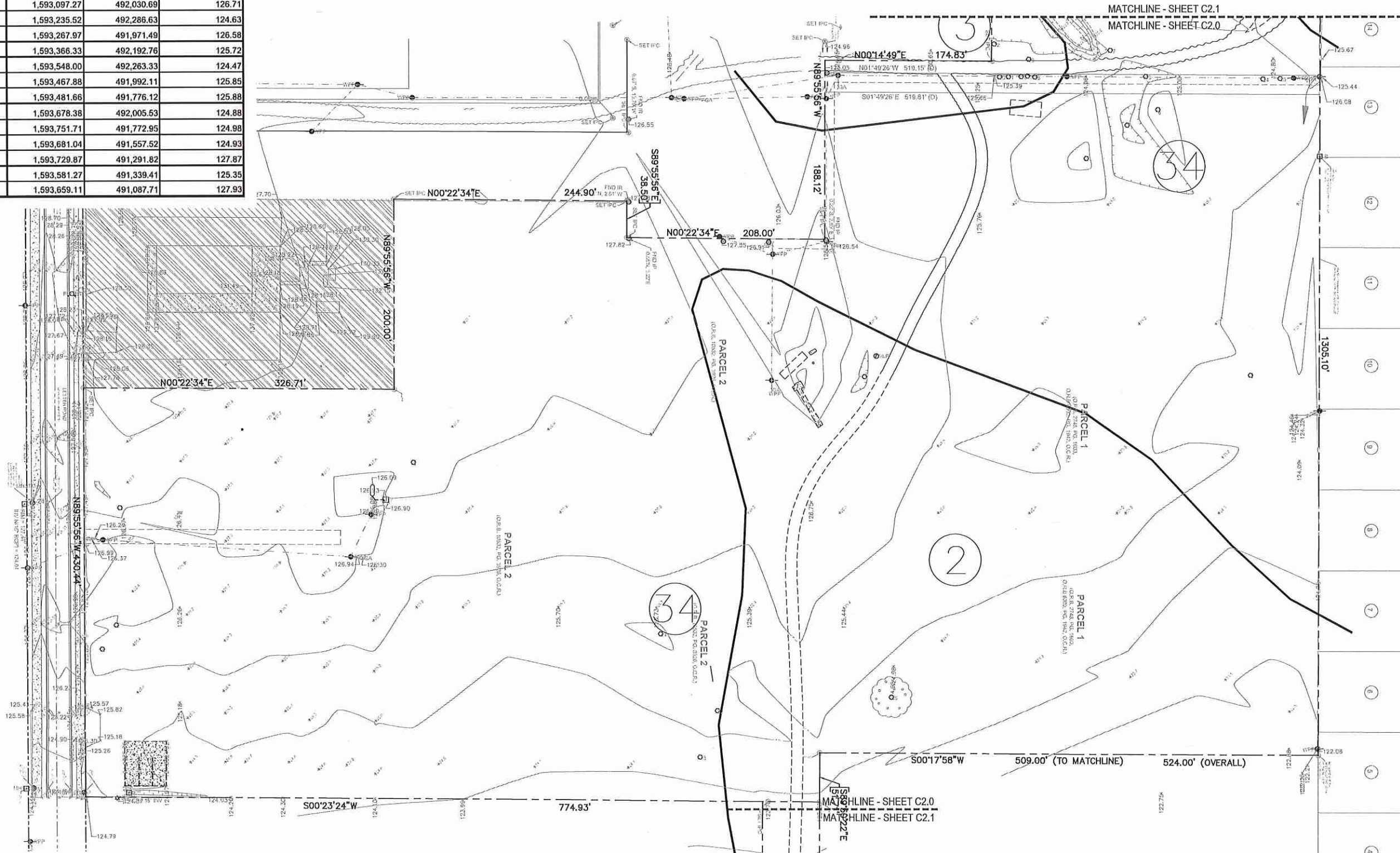
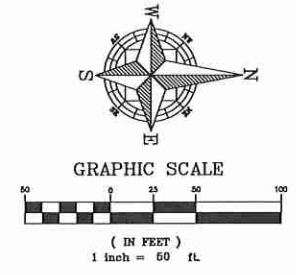
LEGEND

- EXISTING FLOOD ZONE A
- EXISTING SOILS
- 90.00 EXISTING TOPOGRAPHIC CONTOUR
- EXISTING WETLAND
- BORING/NUMBER

USDA-NRCS SOILS, ORANGE COUNTY, FLORIDA

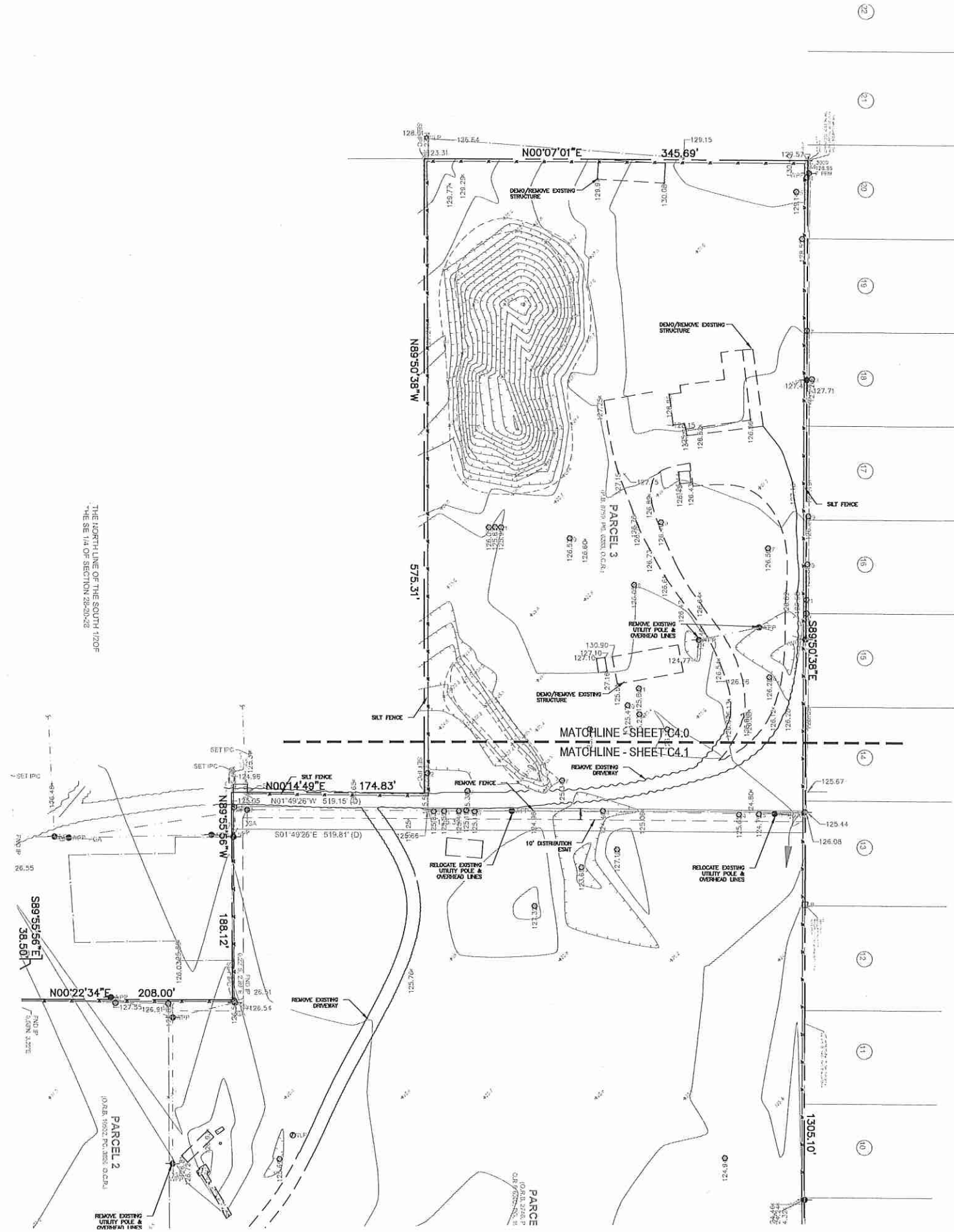
SOIL SYMBOL	NAME
2	ARCHBORD FINE SAND, 0 TO 5 PERCENT SLOPES
3	BASINGER FINE SAND, 5 TO 1 PERCENT SLOPES
4	CANDLER FINE SAND, 0 TO 5 PERCENT SLOPES
34	POMELLO FINE SAND, 0 TO 5 PERCENT SLOPES
46	TAVARES FINE SAND, 0 TO 5 PERCENT SLOPES

SURVEY PROVIDED BY WC GROUP, LLC DATED 10/12/2017
 VERTICAL DATUM OF 1988 (NAVD 88); BENCHMARK OF ORIGIN;
 ORANGE COUNTY ENGINEERING DEPARTMENT, BENCHMARK "L137003",
 EL. 116.00 (NAVD88) AND BENCHMARK "L1305017", EL.=116.00
 (NAVD88)

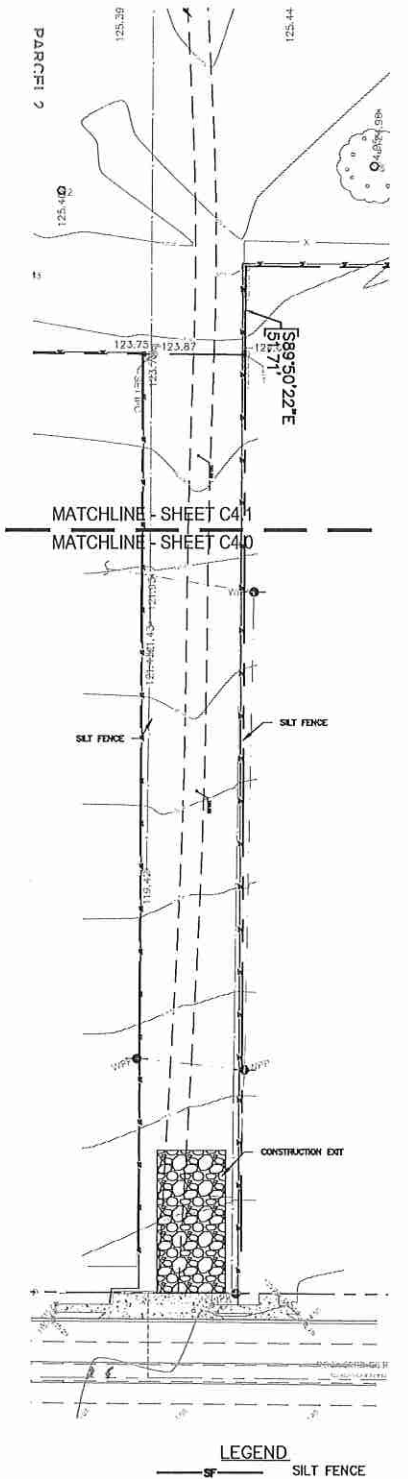
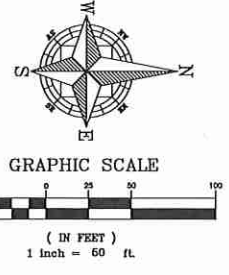


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WOHLFARTH CONSULTING		GROUP LLC		ENGINEERS & PLANNERS		945 N. WESTLAKE DRIVE ALFAMORTE SPRINGS, FL 32714 (407) 750-3123	
SAN SEBASTIAN RESERVE ORANGE COUNTY, FLORIDA		EXISTING CONDITIONS PLAN SOUTH		DATE: 3/12/2018		SHEET: C-3.1	
SCALE: 1"=50'		PROJECT: 2017-011		CHECKED: RW		DRAWN: DM	
DESIGNED: [Blank]		SHEET: C-3.1		DATE: 3/12/2018		DESCRIPTION: [Blank]	
BUSINESS NO. 32108				LAND DEVELOPMENT & ENGINEERING SERVICES		6/20/18	



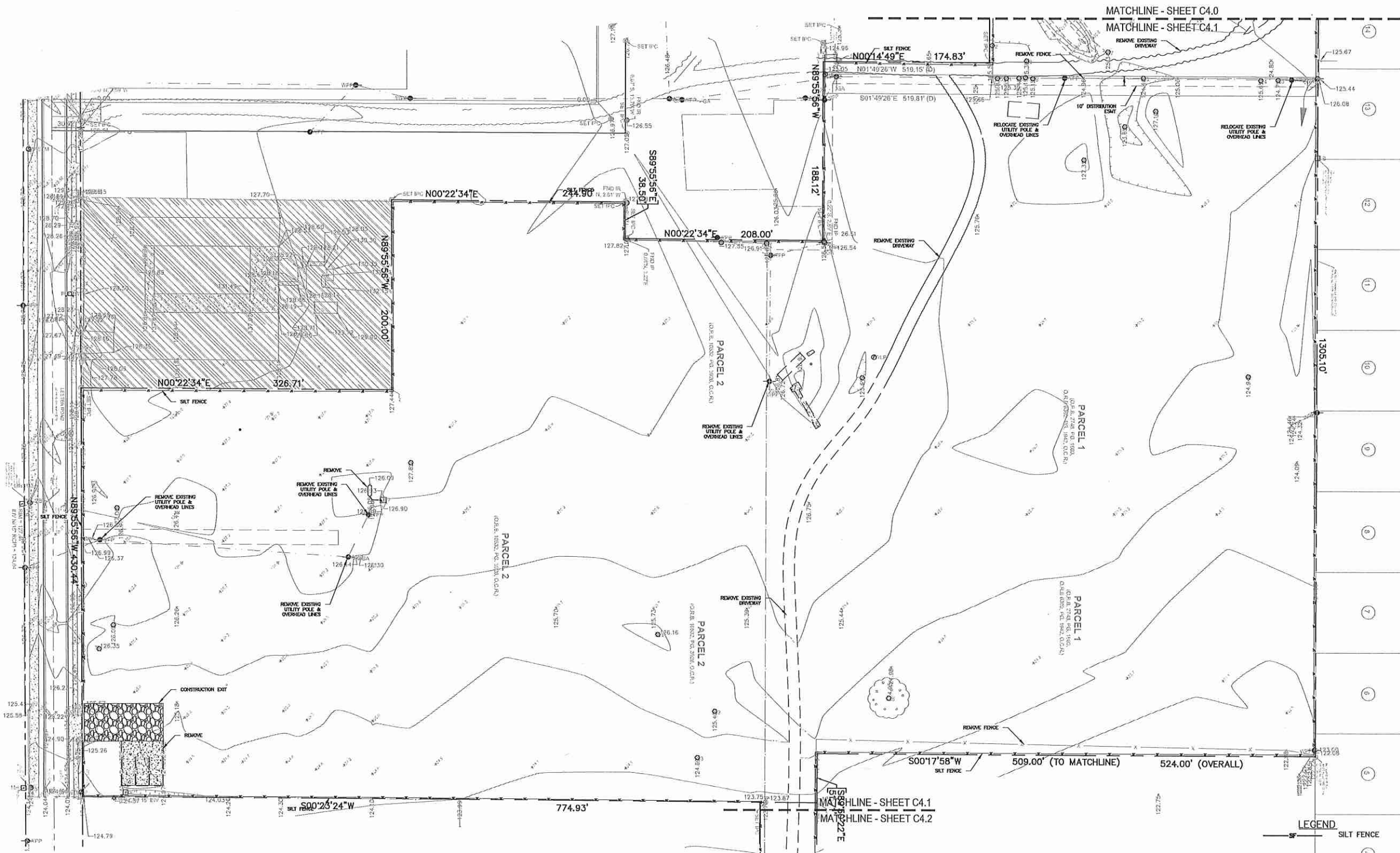
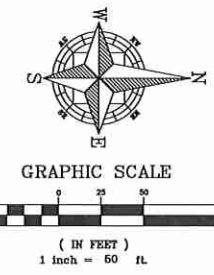
THE NORTH LINE OF THE SOUTH 1/2 OF THE SE 1/4 OF SECTION 28, 20, 22



LEGEND
SILT FENCE

WOHLFARTH CONSULTING GROUP LLC ENGINEERS & PLANNERS 248 N. WESTMONTE DRIVE ALTA MONTE SPRINGS, FL 32714 (407) 760-3123		SAN SEBASTIAN RESERVE ORANGE COUNTY, FLORIDA		EROSION CONTROL PLAN NORTH		
		SCALE: 1"=50' PROJECT: 2017-0111 SHEET: C-4.0	DRAWN: DM DESIGNED: DM CHECKED: RW DATE: 3/12/2018	BUSINESS NO. 32108 6/20/18		NOT TO BE USED FOR REPRODUCTION OR FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF WOHLFARTH CONSULTING GROUP LLC FLORIDA # 26344
REV.	DATE	DESCRIPTION	BY			

C:\Users\Dennis Murray\Desktop\Rick Wohlforth\San Sebastian\DWG\Construction Plans\2017-01-CA.0 - Erosion Control Plans.dwg Plotted: 5/20/2018 By: dennis murray



REV	DATE	DESCRIPTION

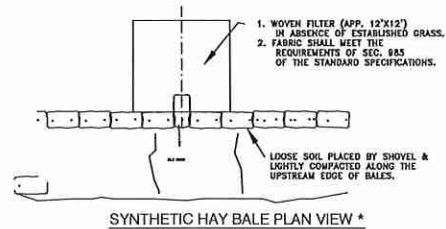
WOHLFARTH CONSULTING GROUP LLC ENGINEERS & PLANNERS		245 N. WESTMONTA DRIVE ALTIMONTE SPRINGS, FL 32714 (407) 750-3123	
SAN SEBASTIAN RESERVE ORANGE COUNTY, FLORIDA		EROSION CONTROL PLAN SOUTH	
SCALE: 1"=50'	PROJECT: 2017-011	CHECKED: RW	DATE: 3/12/2018
DRAWN: DM	DESIGNED: ---	CHECKED: RW	DATE: 3/12/2018
SHEET: C-4.1		BUSINESS NO. 32108	

8/2018
NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER.

EROSION CONTROL NOTES

DURING ALL PHASES OF CONSTRUCTION THE SITE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL EXERCISE MEASURES TO PREVENT THE EROSION OF SOILS DUE TO THE ACTION OF THE WATER AND WIND. THE CONTRACTS SHALL USE THE FOLLOWING MEASURES TO ACCOMPLISH THIS OBJECTIVE:

- A. SURFACE PROTECTION**
 - CLEARING SHALL BE LIMITED SO AS TO EXPOSE THE SMALLEST POSSIBLE AREA OF LAND FOR THE SHORTEST POSSIBLE TIME.
 - EXPOSED AREAS SHALL BE IMMEDIATELY GRADED AND PROTECTED WITH TEMPORARY OR PERMANENT COVER, SUCH AS SOD, SEED AND MULCH, CROWFATCH, LESPEDEZA OR CREEPER. NEWLY GRADED CHANNELS OR STEEP SLOPES WILL REQUIRE THE USE OF FIBROUS MATTING, NETTING OF SEEDED AND MULCHED AREAS, OR THE STAKING OR SHINGLING OF SOD WHILE VEGETATION IS BECOMING ESTABLISHED.
- B. RUN-OFF CONTROL**
 - LONG AND/OR STEEP SLOPES WILL REQUIRE CONTOUR BENCHING AND FURROWING, OR BERMS TO REDUCE RUN-OFF VELOCITIES.
- C. SEDIMENT TRAPPING**
 - THE TRAPPING OF ERODED PARTICLES WILL BE ACCOMPLISHED BY THE DIVERSION OF RUN-OFF TO SEDIMENT BASINS, EXCAVATION TRAPS, BERMS, STAKED SYNTHETIC HAY BALES, OR FLOATING SILT CURTAINS.
 - THE PROPOSED RETENTION AND/OR DETENTION POND(S) ALONG WITH ANY ENVIRONMENTAL BERM(S)/REAR YARD SWALE(S) SHALL BE CONSTRUCTED FIRST. THE POND(S) AND OUTFALL STRUCTURE(S) MUST BE COMPLETE AND OPERATIONAL PRIOR TO THE PLACEMENT OF ANY IMPERVIOUS SURFACE.
 - TRAPPING DEVICES SHALL BE PERIODICALLY INSPECTED DURING DRY PERIODS AND AFTER EACH RAINFALL EVENT BY THE SITE CONTRACTOR. TRAPPING DEVICES SHALL BE REPLACED IF DETERMINED TO BE INCAPABLE OF PERFORMING INTENDED FUNCTION OF SEDIMENT TRAPPING.
 - TRAPPING DEVICES SHALL REMAIN IN PLACE UNTIL A VEGETATIVE COVER HAS ESTABLISHED SUFFICIENTLY TO STABILIZE THE SOILS AND PREVENT EROSION.
- D. SOIL MOISTURE**
 - THE CONTRACTOR SHALL HAVE AVAILABLE ON THE CONSTRUCTION SITE A WATER SOURCE CAPABLE OF APPLYING WATER TO DRY EXPOSED SOIL IN ORDER TO PREVENT WIND EROSION. THE APPLICATION RATE AND MANNER SHALL BE SUCH THAT SOIL MOISTURE IS ATTAINED AND NO SURFACE RUN-OFF IS CREATED.
- E. RESPONSIBILITY**
 - THE CONTRACTOR SHALL BE HELD RESPONSIBLE UNTIL THE CERTIFICATE OF COMPLETION IS ISSUED. AFTER THAT, THE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE OF THE STORMWATER COLLECTION AND RETENTION SYSTEM.



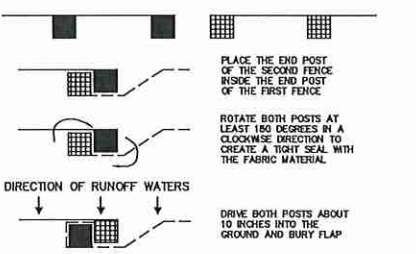
CITY OF APOPKA
DESIGN ENGINEERING DIVISION

APRIL 2001

FIG. 603

- GENERAL NOTES:**
- SEDIMENT SHALL BE REMOVED AND TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WITH THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP.
 - REMOVED SEDIMENT SHALL BE DEPOSITED IN A STABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
 - THE STRUCTURE SHALL BE INSPECTED AFTER EACH STORM EVENT BY THE FINANCIALLY RESPONSIBLE PARTY OR HIS AGENT AND REPAIRS MADE AS NECESSARY.
 - CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION ARE MINIMIZED.
 - THE SEDIMENT TRAP SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE BASIN HAS BEEN PROPERLY STABILIZED.

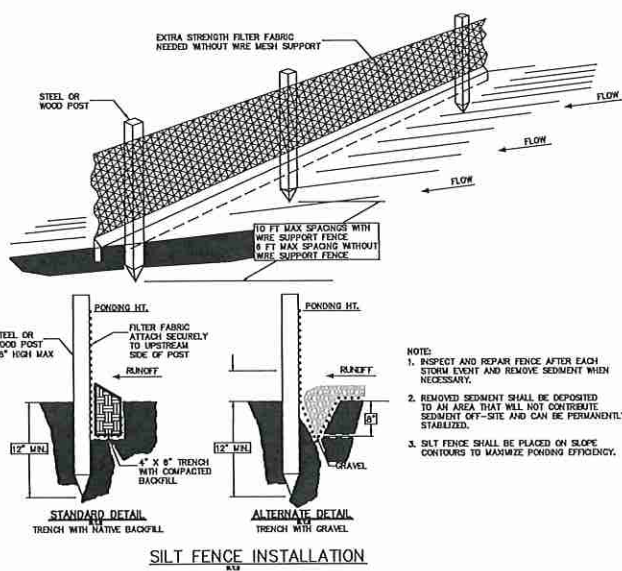
SYNTHETIC HAY BALE ELEVATION VIEW *



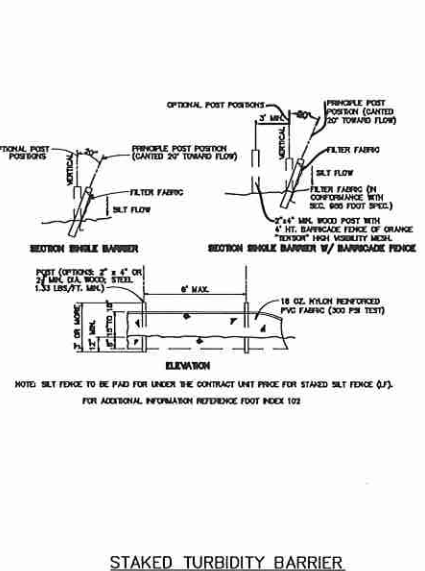
SILT FENCE ATTACHMENT DETAIL

CONSTRUCTION SEQUENCE

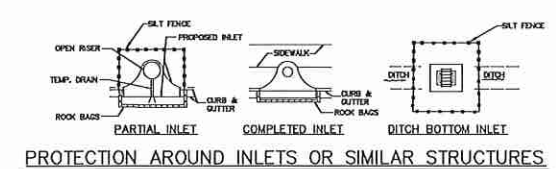
- SET UP ON-SITE PRE-CONSTRUCTION CONFERENCE WITH CITY/COUNTY & ENGINEER.
- INSTALL SILT FENCE, INLET PROTECTION, SEDIMENT TRAPS, DIVERSION DITCHES, TREE PROTECTION, AND OTHER MEASURES AS SHOWN ON PLANS, CLEARING ONLY AS NECESSARY TO INSTALL THESE DEVICES.
- THE CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES. CONTACT CYCORP ENGINEERING IF ADDITIONAL MEASURES ARE REQUIRED DUE TO SITE SPECIFIC CONDITIONS.
- STABILIZE SITE AS AREAS ARE BROUGHT TO FINISHED GRADE.
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY/COUNTY AND THE WATER MANAGEMENT DISTRICT, AND NPDES CRITERIA.



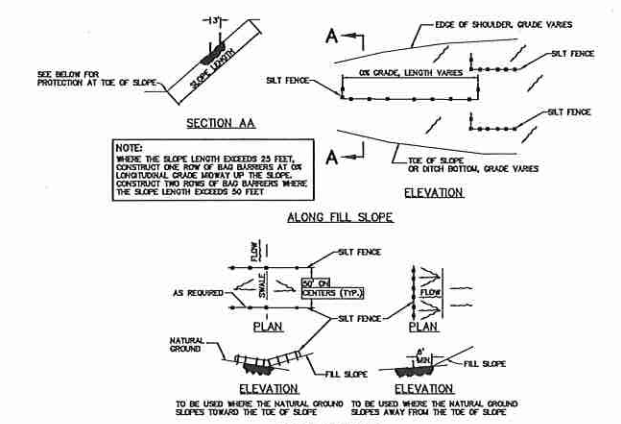
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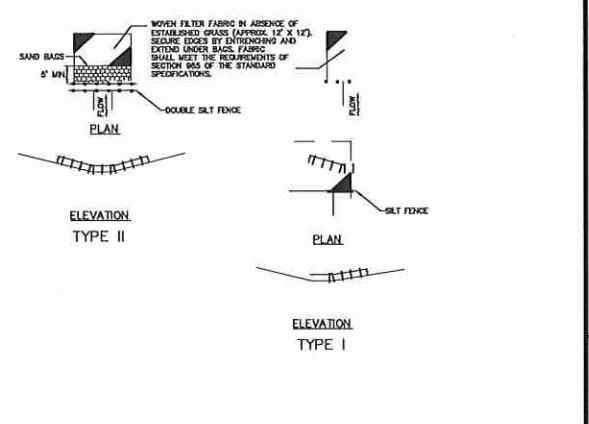
STAKED TURBIDITY BARRIER



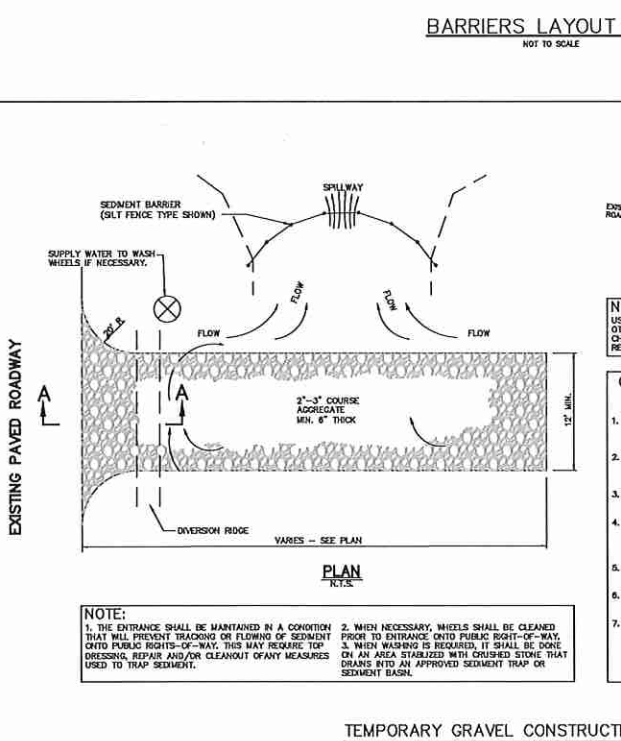
PROTECTION AROUND INLETS OR SIMILAR STRUCTURES



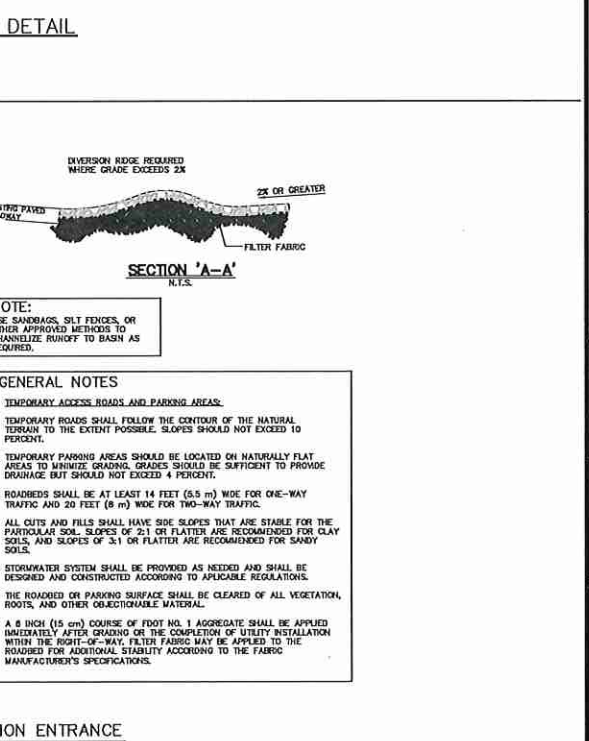
BARRIERS FOR FILL SLOPES



BARRIERS FOR UNPAVED DITCHES



TEMPORARY GRAVEL CONSTRUCTION ENTRANCE

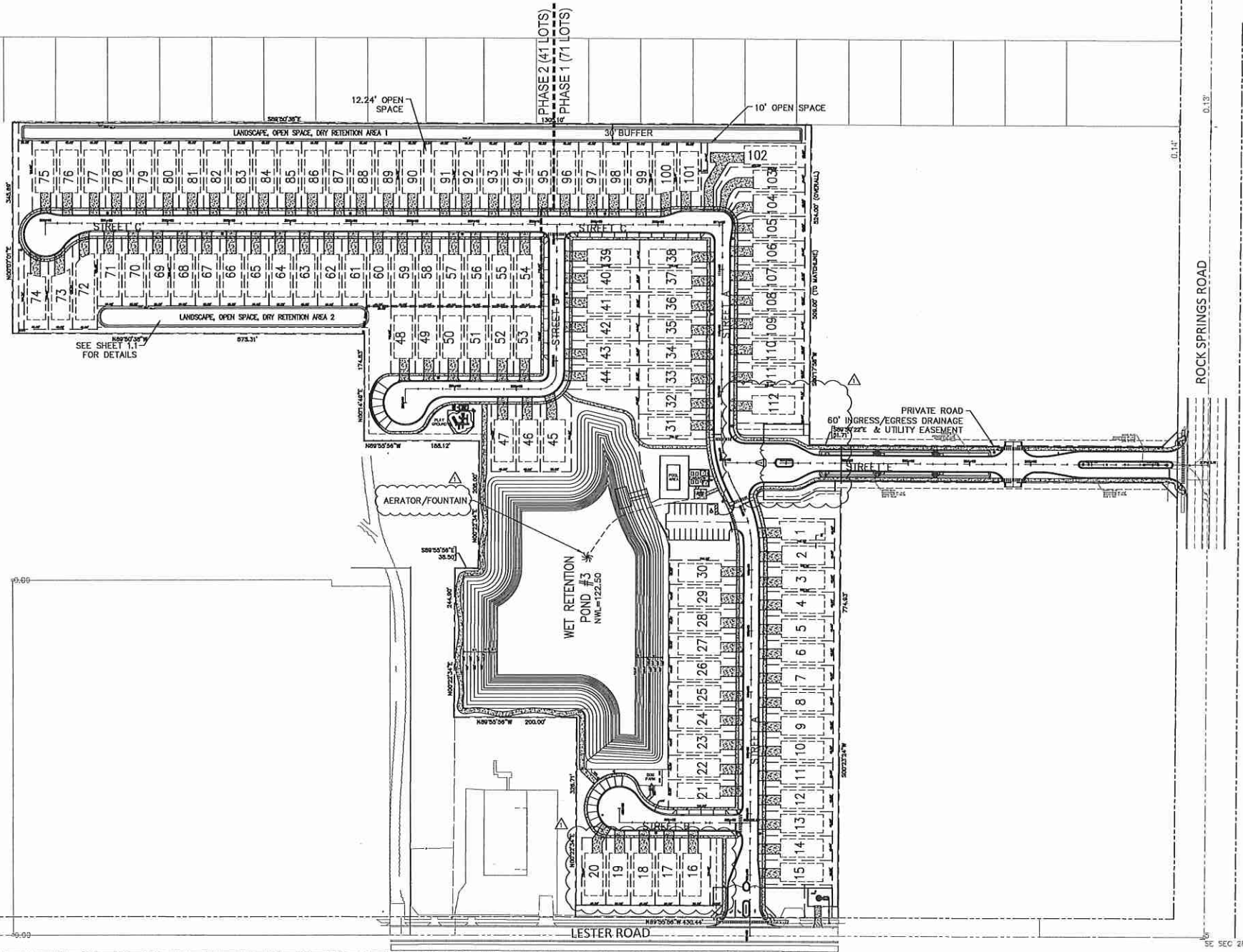


BARRIERS LAYOUT DETAIL

SCALE	N/A	PROJECT	2017-011	SHEET	C-4.2
DRAWN	DM	DESIGNED	DM	CHECKED	DM
<p>WORLDWIDE CONSULTING GROUP LLC ENGINEERS & PLANNERS 246 N. WESTMONTA DRIVE ALTA MONTE SPRINGS, FL 32714 (407) 750-3123</p>					
<p>SAN SEBASTIAN RESERVE ORANGE COUNTY, FLORIDA</p>					
<p>EROSION CONTROL DETAILS</p>					
<p>DATE: 3/12/2018</p>					
<p>BUSINESS NO. 32108</p>					
<p>6/20/18</p>					

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SITE DATA:

PARCEL IDENTIFICATION NUMBER: 28-20-28-0000-00-077
 28-20-28-0000-00-040
 28-20-28-0000-00-064

EXISTING FUTURE LAND USE (CITY): LOW MEDIUM DENSITY (5 UNITS PER ACRE)

EXISTING ZONING: PD (CITY)

ADJACENT FUTURE LAND USE: NORTH: LD (COUNTY)
 SOUTH: LM (COUNTY)
 EAST: A-1 (COUNTY)
 WEST: RLS (CITY)

ADJACENT EXISTING ZONING: NORTH: R1A(COUNTY)
 SOUTH: RT (COUNTY)
 EAST: A-1 (COUNTY)
 WEST: A-1 (CITY)

PARCEL GROSS AREA: 23.14 AC
 BUILDABLE AREA: 22.82 AC

OPEN SPACE CALCULATION: OPEN SPACE AREA: 309,283 SF OR 7.01 AC (31.12%)

PROPOSED LOT DIMENSIONS:
 -MIN. LOT SIZE: 4,400 SQ. FT.
 -MIN. LOT WIDTH: 40 FT.
 -MIN. LOT DEPTH: 110 FT.

TOTAL NUMBER OF LOTS: 112
 MINIMUM LIVING AREA (UNDER HEAT AND A/C): 1,600 SQ. FT.

DENSITY: - NO. OF UNITS: 112
 - UNITS/ACRE: 4.90 DU/AC

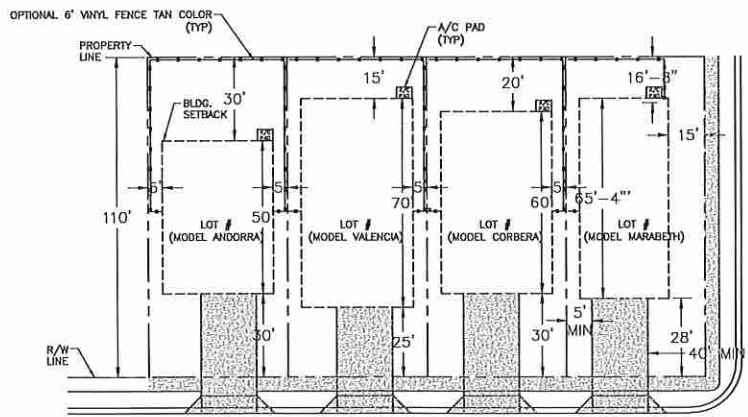
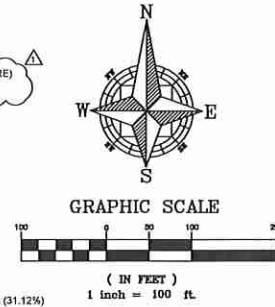
BUILDING SETBACKS: FRONT: 25' (SEE TYPICAL LOT DETAIL, THIS SHEET)
 REAR: 45'
 SIDE: 5'
 SIDE STREET: 15'

PROJECTED SCHOOL AGE POPULATION: 49 STUDENTS
 (112 UNITS X 0.431)

PROJECT PHASING:
 PHASE I JUNE 2018 - NOVEMBER 2018
 PHASE II MAY 2019 - SEPTEMBER 2019

PARKING CALCULATIONS:
 REQUIRED PARKING:
 2 SPACES PER UNIT = 2*112 = 224 SPACES

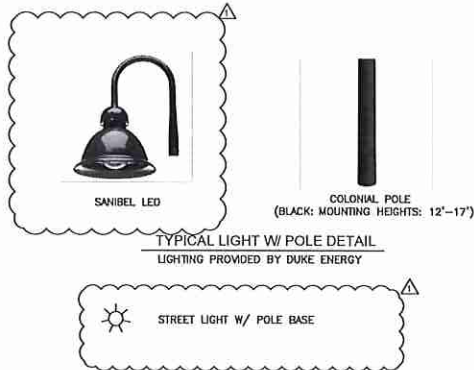
PROVIDED PARKING:
 2 SPACES PER DRIVEWAY = 2*112 = 224 SPACES
 2 CAR GARAGE = 2*112 = 224 SPACES
 COMMUNITY/GUEST PARKING = 57 SPACES - 1/2 SPACE/UNIT



NO DRIVEWAY SHALL BE CLOSER THAN 5' TO ANY PROPERTY LINE AND 40' FROM THE CENTERLINE OF ANY INTERSECTION

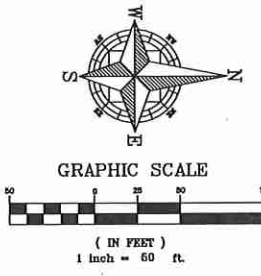
TYPICAL LOT DETAIL
 N.T.S.

THE EXACT LOCATION OF A/C PAD ALONG THE REAR OF THE BUILDING WILL BE SHOWN ON THE BUILDING PERMIT SUBMISSION.

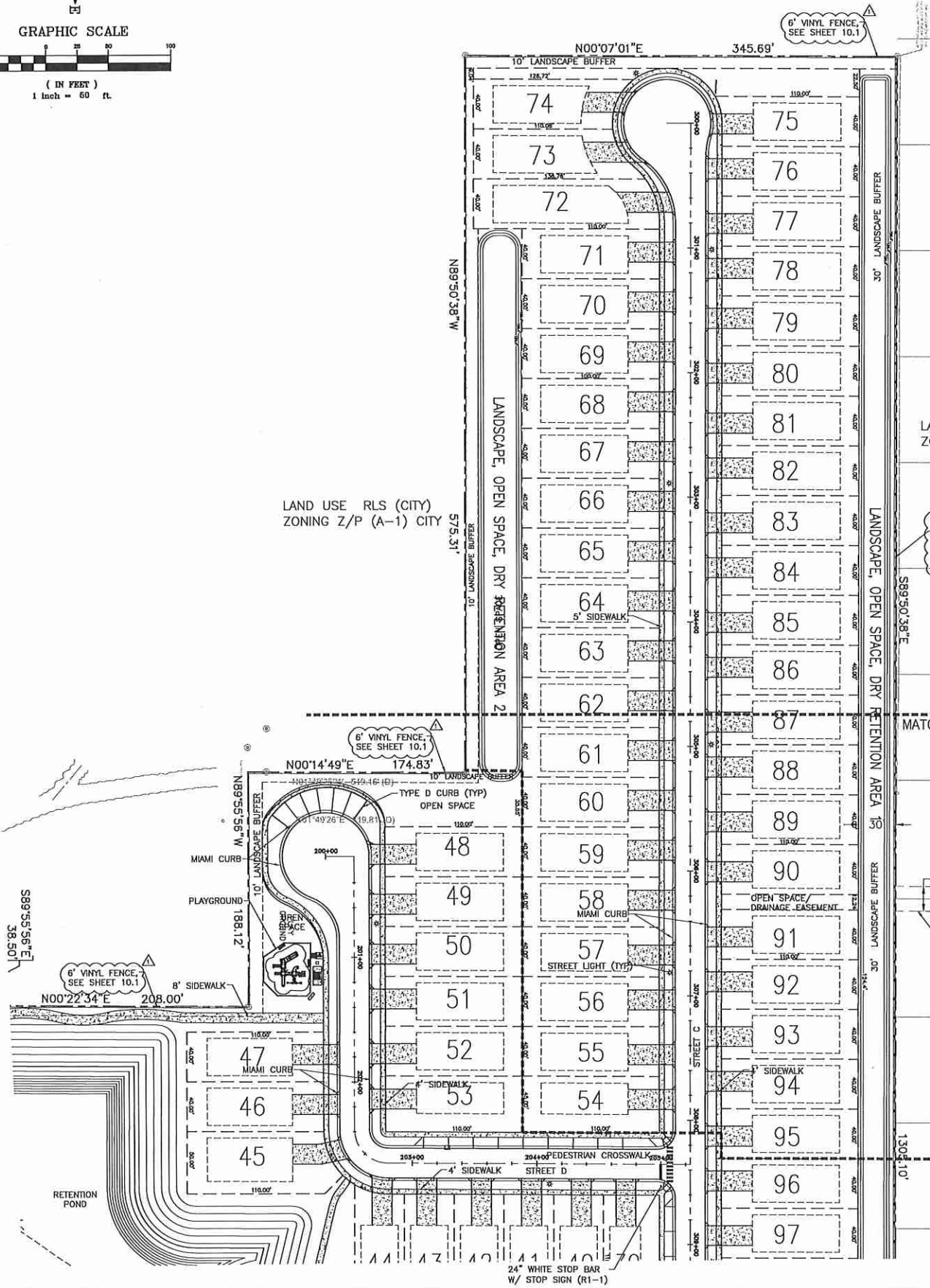


- GENERAL NOTES:**
- 1) AN ORANGE COUNTY R/W PERMIT WILL BE REQUIRED FOR THE CONNECTION TO ROCK SPRINGS ROAD. THE CONNECTION SHALL BE DESIGNED IN COMPLIANCE WITH ORANGE COUNTY REQUIREMENTS.
 - 2) FULL LANDSCAPE AND IRRIGATION PLANS SHALL BE DESIGNED IN ACCORDANCE WITH CITY ORDINANCE NO. 2069.
 - 3) POOLS ARE NOT PERMITTED IN REAR YARD AREAS THAT ARE 15' OR LESS. THE MINIMUM REAR YARD FOR A POOL SHALL BE 20'.
 - 4) THE PRIVATE ROAD EASEMENT SHALL BE DEDICATED TO THE PUBLIC UPON THE REQUEST OF THE CITY OF APOPKA.
 - 5) THE CABANA BATH WILL BE SERVED BY REGULAR CONTAINER PICK-UP. TYPE F CURB AND GUTTER SHALL BE USED IN ALL OTHER AREAS.
 - 6) ALL AIR CONDITIONERS & OTHER EQUIPMENT MUST BE PLACED IN THE REAR YARD BEHIND THE BUILDING. SEE TYPICAL LOT DETAIL.
 - 7) THE WET RETENTION POND #3 WILL BE STOCKED WITH FISH & AERATED (VA FOUNTAIN ADDITION)

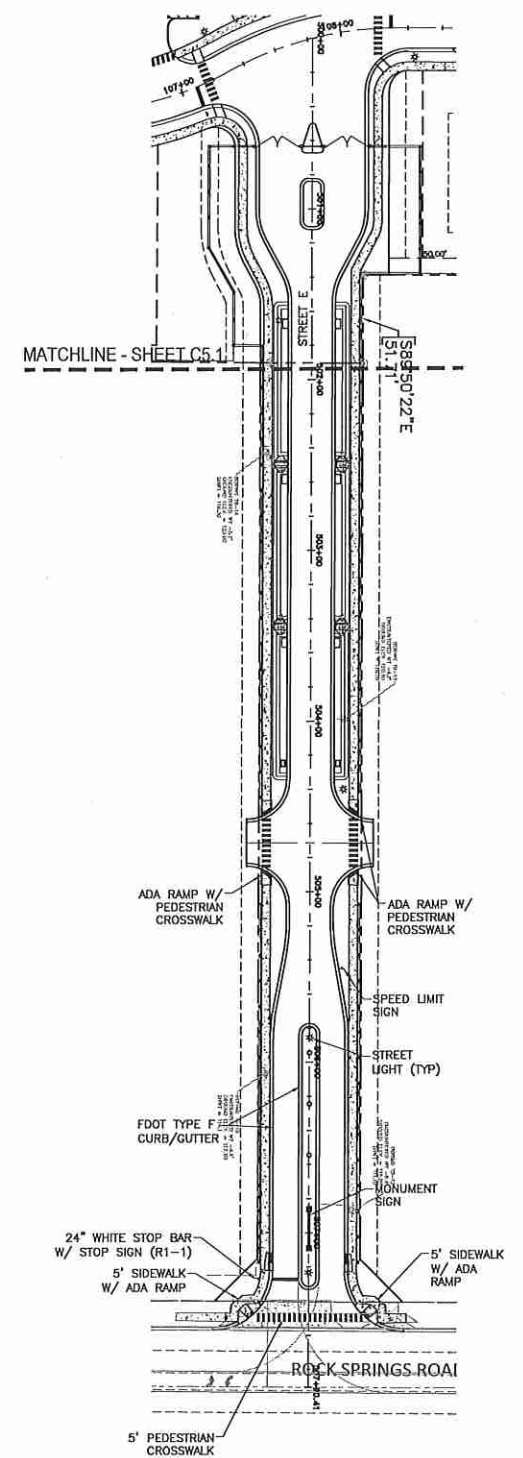
<p>WOHLFARTH CONSULTING GROUP LLC ENGINEERS & PLANNERS</p> <p>245 N. WESTVALE DRIVE APLAND, FLORIDA 32714 (407) 750-3125</p>		<p>DATE: 3/4/2018</p>
<p>SAN SEBASTIAN RESERVE ORANGE COUNTY, FLORIDA</p>		<p>SHEET: C-5.0</p>
<p>OVERALL SITE PLAN</p>		<p>DATE: 3/4/2018</p>
<p>DRAWN: DM</p>	<p>DESIGNED: ---</p>	<p>CHECKED: RW</p>
<p>SCALE: 1"=100'</p>	<p>PROJECT: 2017-011</p>	<p>DATE: 3/4/2018</p>
<p>BUSINESS NO. 32108</p>		
<p>6/20/18</p>		



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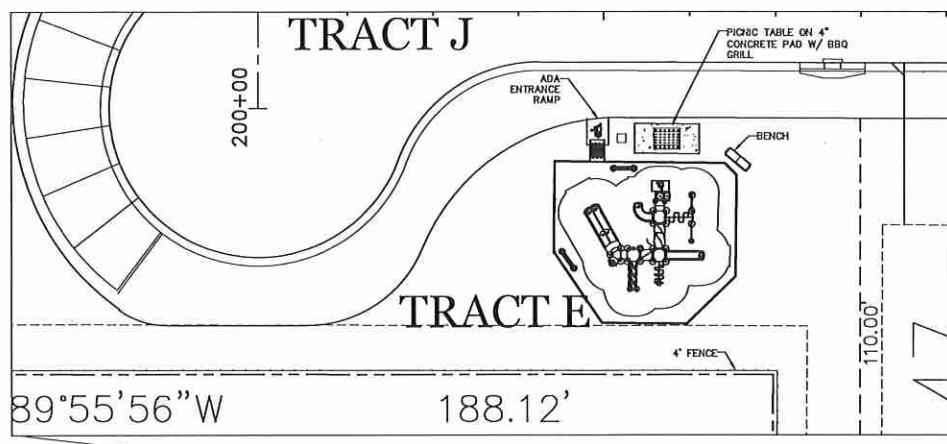


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4	40	4,400
5	40	4,400
6	40	4,400
7	40	4,400
8	40	4,400
9	40	4,400
10	40	4,400
11	40	4,400
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15	40	4,400
16	50	5,500
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112	17	5,469

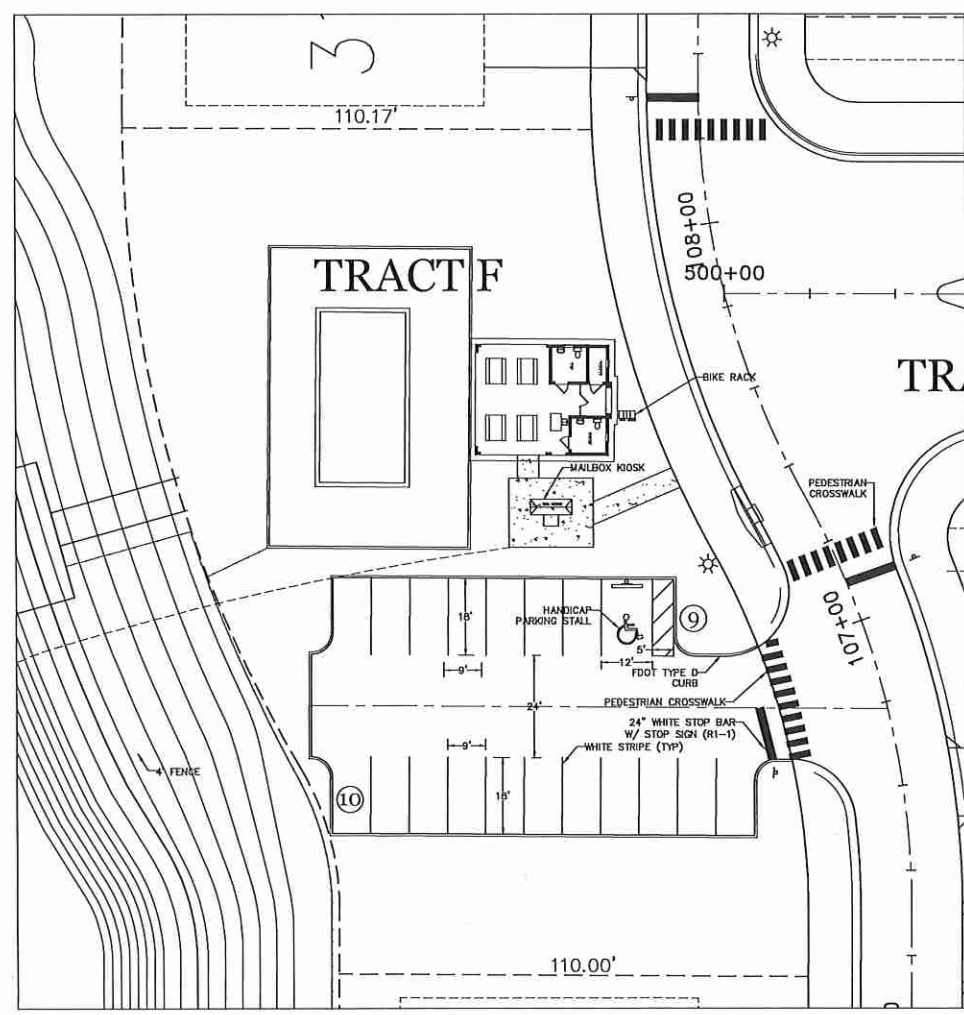


WOHLFARTH CONSULTING GROUP LLC ENGINEERS & PLANNERS 246 N. WESTMONTA DRIVE, ALAMONTA SPRINGS, FL 32714 (407) 790-3125		REV. DATE	CITY COMMENTS	DESCRIPTION	BY
SAN SEBASTIAN RESERVE ORANGE COUNTY, FLORIDA				SITE PLAN NORTH	
SCALE: 1"=50'	PROJECT: 2017-011	CHECKED: RW	DATE: 3/12/2018		
DRAWN: DM		DESIGNED:			
SHEET: C-5.1		BUSINESS NO. 32108			

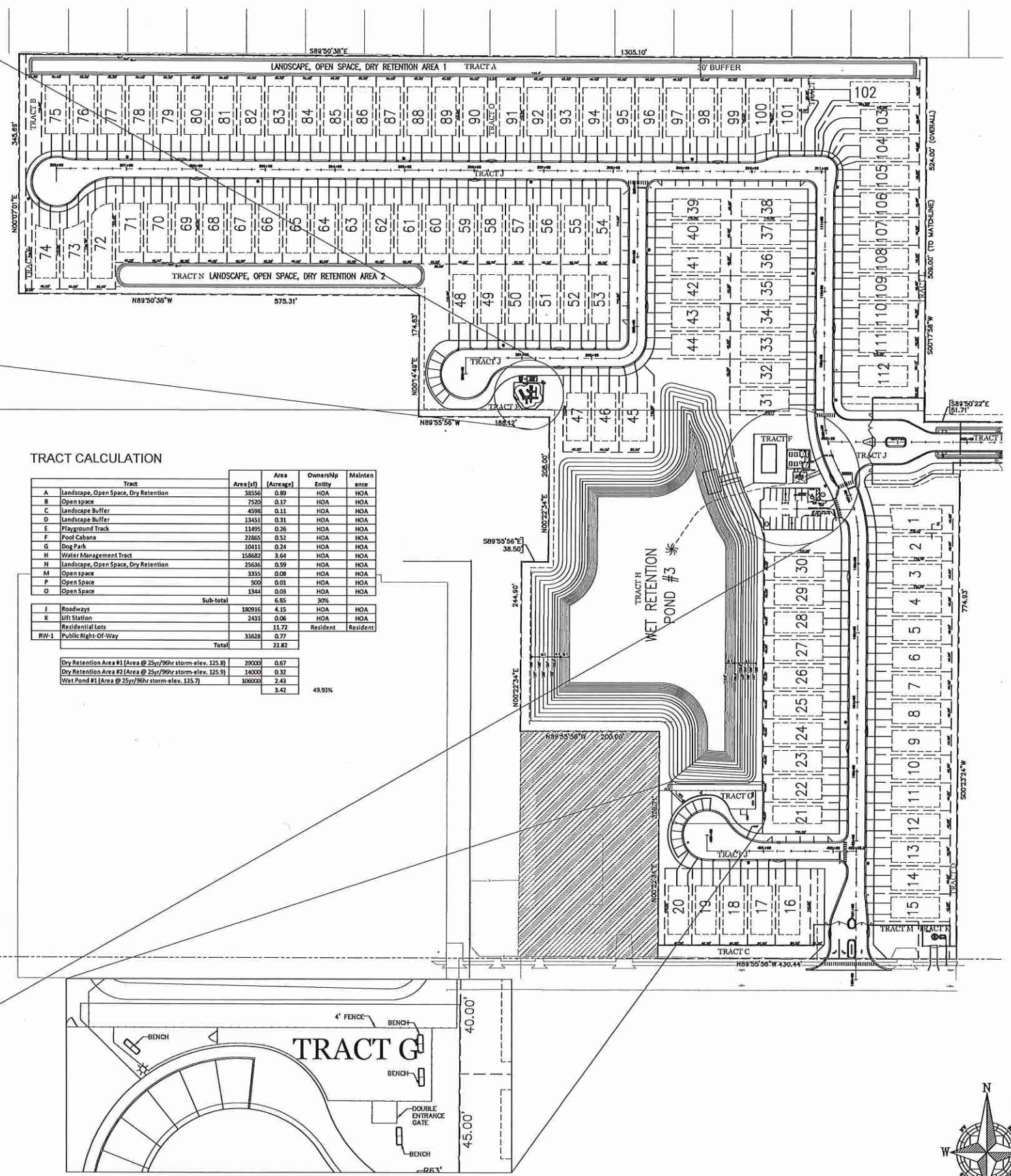
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1 PLAYGROUND
1 Inch = 20 ft.



2 CLUB HOUSE/ POOL CABANA W/ WATER FRONT DOCK
1 Inch = 20 ft.



TRACT CALCULATION

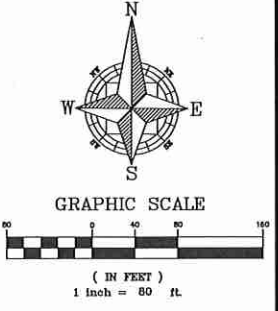
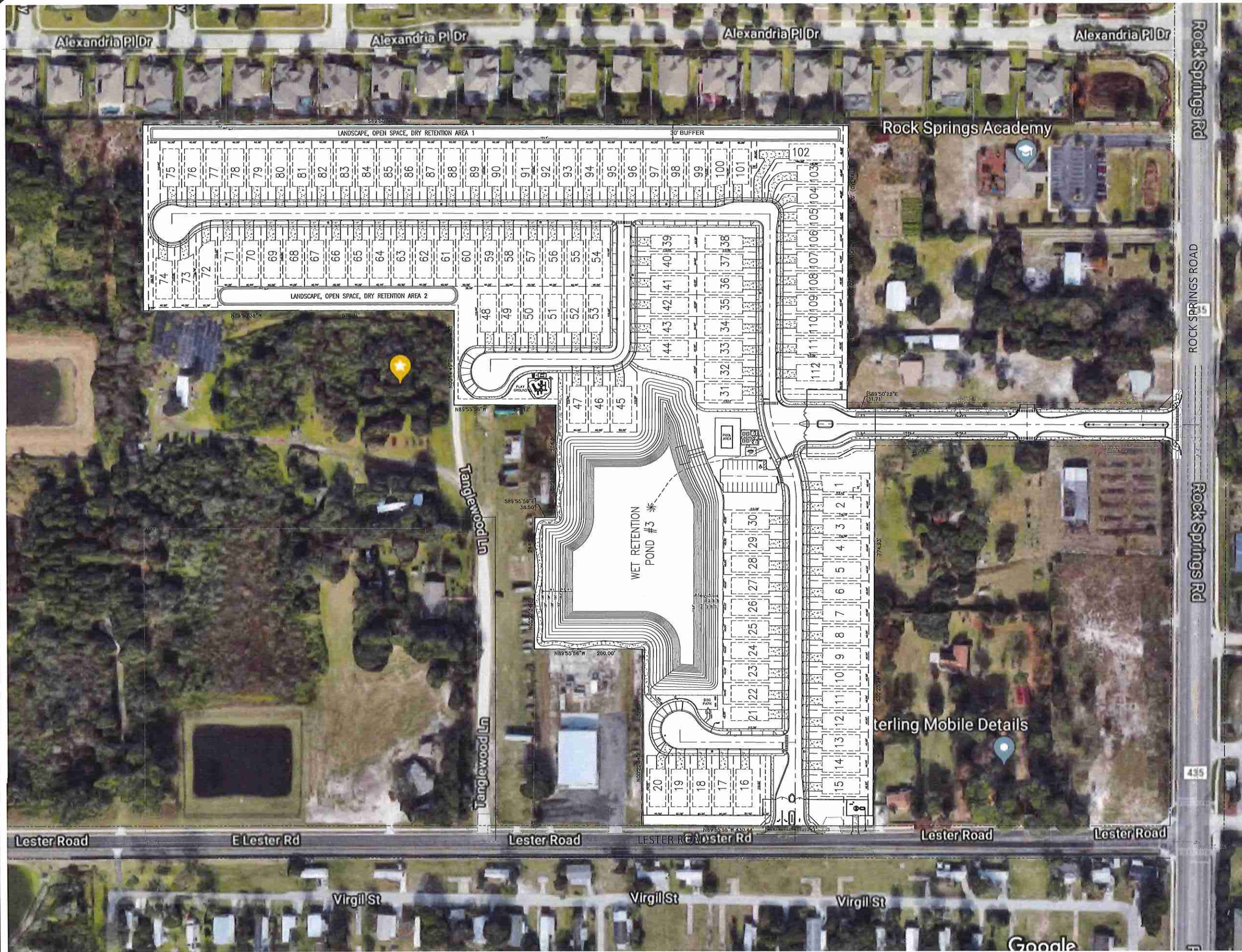
Tract	Area (sq ft)	Area (Acres)	Ownership Entity	Maintain since
A Landscape, Open Space, Dry Retention	38556	0.89	HOA	HOA
B Open Space	7520	0.17	HOA	HOA
C Landscape Buffer	4998	0.11	HOA	HOA
D Landscape Buffer	13451	0.31	HOA	HOA
E Playground Tract	11495	0.26	HOA	HOA
F Pool Cabana	22865	0.52	HOA	HOA
G Dog Park	10411	0.24	HOA	HOA
H Water Management Tract	158682	3.64	HOA	HOA
I Landscape, Open Space, Dry Retention	25638	0.59	HOA	HOA
M Open Space	3335	0.08	HOA	HOA
P Open Space	500	0.01	HOA	HOA
O Open Space	1344	0.03	HOA	HOA
Sub-total		6.85		30%
J Roadways	180916	4.15	HOA	HOA
K Lift Station	2430	0.06	HOA	HOA
Residential Lots	1172	0.03	Resident	Resident
RW-1 Public Right-Of-Way	33628	0.77		
Total		22.82		
Dry Retention Area #1 (Area @ 25yr/36hr storm elev. 125.8)	29000	0.67		
Dry Retention Area #2 (Area @ 25yr/36hr storm elev. 125.9)	14200	0.32		
Wet Pond #1 (Area @ 25yr/36hr storm elev. 125.7)	106000	2.43		
		3.42		49.93%

3 DOG PARK
1 Inch = 20 ft.

<p>WOHLFEITH CONSULTING GROUP LLC ENGINEERS & PLANNERS 246 N. WESTMONTE DRIVE ALAMONTE SPRINGS, FL 32714 (407) 750-3123</p>		<p>DATE</p>	<p>DESCRIPTION</p>
<p>SAN SEBASTIAN RESERVE ORANGE COUNTY, FLORIDA</p>		<p>DATE</p>	<p>DESCRIPTION</p>
<p>AMENITY/OPEN SPACE PLAN</p>		<p>DATE: 5/3/2018</p>	<p>DESCRIPTION</p>
<p>SCALE: VARIES</p>	<p>PROJECT: 2017-011</p>	<p>SHEET: C-5.3</p>	<p>DATE: 5/3/2018</p>
<p>DRAWN: DM</p>	<p>DESIGNED: ---</p>	<p>CHECKED: RW</p>	<p>DATE: 5/3/2018</p>
<p>W GROUP LAND DEVELOPMENT & ENGINEERING SERVICES BUSINESS NO. 32108</p>			
<p>6/20/18</p>			



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REV	DATE	DESCRIPTION	BY
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			

WOHLFARTH CONSULTING GROUP LLC
 ENGINEERS & PLANNERS
 246 N. WESTMONTE DRIVE
 ALTA MONTE SPRINGS, FL 32714
 (407) 750-3123

SAN SEBASTIAN RESERVE
 ORANGE COUNTY, FLORIDA

AERIAL SITE PLAN

DRAWN: DM	DATE: 3/29/2018
DESIGNED:	
CHECKED: RW	

SCALE: 1"=80'	SHEET: C-6.0
PROJECT: 2017-011	



GENERAL UTILITY NOTES:

- BACTERIOLOGICAL TESTS WITH CHLORINE RESIDUALS INDICATED (TAKEN ON TWO CONSECUTIVE DAYS) SHALL BE CONDUCTED AT EACH POTABLE WATER METER FOR EVERY BUILDING, AT EVERY WET-TAP CONNECTION AND EVERY LOCATION INDICATED WITHIN THESE PLANS. RESULTS OF THE BACTERIOLOGICAL TESTS SHALL BE PROVIDED TO THE ENGINEER OF RECORD IMMEDIATELY UPON COMPLETION. BACTERIOLOGICAL TEST RESULTS SHALL BE CONSIDERED UNACCEPTABLE IF THE TESTS WERE COMPLETED MORE THAN 30 DAYS BEFORE THE ENGINEER RECEIVED THE RESULTS.
- ALL WATERMANS SHALL BE INSTALLED A MINIMUM OF 36" BELOW FINISHED GRADE.
- ALL WATERMANS AND FIRELINES PIPES SHALL BE RESTRAINED VIA MECHANICAL JOINTS.
- WATER MAIN PVC PIPES LESS THAN 4 INCHES MUST CONFORM TO THE SPECIFICATIONS OF ASTM 1785 (SCHEDULE 40, 80, 120) OR ASTM 2241 SDR21 AND MUST BEAR THE NSF LOGO ON EACH INSTALLED LENGTH.
- UNDERGROUND MARKING TAPE FOR ALL SANITARY FORCEMANS SHALL BE INSTALLED 4 TO 8 INCHES BELOW THE FINISHED GRADE SURFACE DIRECTLY OVER THE PIPELINE. MARKER TAPE SHALL BE MADE OF AN INERT POLYETHYLENE MATERIAL HAVING A MINIMUM THICKNESS OF 4 MILS AND BE COLOR CODED "SAFETY GREEN".
- CONTRACTOR SHALL CONDUCT AND PROVIDE RESULTS IMMEDIATELY TO THE ENGINEER OF RECORD FOR PRESSURE AND LEAKAGE TESTS ON THE FORCE MAIN TRUNK LINE ONCE THE PRESSURE SEWER HAS BEEN INSTALLED AND PARTIALLY BACKFILLED. FINAL BACKFILL AND COMPACTION SHALL NOT COMMENCE UNTIL APPROVAL OF THE PRESSURE AND LEAKAGE TESTS HAS BEEN PROVIDED BY THE ENGINEER OF RECORD.
- FOLLOWING SATISFACTORY PRESSURE TEST RESULTS, THE CONTRACTOR SHALL DISINFECT ALL SECTIONS OF THE WATER DISTRIBUTION SYSTEM, AND RECEIVE APPROVAL THEREOF FROM APPROPRIATE AGENCIES PRIOR TO PLACING THE SYSTEM INTO SERVICE.
- FIRE HYDRANTS SHALL BE PLACED A MINIMUM OF 3 FT. AND A MAXIMUM OF 5 FT. FROM THE CURB OR PAVED ROAD SURFACE UNLESS OTHERWISE APPROVED. NO FENCE, TREE, POST, SHRUB, OR OTHER OBJECT WHICH COULD BLOCK THE HYDRANT FROM NORMAL VIEW OR OBSTRUCT THE HYDRANT'S USE SHALL BE LOCATED WITHIN FOUR (4) FEET OF THE HYDRANT. THE FOUR-AND-ONE-HALF INCH (4-1/2") LARGE VOLUME CONNECTION SHALL FACE THE NEAREST ROADWAY. THE CENTER OF THE STEAMER PORT SHALL BE 18 INCHES MINIMUM AND 24 INCHES MAXIMUM ABOVE FINISHED GRADE. NO HYDRANT SHALL BE PLACED SO AS TO REQUIRE THE SIDEWALK TO BE RELOCATED.
- ALL FIRE HYDRANT LEADS SHALL HAVE AN INSIDE DIAMETER OF AT LEAST SIX INCHES AND INCLUDE AUXILIARY VALVES.
- WHEN NECESSARY, DEWATERING SHALL BE PROVIDED TO KEEP THE GROUNDWATER ELEVATION A MINIMUM OF 6 INCHES BELOW MAIN BEING LAID.
- ALL UTILITIES SHALL BE LAID ON A FIRM FOUNDATION WITH ALL UNSUITABLE MATERIAL (MUCK, ROCK, COQUINA, ETC.) REMOVED AND REPLACED WITH CLEAN GRANULAR MATERIAL.
- TRENCHES SHALL BE BACKFILLED WITH MATERIAL ACCEPTABLE TO THE CITY OF APOPKA WITH A MINIMUM COMPACTION OF 98% IN PAVED AREAS AND 95% IN UNPAVED AREAS IN ACCORDANCE WITH AASHTO T-180 MODIFIED PROCTOR TEST.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT TRENCH COMPACTION TESTS BE PROVIDED AT POINTS 12 INCHES ABOVE THE PIPE AND AT 12 INCHES VERTICAL INTERVALS TO FINISH GRADE, AT A MINIMUM SPACING OF EVERY 300 FEET.
- ALL WATER SERVICE ENDINGS SHALL BE MARKED WITH A 2" X 4" LUMBER (PRESSURE TREATED) EXTENDING 4 FEET ABOVE GRADE, WITH WATER SERVICES SECURED 12" MAXIMUM ABOVE THE GROUND.
- ALL WATER VALVES, INCLUDING CONCRETE COLLAR (WITH DEBRIS CAP), SHALL BE ADJUSTED TO FINISHED GRADE AND THE VALVE BOX LID, PAINTED BLUE TO MAKE THEM PLAINLY VISIBLE.
- UPON FINAL ACCEPTANCE OF NEW WATER SYSTEMS, WATER VALVES SHALL BE COMPLETELY OPENED BY PUBLIC UTILITIES PERSONNEL. AT NO TIME SHALL CONTRACTOR OPERATE ANY EXISTING VALVES WITHOUT THE CITY OF APOPKA INSPECTOR PRESENT.
- ALL WATER MAINS SHALL BE NSF-APPROVED FOR POTABLE WATER USE.
- PIPE USED IN WATER DISTRIBUTION SYSTEMS SHALL BE EITHER POLYVINYL CHLORIDE (PVC), OR DUCTILE IRON PIPE (DIP).
 - (a) ALL PVC PIPE OF NOMINAL DIAMETER FOUR (4) INCHES THROUGH TWELVE (12) INCHES SHALL BE MANUFACTURED IN ACCORDANCE WITH AWWA STANDARD C900, LATEST EDITION. THE PVC PIPE SHALL HAVE A MINIMUM WORKING PRESSURE RATING OF 150PSI AND SHALL HAVE A DIMENSION RATIO (DR) OF 18.
 - (b) ALL DUCTILE IRON PIPE SHALL BE MANUFACTURED IN ACCORDANCE WITH ANSI/AWWA A21.51/C151 AND HAVE A MINIMUM 350 PRESSURE CLASS RATING



WATER SYSTEM TESTING REQUIREMENTS:

- THE CONTRACTOR SHALL PERFORM HYDROSTATIC TESTING OF ALL WATER DISTRIBUTION SYSTEMS, AS SET FORTH IN THE FOLLOWING AND SHALL CONDUCT SAID TESTS IN THE PRESENCE OF REPRESENTATIVES FROM THE CITY OF APOPKA AND/OR OTHER AUTHORIZED AGENCIES. THE CONTRACTOR SHALL PROVIDE 48 HOURS ADVANCED NOTICE PRIOR TO TESTING OF THE WATER DISTRIBUTION SYSTEM.
- ALL TESTING REQUIRED BY THE CITY OF APOPKA SHALL BE PAID FOR BY THE DEVELOPER / CONTRACTOR.
- ALL PROPOSED WATER MAINS SHALL BE TESTED AND CLEARED FOR SERVICE IN ACCORDANCE WITH THE LATEST AWWA STANDARDS AND THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION REQUIREMENTS.
- PRIOR TO HYDROSTATIC TESTING A PRELIMINARY FLUSHING SHALL BE REQUIRED THROUGH FULL DIAMETER FLUSHING OR SWABBING. PRELIMINARY FLUSHING/SWABBING SHALL BE PERFORMED PER AWWA C651 STANDARD - "DISINFECTING WATER MAINS". ALL PIPING SHALL BE THOROUGHLY CLEANED AND FLUSHED PRIOR TO TESTING TO CLEAR THE LINES OF ALL FOREIGN MATTER. WHILE THE PIPING IS BEING FILLED WITH WATER, CARE SHALL BE EXERCISED TO PERMIT THE ESCAPE OF AIR FROM EXTREMITIES ALONG THE TEST SECTION.
- HYDROSTATIC TESTING SHALL CONSIST OF PRESSURE TEST AND LEAKAGE TEST. PIPING AND APPURTENANCES TO BE TESTED SHALL BE WITHIN SECTIONS BETWEEN VALVES NOT EXCEEDING 2,000 FEET, UNLESS ALTERNATE METHODS HAVE RECEIVED PRIOR APPROVAL FROM THE CITY OF APOPKA. TESTING SHALL NOT PROCEED UNTIL CONCRETE THRUST BLOCKS ARE IN PLACE AND CURED, OR OTHER RESTRAINING DEVICES INSTALLED.
- HYDROSTATIC TESTING SHALL BE PERFORMED AT 150 POUNDS PER SQUARE INCH PRESSURE, UNLESS OTHERWISE APPROVED BY THE CITY OF APOPKA, FOR A PERIOD OF NOT LESS THAN TWO (2) HOURS.
- THE ALLOWABLE RATE OF LEAKAGE SHALL BE LESS THAN THE NUMBER OF GALLONS PER HOUR DETERMINED BY THE FOLLOWING FORMULA:

$$L = \frac{SD \cdot \sqrt{P}}{148,000}$$

WHERE:
 L = ALLOWABLE LEAKAGE, IN GALLONS PER HOUR
 S = LENGTH OF PIPE TESTED, IN FEET
 D = NOMINAL DIAMETER OF PIPE, IN INCHES
 P = AVERAGE TEST PRESSURE DURING THE LEAKAGE TEST, IN POUNDS PER SQUARE INCH (GAUGE)
- SHOULD THE TEST FAIL, NECESSARY REPAIRS SHALL BE ACCOMPLISHED BY THE CONTRACTOR AND THE TEST REPEATED UNTIL WITHIN PASSING LIMITS. THE CONTRACTOR SHALL FURNISH ALL THE NECESSARY LABOR, PUMPS, GAUGES AND ALL OTHER ITEMS NECESSARY TO CONDUCT THE REQUIRED WATER DISTRIBUTION SYSTEM TESTING AND PERFORM NECESSARY REPAIRS.

SEWER SYSTEM TESTING REQUIREMENTS:

- THE CONTRACTOR SHALL PERFORM TESTING OF ALL SANITARY SEWAGE GRAVITY COLLECTION SYSTEMS, AS SET FORTH IN THE FOLLOWING AND SHALL CONDUCT SAID TESTS IN THE PRESENCE OF REPRESENTATIVES FROM THE CITY OF APOPKA AND/OR OTHER AUTHORIZED AGENCIES. THE CONTRACTOR SHALL PROVIDE 48 HOURS ADVANCED NOTICE PRIOR TO TESTING OF THE WASTEWATER DISTRIBUTION SYSTEM.
- ALL TESTING REQUIRED BY THE CITY OF APOPKA SHALL BE PAID FOR BY THE DEVELOPER / CONTRACTOR.
- GRAVITY MAINS SHALL BE INSPECTED WITH CCTV FOR ALIGNMENT, GRADE VARIATIONS, SEPARATED PIPES, LEAKS, DEFLECTION, CRACKED, BROKEN OR OTHERWISE DEFECTIVE PIPE TO ENSURE OVERALL PIPE INTEGRITY. THE APPROVED CCTV INSPECTION CONTRACTOR SHALL SUBMIT THE REPORT TO THE CITY OF APOPKA AS REQUIRED.
- LEAKAGE TESTING FOR GRAVITY MAINS SHALL BE BY LOW-PRESSURE AIR TEST. LEAKAGE TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH THE PROCEDURE FOR "RECOMMENDED PRACTICE FOR LOW PRESSURE AIR TESTING OF INSTALLED SEWER PIPE" AS ESTABLISHED BY THE UNI-BELL PVC PIPE ASSOCIATION.
- EACH GRAVITY MAIN LEAKAGE TEST SECTION SHALL NOT EXCEED 400 FEET IN LENGTH AND SHALL BE TESTED BETWEEN ADJACENT MANHOLES.

GENERAL NOTES:

- THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN EXCAVATING IN PROXIMITY OF WATER MAINS, WASTEWATER FORCE MAINS, GRAVITY MAINS AND RECLAIMED WATER MAINS. MAIN LOCATIONS SHOWN ON PLANS MAY NOT BE EXACT. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING EXISTING UTILITY LOCATIONS.
- SHOULD A PIPE EMERGENCY OCCUR, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE CITY OF APOPKA.
- THE CONTRACTOR SHALL NOTIFY THE CITY OF APOPKA AT LEAST SEVEN DAYS PRIOR TO COMMENCEMENT OF THE CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY THE CITY OF APOPKA AT LEAST 48 HOURS PRIOR TO ANY UTILITIES CONSTRUCTION.
- THE MATERIALS, PRODUCTS, AND CONSTRUCTION OF ALL UTILITIES CONNECTING TO THE CITY OF APOPKA SYSTEM SHALL BE IN CONFORMANCE WITH THE CITY OF APOPKA STANDARDS AND CONSTRUCTION SPECIFICATIONS.
- ALL CITY MAINS AND FACILITIES WITHIN THE LIMITS OF THE PROJECT SHALL BE SUPPORTED AND PROTECTED AGAINST DAMAGE DURING CONSTRUCTION.
- THE CONTRACTOR, AT THE CONTRACTOR'S EXPENSE, SHALL IMMEDIATELY REPAIR ALL DAMAGES TO CITY OF APOPKA MAINS AND FACILITIES.
- THE CONTRACTOR SHALL ADJUST ALL EXISTING CITY OF APOPKA MAINS AND FACILITIES IN CONFLICT WITH NEW GRADE, NEW OR ALTERED ROADWAYS, SIDEWALKS, DRIVEWAYS, OR STORM WATER IMPROVEMENTS. CITY OF APOPKA FACILITIES TO BE ADJUSTED INCLUDE, BUT ARE NOT LIMITED TO PIPELINES, PUMP STATIONS, VALVE BOXES, AIR RELEASE VALVES, FIRE HYDRANTS, MANHOLE COVERS, AND METERS.
- ONLY THE CITY OF APOPKA SHALL OPERATE CITY WATER, WASTEWATER, AND RECLAIMED WATER VALVES. THE CONTRACTOR SHALL COORDINATE VALVE OPERATION WITH THE CITY OF APOPKA INSPECTOR. FOR OPERATION OF MAINS NOT OWNED BY THE CITY OF APOPKA, IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE APPROPRIATE UTILITY REPRESENTATIVE.
- CONSTRUCTION ACTIVITIES SHALL NOT CAUSE INTERRUPTIONS IN WATER, WASTEWATER, OR RECLAIMED WATER SERVICE. THE CONTRACTOR SHALL COORDINATE PRE-APPROVED INTERRUPTIONS OF SERVICE WITH THE CITY OF APOPKA INSPECTOR 7 WORKING DAYS IN ADVANCE.
- THE CONTRACTOR SHALL PROVIDE FOR BYPASSING AND/OR HAULING WASTEWATER DURING APPROVED INTERRUPTIONS OF WASTEWATER FLOWS AND CONNECTIONS. THE CONTRACTOR SHALL SUBMIT A BYPASS PLAN SIGNED AND SEALED BY A PROFESSIONAL ENGINEER TO THE CITY OF APOPKA FOR APPROVAL PRIOR TO IMPLEMENTATION BY CONTRACTOR.
- ALL VALVES INSTALLED AS PART OF THIS CONSTRUCTION PROJECT SHALL REMAIN CLOSED DURING CONSTRUCTION. KEEP VALVES ON ALL WET TAPS CLOSED UNTIL CLEARED BY FDEP. DO NOT CONNECT NEWLY CONSTRUCTED WATER MAINS TO ANY EXISTING WATER MAINS UNLESS CLEARED BY FDEP AND CITY OF APOPKA.
- THE CONTRACTOR SHALL PROVIDE A JUMPER ASSEMBLY WITH A BACKFLOW PREVENTER FOR MAKING TEMPORARY CONNECTIONS TO AN EXISTING POTABLE WATER SOURCE IN ORDER TO CHLORINATE AND FLUSH NEW WATER MAINS WITH POTABLE WATER. ANY TEMPORARY POTABLE WATER CONNECTIONS TO RECLAIMED WATER OR FORCEMAIN SHALL ALSO BE EQUIPPED WITH A BACKFLOW PREVENTER.
- FOR PVC PIPE THAT WILL BE OWNED AND MAINTAINED BY THE CITY OF APOPKA, NO PIPE BENDING IS ALLOWED. THE MAXIMUM ALLOWABLE TOLERANCE FOR JOINT DEFLECTION IS 0.75 DEGREES (3-INCHES PER JOINT PER 20 FT STICK OF PIPE.) ALIGNMENT CHANGE SHALL BE MADE ONLY WITH SLEEVES AND FITTINGS.
- FOR NON-PVC PIPE THAT WILL BE OWNED AND MAINTAINED BY THE CITY OF APOPKA, LONG RADIUS CURVES, EITHER HORIZONTAL OR VERTICAL, MAY BE INSTALLED WITH STANDARD PIPE BY DEFLECTIONS AT THE JOINTS. MAXIMUM DEFLECTIONS AT PIPE JOINTS, FITTINGS AND LAYING RADIUS FOR THE VARIOUS PIPE LENGTHS SHALL NOT EXCEED 75 PERCENT OF THE PIPE MANUFACTURER'S RECOMMENDATION.

FDEP UTILITY SEPARATION REQUIREMENTS

(62-555.314, F.A.C. LOCATION OF PUBLIC WATER SYSTEM MAINS)

- FOR THE PURPOSE OF THIS SECTION, THE PHRASE "WATER MAINS" SHALL MEAN MAINS, INCLUDING TREATMENT PLANT PROCESS PIPING, CONVEYING EITHER RAW, PARTIALLY TREATED, OR FINISHED DRINKING WATER; FIRE HYDRANT LEADS; AND SERVICE LINES THAT ARE UNDER THE CONTROL OF A PUBLIC WATER SYSTEM AND THAT HAVE AN INSIDE DIAMETER OF THREE INCHES OR GREATER.
- HORIZONTAL SEPARATION BETWEEN UNDERGROUND WATER MAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORMWATER FORCE MAINS, RECLAIMED WATER PIPELINES, AND ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS.**
 - NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED STORM SEWER, STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.
 - NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER.
 - NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST SIX FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. THE MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN WATER MAINS AND GRAVITY-TYPE SANITARY SEWERS SHALL BE REDUCED TO THREE FEET WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER.
 - NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST TEN FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND ALL PARTS OF ANY EXISTING OR PROPOSED "ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM" AS DEFINED BY SECTION 381.006(2), F.S., AND RULE 64E-6.002, F.A.C.
 - VERTICAL SEPARATION BETWEEN UNDERGROUND WATER MAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORMWATER FORCE MAINS, AND RECLAIMED WATER PIPELINES.**
 - NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED GRAVITY- OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES, AND PREFERABLY 12 INCHES, ABOVE OR AT LEAST 12 INCHES BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.
 - NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.
 - AT THE UTILITY CROSSINGS DESCRIBED IN PARAGRAPHS (A) AND (B) ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE. SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE. ALTERNATIVELY, AT SUCH CROSSINGS, THE PIPES SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORMWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C., AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY- OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.
 - SEPARATION BETWEEN WATER MAINS AND SANITARY OR STORM SEWER MANHOLES.**
 - NO WATER MAIN SHALL PASS THROUGH, OR COME INTO CONTACT WITH, ANY PART OF A SANITARY SEWER MANHOLE.
 - EFFECTIVE AUGUST 28, 2003, WATER MAINS SHALL NOT BE CONSTRUCTED OR ALTERED TO PASS THROUGH, OR COME INTO CONTACT WITH, ANY PART OF A STORM SEWER MANHOLE OR INLET STRUCTURE.
 - SEPARATION BETWEEN FIRE HYDRANT DRAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORMWATER FORCE MAINS, RECLAIMED WATER PIPELINES, AND ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS. NEW OR RELOCATED FIRE HYDRANTS WITH UNDERGROUND DRAINS SHALL BE LOCATED SO THAT THE DRAINS ARE AT LEAST THREE FEET FROM ANY EXISTING OR PROPOSED STORM SEWER, STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.; AT LEAST THREE FEET, AND PREFERABLY TEN FEET, FROM ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER; AT LEAST SIX FEET, AND PREFERABLY TEN FEET, FROM ANY EXISTING OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.; AND AT LEAST TEN FEET FROM ANY EXISTING OR PROPOSED "ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM" AS DEFINED IN SECTION 381.006(2), F.S., AND RULE 64E-6.002, F.A.C.**

ADDITIONAL NOTES

- ALL EXISTING UTILITIES HAVE BEEN FIELD VERIFIED AT ALL POINTS OF CONNECTION TO, AND AT ALL AREAS OF CONFLICT WITH THE CITY OF APOPKA MAINS.
- ALL UTILITIES (INCLUDING PUMP STATION IF APPLICABLE) LOCATED OUTSIDE PUBLIC RIGHT-OF-WAYS AND PUBLIC EASEMENTS SHALL BE PRIVATELY OWNED AND MAINTAINED.

FDEP UTILITY SEPARATION NOTES:

- NOTE TO THE UTILITY. PURSUANT TO 62-555.345, DO NOT PROVIDE WATER SERVICE TO THIS PROJECT (OTHER THAN FLUSHING/TESTING) UNTIL THE DEPARTMENT OF ENVIRONMENTAL PROTECTION HAS ISSUED A LETTER OF CLEARANCE OR THE UTILITY SHALL BE SUBJECT TO ENFORCEMENT ACTION.
- THE PERMITTEE WILL PROMPTLY NOTIFY THE DEPARTMENT UPON SALE OR LEGAL TRANSFER OF THE PERMITTED FACILITY
- ALL WATER MAINS AND APPURTENANCES SHALL BE DISINFECTED AND BACTERIOLOGICALLY EVALUATED IN ACCORDANCE WITH RULE 62-555.340, F.A.C.
- ALL WATER MAIN PIPE, INCLUDING FITTINGS SHALL BE COLOR CODED OR MARKED USING BLUE AS A PREDOMINANT COLOR TO DIFFERENTIATE DRINKING WATER FROM RECLAIMED OR OTHER WATER. UNDERGROUND PLASTIC PIPE SHALL BE SOLID-WALL BLUE PIPE, SHALL HAVE A CO-EXTRUDED BLUE EXTERNAL SKIN, OR SHALL BE WHITE OR BLACK PIPE WITH BLUE STRIPES INCORPORATED INTO, OR APPLIED TO, THE PIPE WALL; AND UNDERGROUND METAL OR CONCRETE PIPE SHALL HAVE BLUE STRIPES APPLIED TO THE PIPE WALL. PIPE STRIPED DURING MANUFACTURING OF THE PIPE SHALL HAVE CONTINUOUS STRIPES THAT RUN PARALLEL TO THE AXIS OF THE PIPE. THAT ARE LOCATED AT NO GREATER THAN 90-DEGREE INTERVALS AROUND THE PIPE, AND THAT WILL REMAIN INTACT DURING AND AFTER INSTALLATION OF THE PIPE. IF TAPE OR PAINT IS USED TO STRIPE PIPE DURING INSTALLATION OF THE PIPE, THE TAPE OR PAINT SHALL BE APPLIED IN A CONTINUOUS LINE THAT RUNS PARALLEL TO THE AXIS OF THE PIPE AND THAT IS LOCATED ALONG THE TOP OF THE PIPE. FOR PIPES WITH AN INTERNAL DIAMETER OF 24 INCHES OR GREATER, TAPE OR PAINT SHALL BE APPLIED IN CONTINUOUS LINES ALONG EACH SIDE OF THE PIPE AS WELL AS ALONG THE TOP OF THE PIPE.

LOCATION OF PUBLIC WATER SYSTEM MAIN IN ACCORDANCE WITH F.A.C. RULE 62-555.314

OTHER PIPE	HORIZONTAL SEPARATION	CROSSINGS (1)	JOINT SPACING & CROSSINGS (FULL JOINT CENTERS)
STORM SEWER STORMWATER FORCE MAIN RECLAIMED WATER (2)	3 FT MIN	12 INCHES IS THE MINIMUM CLEARANCE FOR STORM SEWER THEN 6 INCHES IS THE MINIMUM AND 12 INCHES IS PREFERRED	ALTERNATE 3 FT MINIMUM
VACUUM SANITARY SEWER	10 FT, PREFERRED 3 FT MIN	12 INCHES PREFERRED 6 INCHES MINIMUM	ALTERNATE 3 FT MINIMUM
GRAVITY OR PRESSURE SANITARY SEWER WASTEWATER FORCE MAIN RECLAIMED WATER (4)	10 FT PREFERRED 6 FT MIN (3)	12 INCHES IS THE MINIMUM CLEARANCE FOR STORM SEWER THEN 6 INCHES IS THE MINIMUM AND 12 INCHES IS PREFERRED	ALTERNATE 6 FT MINIMUM
ON-SITE SEWAGE TREATMENT & DISPOSAL SYSTEM	10 FT MIN		

(1) Water mains should cross above other pipes. When water mains must be below other pipes, the minimum separation is 12 inches.
 (2) Reclaimed water regulated under Part III of Chapter 62-610, F.A.C.
 (3) In the vicinity of any sewer where the bottom of the water main is laid at least 6 inches above the top of the gravity sanitary sewer.
 (4) Reclaimed water not regulated under Part III of Chapter 62-610, F.A.C.
 Disclaimer: This document is provided for your convenience only. Please refer to F.A.C. Rule 62-555.314 for additional construction requirements.

WOHLFARTH CONSULTING GROUP LLC
ENGINEERS & PLANNERS
246 N. WESTLAHYTE DRIVE
ALTMONTA, FLORIDA 32714
(407) 750-3123

SAN SEBASTIAN RESERVE
ORANGE COUNTY, FLORIDA

UTILITY NOTES

DRAWN:	DIM:	DESIGNED:	CHECKED:	DATE:	BY:
SCALE N/A	PROJECT 2017-011	SHEET C-7.0	DATE 3/29/2018		

W GROUP
LAND DEVELOPMENT & ENGINEERING SERVICES
BUSINESS NO. 32108

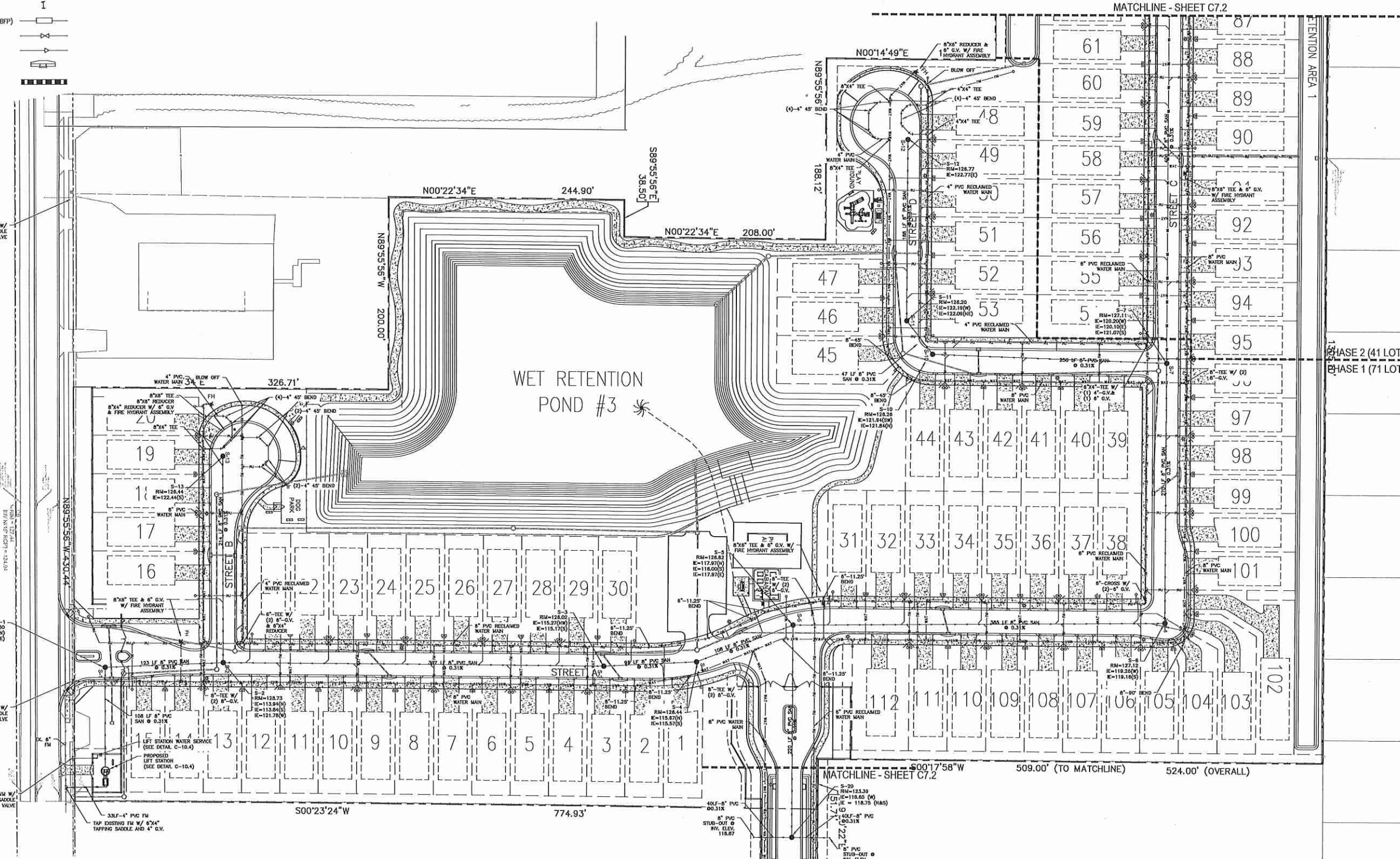
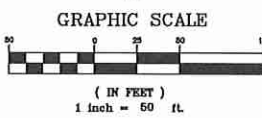
6/20/18
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LEGENDS

- SANITARY SEWER & MANHOLE
- SANITARY SEWER SERVICE
- DOMESTIC WATER SERVICE
- RECLAIMED WATER SERVICE
- FORCE MAIN
- RECLAIMED WATER SERVICE
- WATER MAIN
- FIRE HYDRANT
- DOCVA
- FDC
- PVC TEE
- PVC BEND
- BACKFLOW PREVENTION DEVICE (BFP)
- GATE VALVE
- REDUCER
- DRAINAGE STRUCTURE
- STORMWATER PIPE

PROPOSED

- SS-C.O.
- C.O.
- FM
- RU
- WAT
- WATER MAIN
- FIRE HYDRANT
- DOCVA
- FDC
- PVC TEE
- PVC BEND
- BACKFLOW PREVENTION DEVICE (BFP)
- GATE VALVE
- REDUCER
- DRAINAGE STRUCTURE
- STORMWATER PIPE



MATCHLINE - SHEET C7.2

MATCHLINE - SHEET C7.2

ELECTION AREA 1

PHASE 2 (41 LOTS)
PHASE 1 (71 LOTS)

<p>WOHLFARTH CONSULTING GROUP LLC ENGINEERS & PLANNERS 246 N. WESTMONTA DRIVE ALAMONTE SPRINGS, FL 32714 (407) 750-3123</p>	<p>SAN SEBASTIAN RESERVE ORANGE COUNTY, FLORIDA</p> <p style="text-align: center;">UTILITY PLAN NORTH</p>
<p>SCALE: 1"=50'</p> <p>PROJECT: 2017-011</p> <p>SHEET: C-7.1</p> <p>BUSINESS NO. 32108</p>	<p>DRAWN: DM</p> <p>DESIGNED: [Blank]</p> <p>CHECKED: RW</p> <p>DATE: 3/12/2018</p>
<p>DATE</p> <p>REV. 1</p> <p>REV. 2</p> <p>REV. 3</p> <p>REV. 4</p> <p>REV. 5</p> <p>REV. 6</p> <p>REV. 7</p> <p>REV. 8</p> <p>REV. 9</p> <p>REV. 10</p>	<p>DESCRIPTION</p> <p>BY</p>

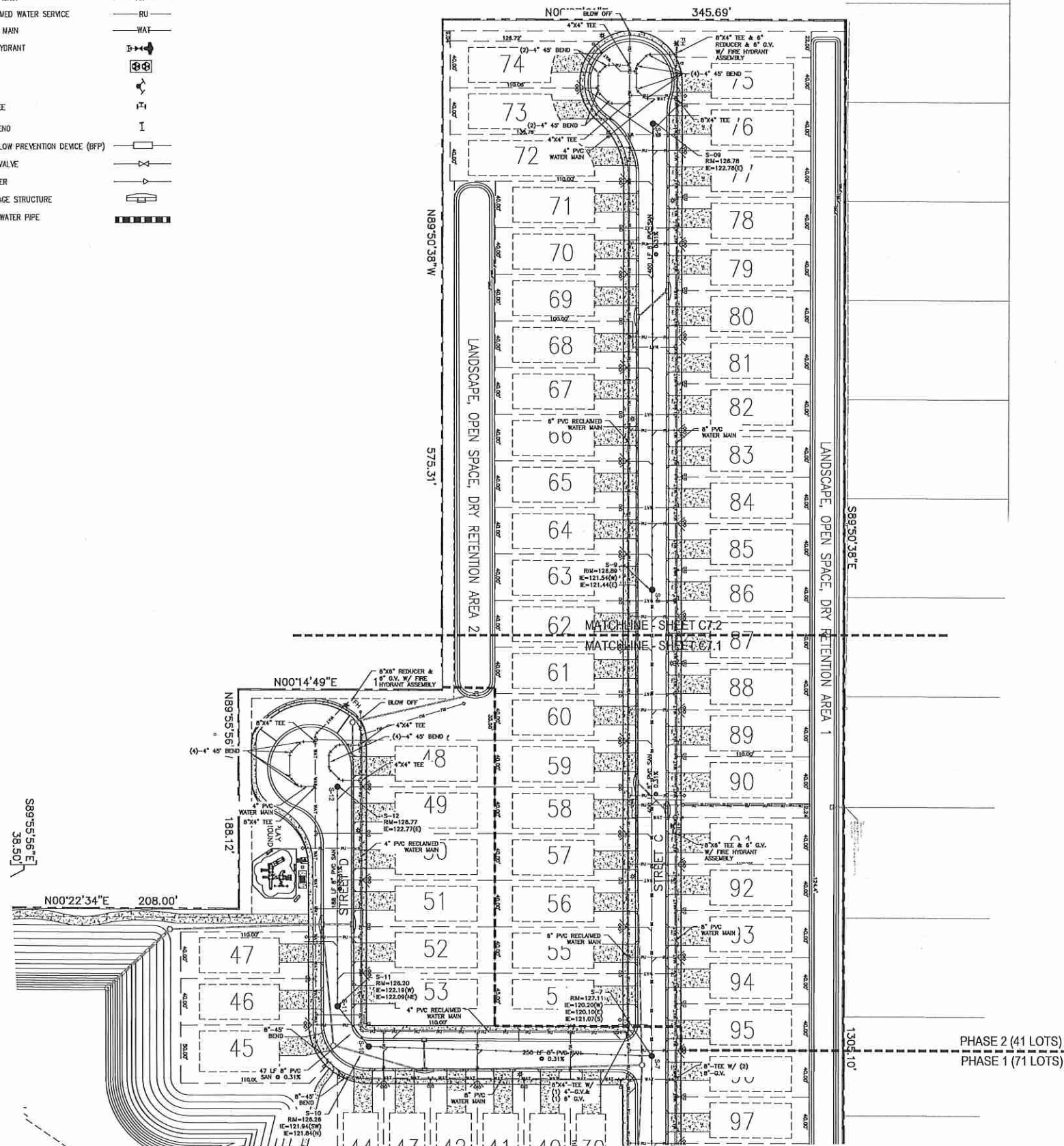
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LEGENDS

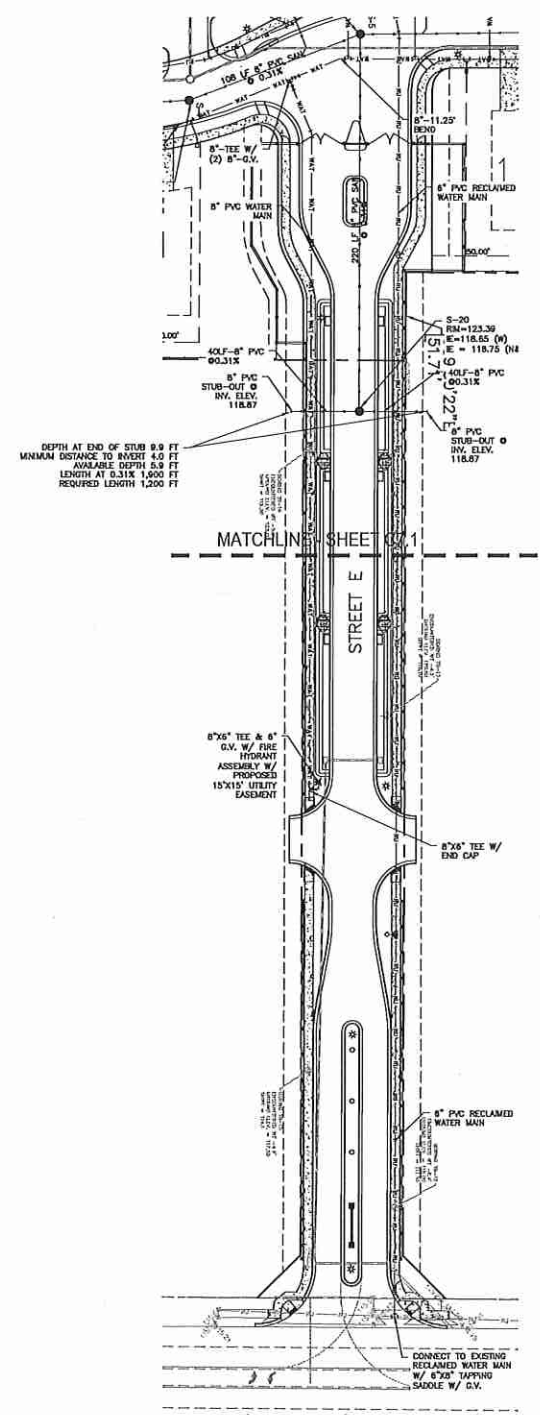
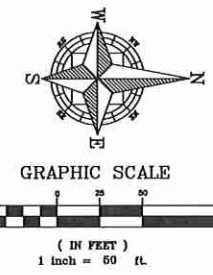
- SANITARY SEWER & MANHOLE
- SANITARY SEWER SERVICE
- DOMESTIC WATER SERVICE
- RECLAIMED WATER SERVICE
- FORCE MAIN
- RECLAIMED WATER SERVICE
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- STORMWATER PIPE

PROPOSED

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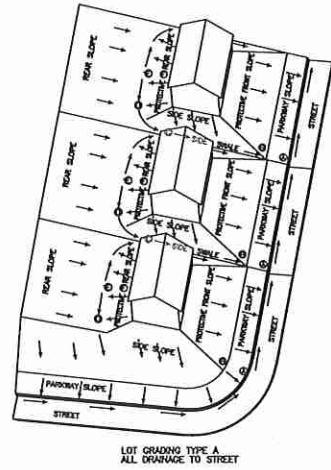
PHASE 2 (41 LOTS)
PHASE 1 (71 LOTS)



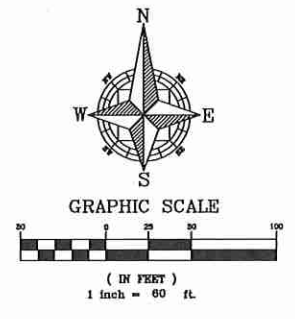
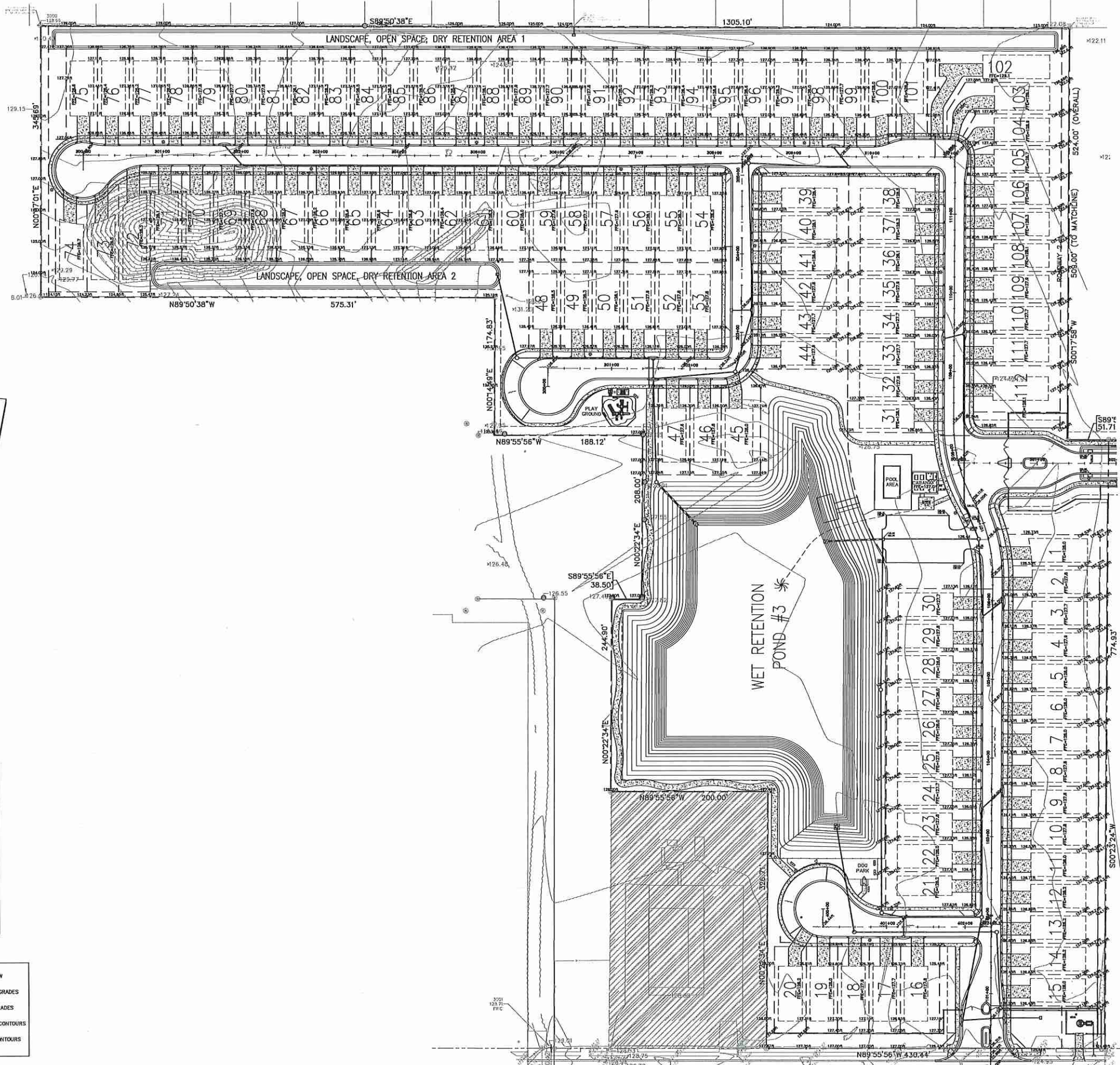
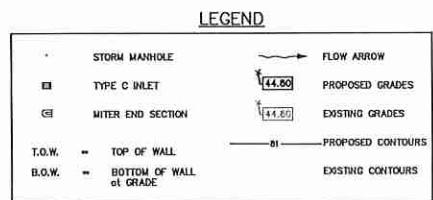
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<p>WOHLFARTH CONSULTING GROUP LLC ENGINEERS & PLANNERS 246 N. WESTMONTE DRIVE ALTA MONTE SPRINGS, FL 32714 (407) 750-3123</p>		<p>DATE</p>	<p>BY</p>
<p>SAN SEBASTIAN RESERVE ORANGE COUNTY, FLORIDA</p>		<p>UTILITY PLAN SOUTH</p>	
<p>SCALE 1"=50'</p>	<p>PROJECT 2017-011</p>	<p>CHECKED RW</p>	<p>DATE 3/12/2018</p>
<p>DRAWN DM</p>	<p>DESIGNED DM</p>	<p>CHECKED RW</p>	<p>DATE 3/12/2018</p>
<p>W GROUP LAND DEVELOPMENT & ENGINEERING SERVICES BUSINESS NO. 32108</p>		<p>6/20/18 NOT TO BE USED FOR RECORD UNLESS BOUND WITH THIS ORIGINAL SEAL OF REGISTERED PROFESSIONAL ENGINEER D. DENNIS MURRAY</p>	

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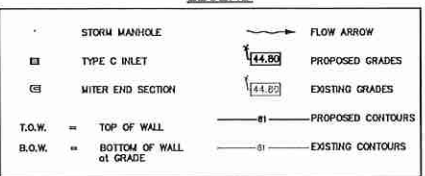


- NOTE:**
1. THE POND TRACT AND ASSOCIATED STORM WATER MANAGEMENT SYSTEM TO BE OWNED AND MAINTAINED BY H.O.A.
 2. THE PROPOSED GRADES SHALL MATCH EXISTING GRADES AT THE PROPERTY LINE.
 3. THE CONTRACTOR SHALL INSTALL, AS PART OF THE INFRASTRUCTURE AND PRIOR TO CERTIFICATE OF COMPLETION, DROP CURBS AND HANDICAP RAMPS AT ALL INTERSECTIONS OF THE SIDEWALK WITH THE PROPOSED PAVEMENT TO MEET THE CITY OF APOPKA AND A.D.A. SPECIFICATIONS.

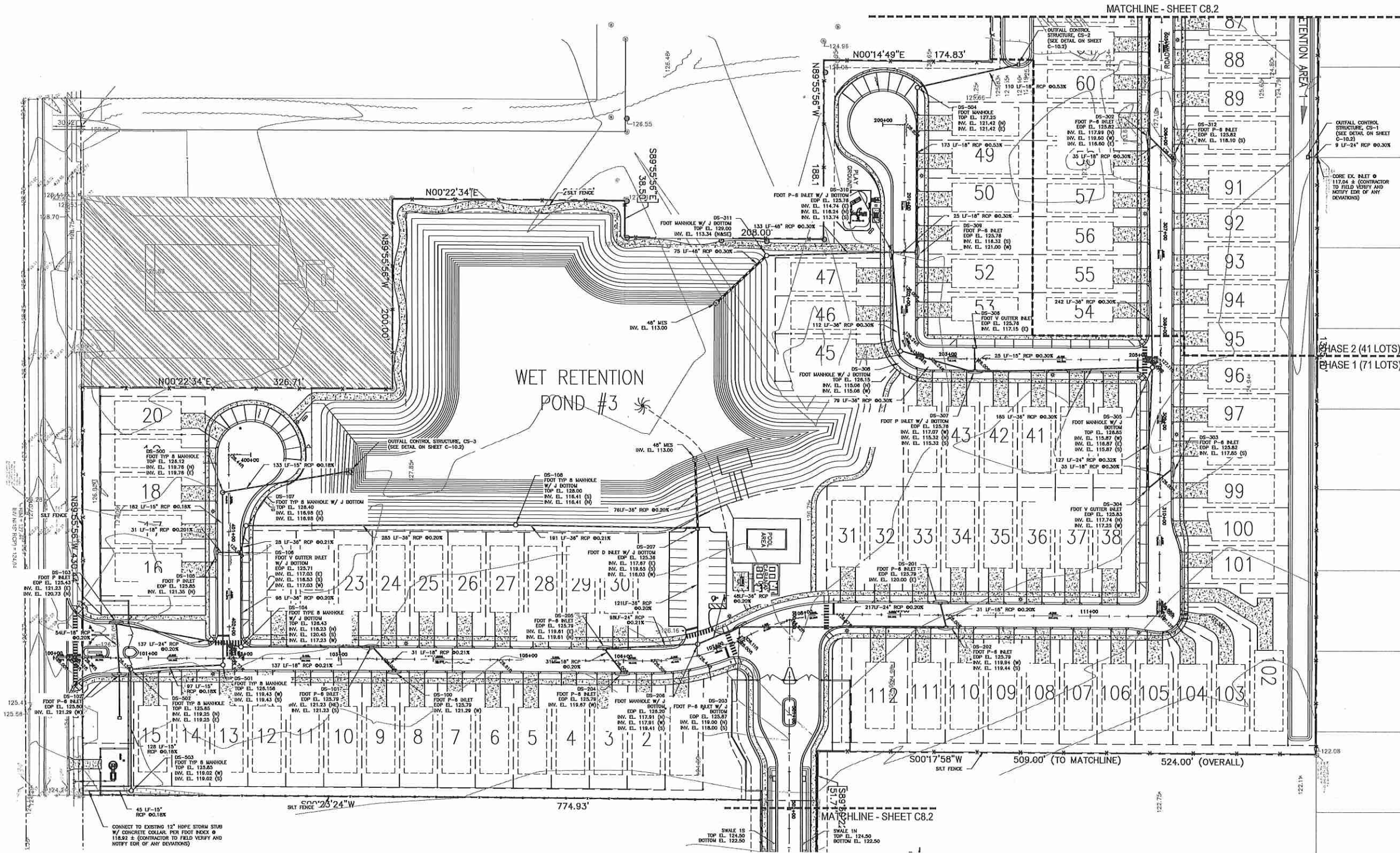
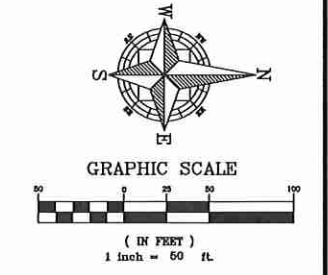


WOHLFARTH CONSULTING GROUP LLC ENGINEERS & PLANNERS 246 N. WESTMONTE DRIVE ALTIMONTE SPRINGS, FL 32714 (407) 750-3123			BY
SAN SEBASTIAN RESERVE ORANGE COUNTY, FLORIDA OVERALL LOT GRADING PLAN			DESCRIPTION
SCALE: 1"=60'	PROJECT: 2017-011	SHEET: C-8.0	DATE: 3/12/2018
DRAWN: DM	DESIGNED: ---	CHECKED: RW	DATE: 3/12/2018
LAND DEVELOPMENT & ENGINEERING SERVICES BUSINESS NO. 32108			REV
48 HOURS BEFORE DIGGING CALL TOLL FREE 811 or 1-800-432-4770 FLORIDA STATE ONE CALL CENTER			DATE

6/20/18
NOT TO BE USED FOR PROPOSED ASSESSED AND LOCATED WITH THE ORIGINAL RECORD PLANS AND RECORD PLANS.



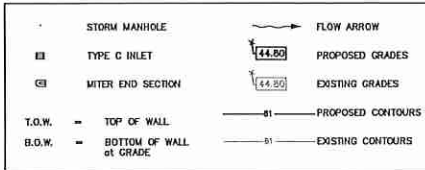
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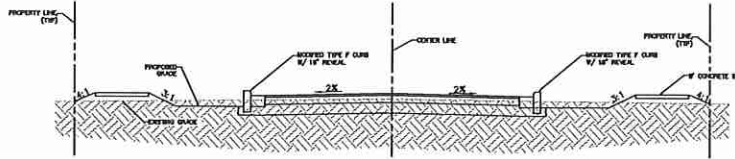
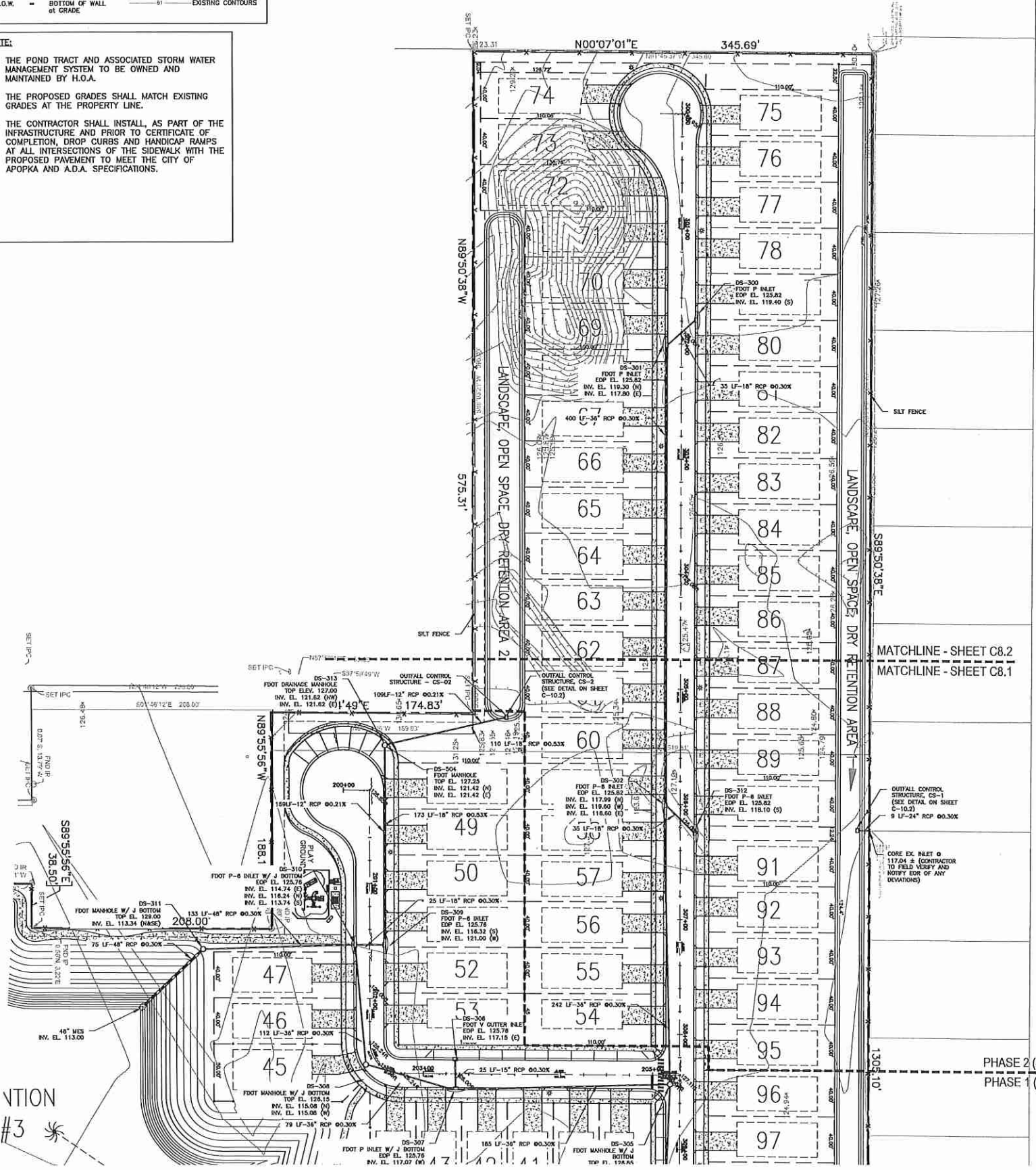
<p>WOHLFARTH CONSULTING GROUP LLC ENGINEERS & PLANNERS</p> <p>246 N. WESTMONTE DRIVE ALAMONTE SPRINGS, FL 32714 (407) 750-3123</p>	<p>SAN SEBASTIAN RESERVE ORANGE COUNTY, FLORIDA</p> <p>GRADING AND DRAINAGE PLAN NORTH</p> <p>CHASE 2 (41 LOTS) CHASE 1 (71 LOTS)</p> <p>SCALE: 1"=50' PROJECT: 2017-011 SHEET: C-8.1 DATE: 3/12/2018</p> <p>W GROUP LAND DEVELOPMENT & ENGINEERING SERVICES BUSINESS NO. 32108</p>
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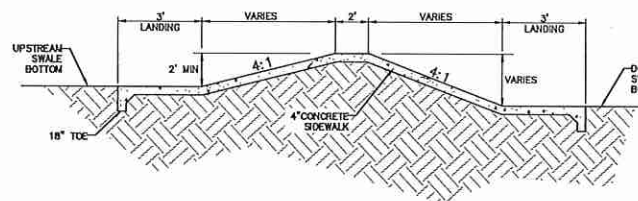
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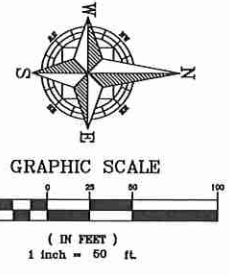
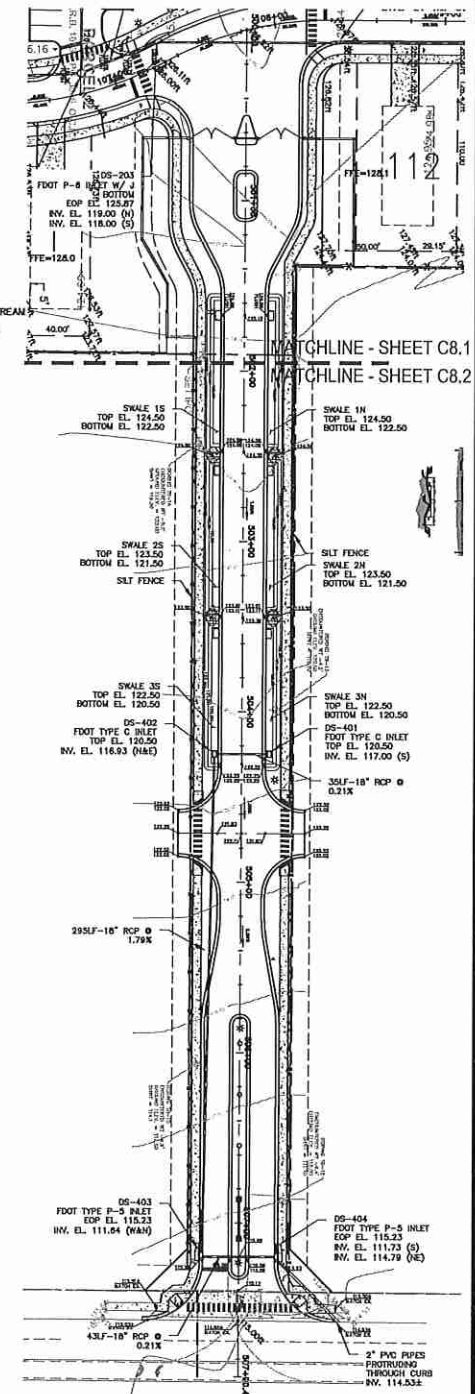
- NOTE:**
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ROADSIDE SWALE TYPICAL SECTION
N.T.S.



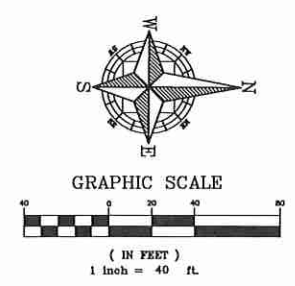
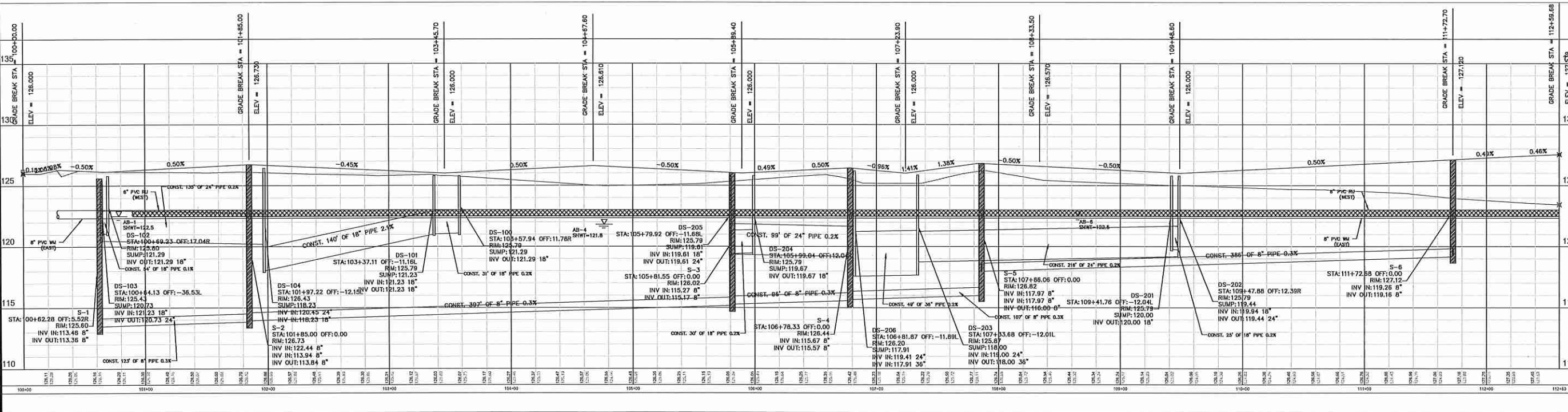
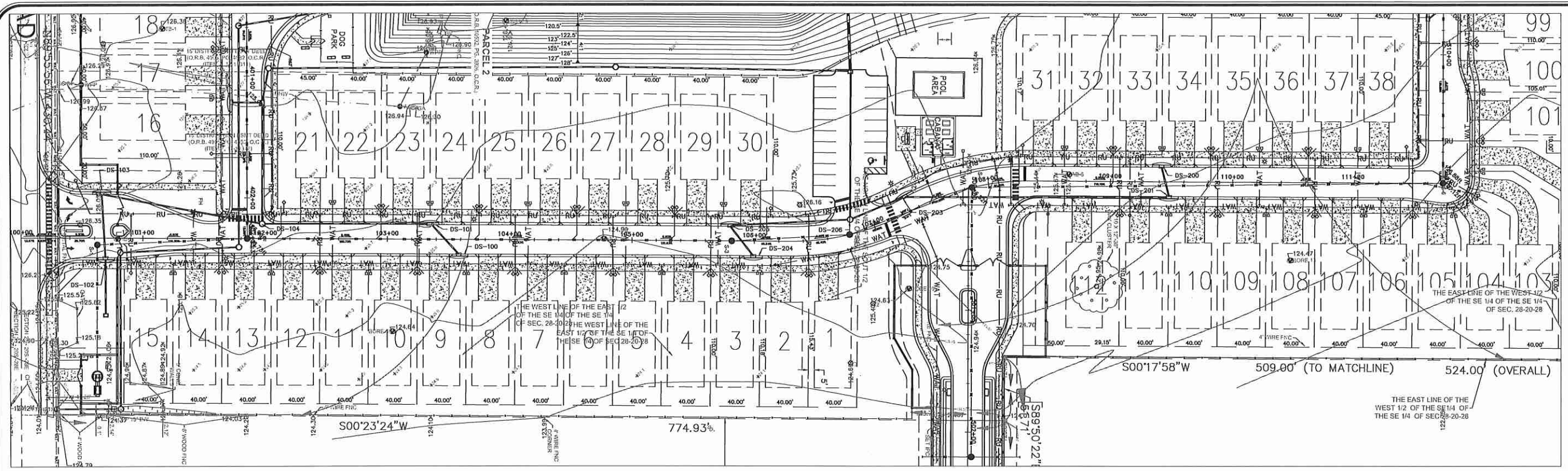
CONCRETE DITCH BLOCK DETAIL
N.T.S.



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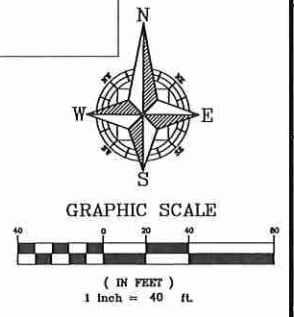
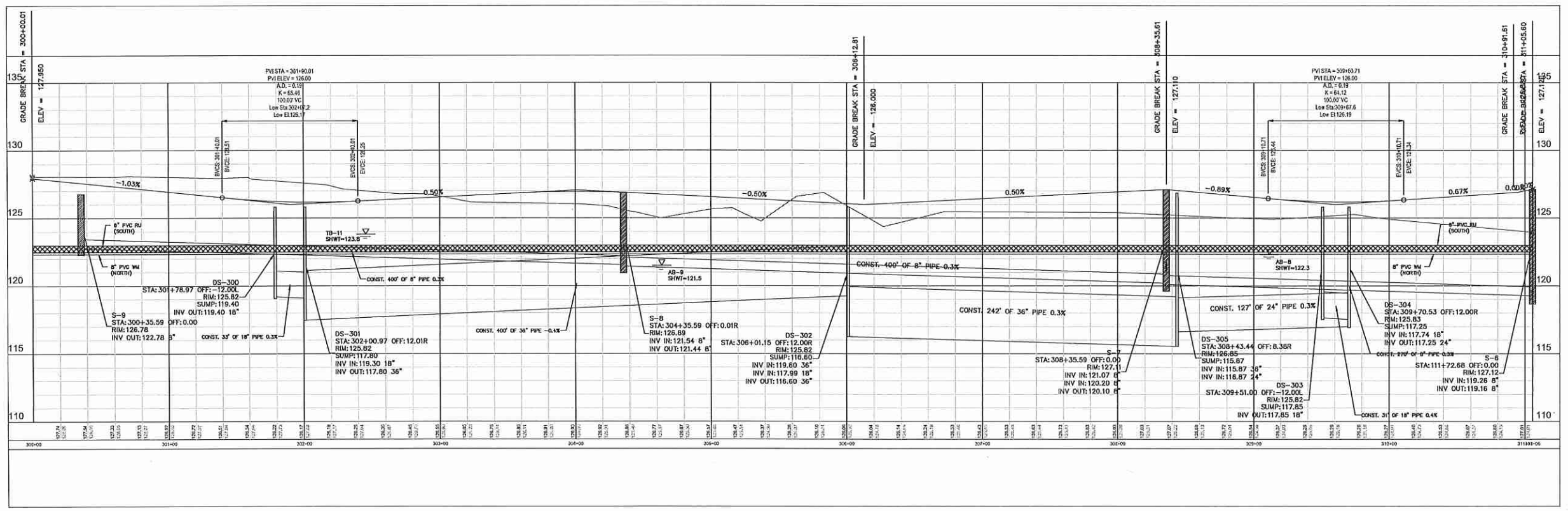
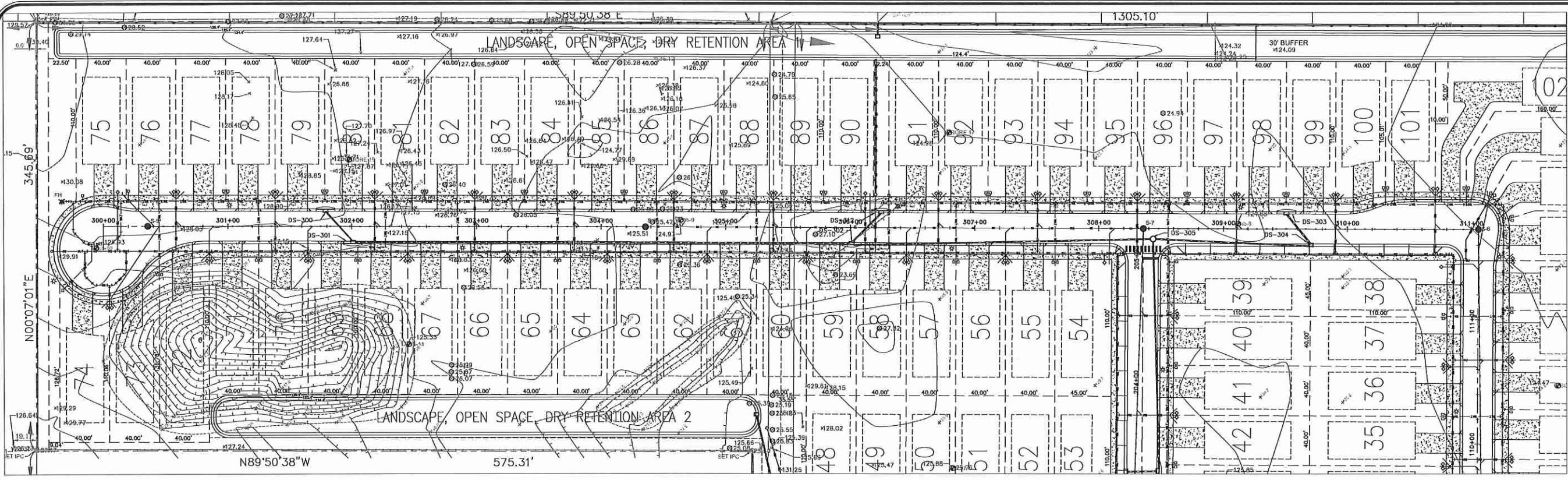
<p>WOHLFARTH CONSULTING GROUP LLC ENGINEERS & PLANNERS 246 N. WESTMONTE DRIVE, ALAMONTIC, FLORIDA 32714 (407) 750-3123</p>		<p>SAN SEBASTIAN RESERVE ORANGE COUNTY, FLORIDA</p>	<p>GRADING AND DRAINAGE PLAN SOUTH</p>
<p>SCALE: 1"=50'</p>	<p>PROJECT: 2017-011</p>	<p>CHECKED: RW</p>	<p>DATE: 3/12/2018</p>
<p>DRAWN: DM</p>	<p>DESIGNED: DM</p>	<p>SHEET: C-8.2</p>	<p>BUSINESS NO. 32108</p>
<p>6/20/18</p>			<p>DESCRIPTION</p>

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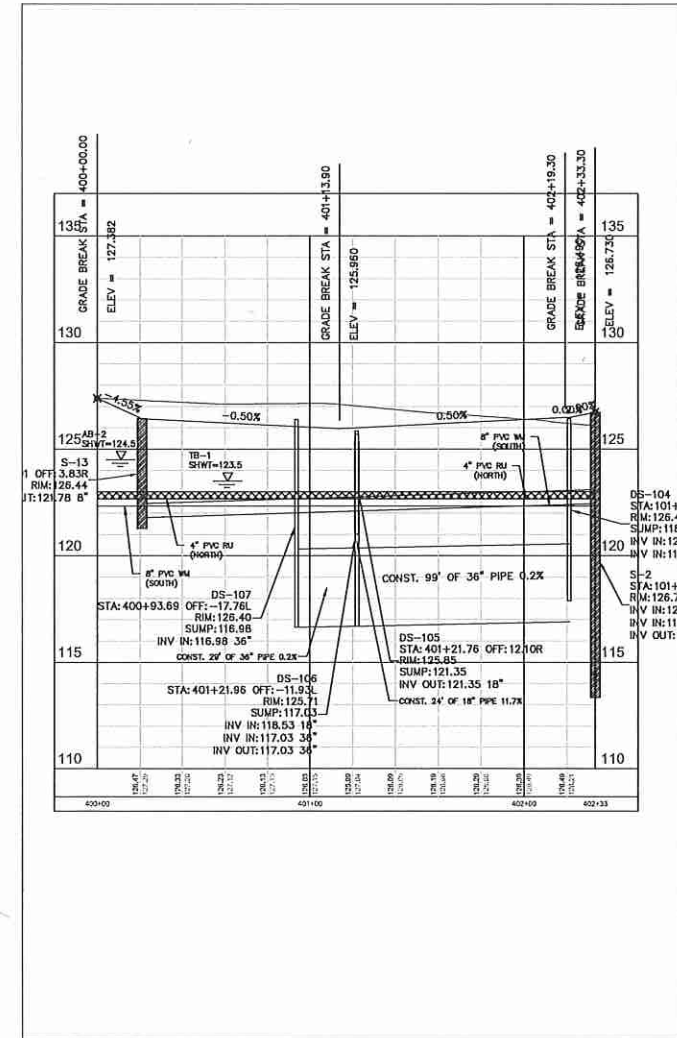
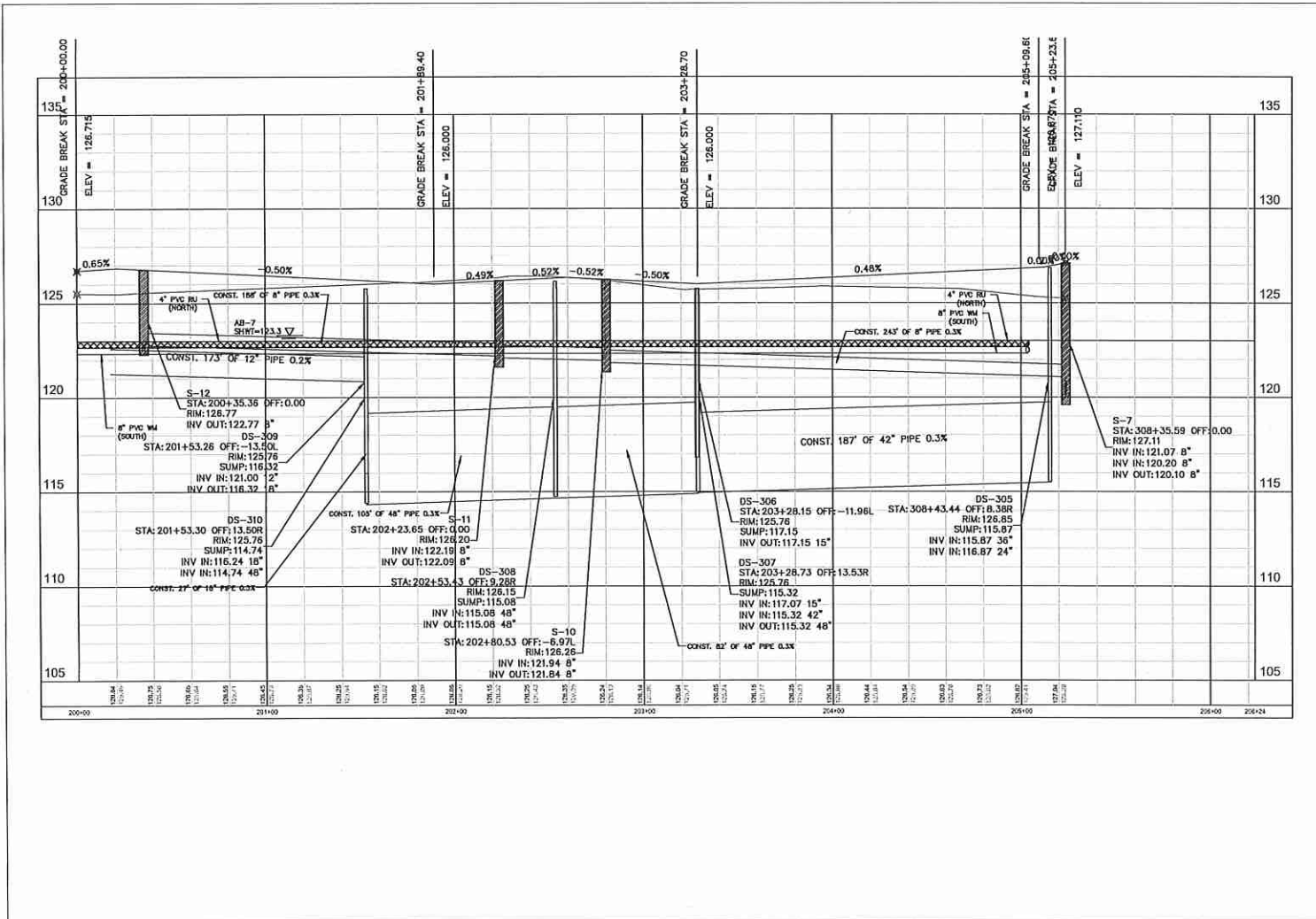
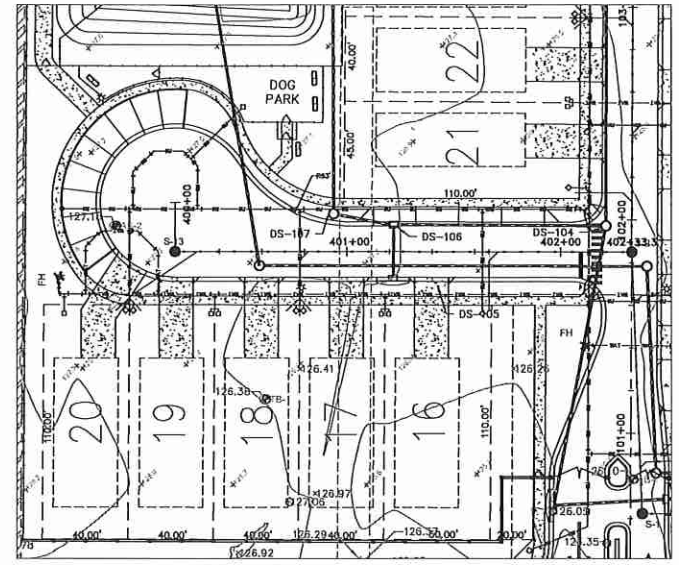
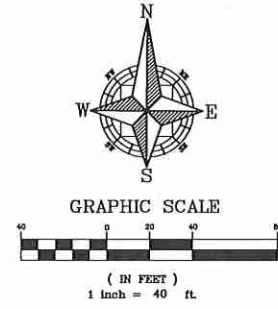
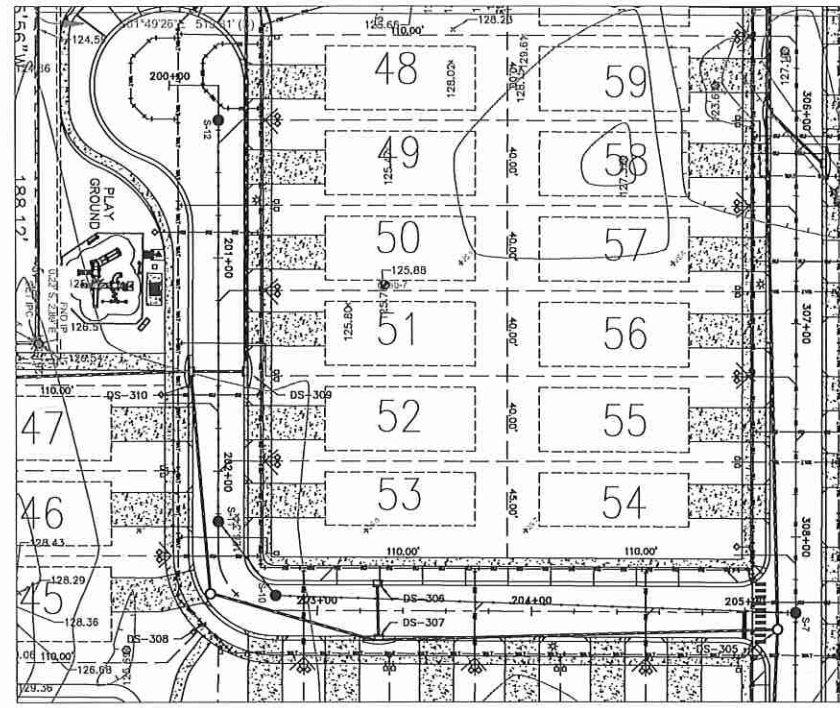
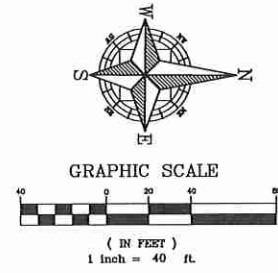
WOHLFARTH CONSULTING GROUP LLC ENGINEERS & PLANNERS 246 N. WESTMONTA DRIVE ALTAMONTE SPRINGS, FL 32714 (407) 750-3123		REVISIONS NO. DATE DESCRIPTION BY
SAN SEBASTIAN RESERVE ORANGE COUNTY, FLORIDA		PLAN & PROFILE STREET A
SCALE: 1"=40' PROJECT: 2017-011 SHEET: C-9.0	DRAWN: DM DESIGNED: -- CHECKED: RW DATE: 4/8/2018	BUSINESS NO. 32108 6/20/18 <small>NOT TO BE USED FOR RECORDS UNLESS SHOWN AND SIGNED WITH THE ORIGINAL SEAL OF REGISTERED PROFESSIONAL ENGINEER</small>

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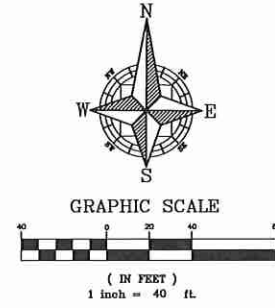
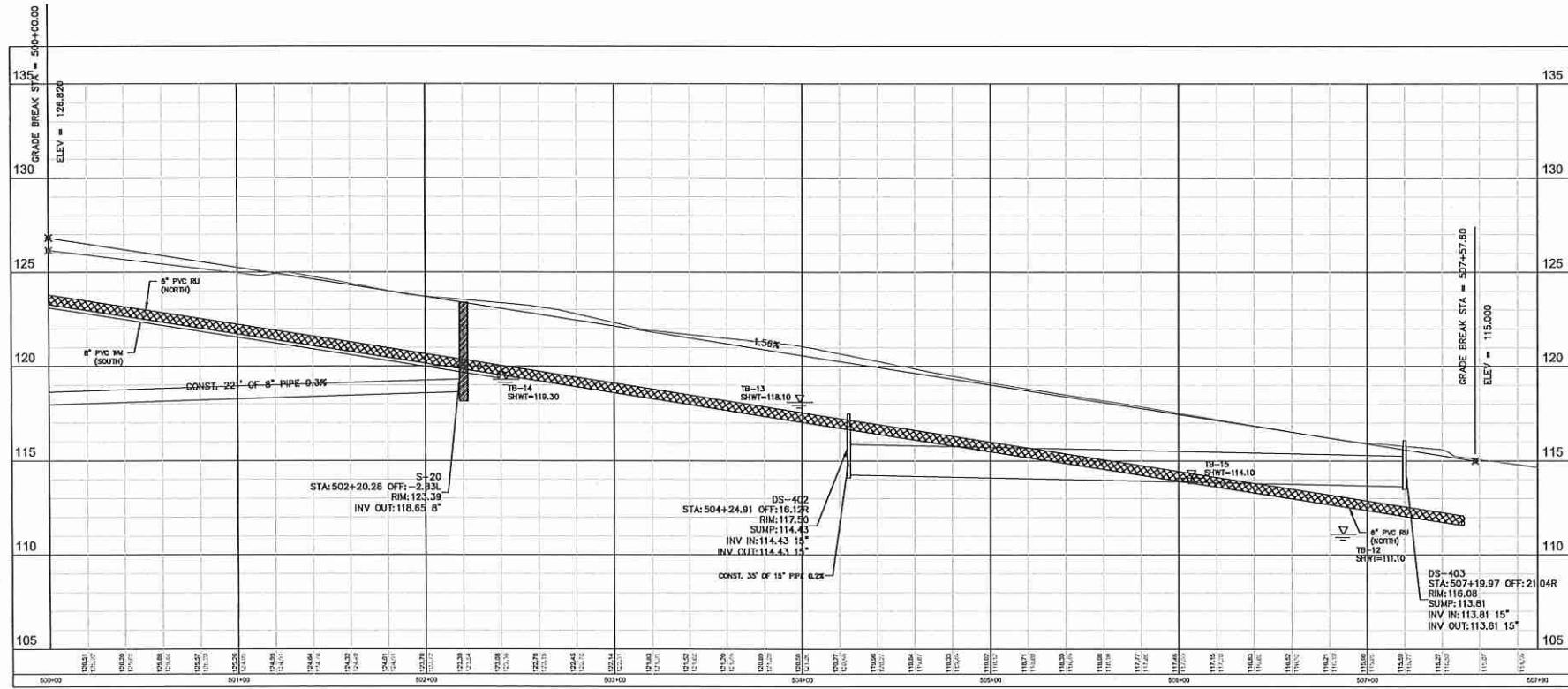
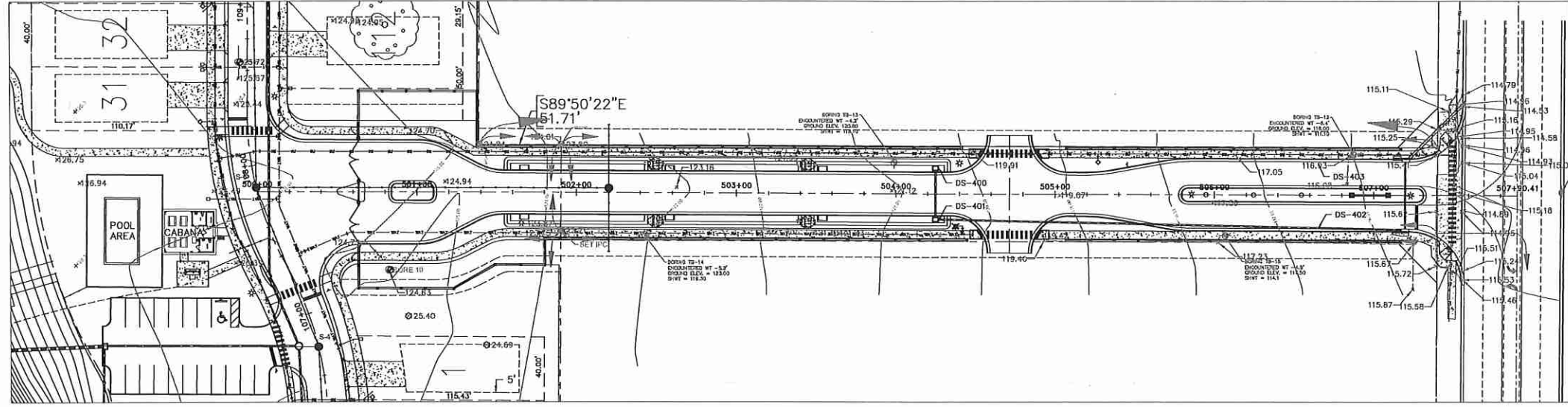
WOHLFARTH CONSULTING GROUP LLC ENGINEERS & PLANNERS 246 N. WESTMONTE DRIVE ALTAMONTE SPRINGS, FL 32714 (407) 750-3123		DATE REV	DESCRIPTION BY
SAN SEBASTIAN RESERVE ORANGE COUNTY, FLORIDA		PLAN & PROFILE STREET C	
SCALE 1"=40'	DRAWN DM	DESIGNED ---	CHECKED RW
PROJECT 2017-011	SHEET C-9.1	DATE 4/8/2018	BUSINESS NO. 32108

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<p>WOHLFARTH CONSULTING GROUP LLC ENGINEERS & PLANNERS 246 N. WESTMONTE DRIVE ALTA MONTE SPRINGS, FL 32714 (407) 750-3123</p>		<p>DATE: _____ REV: _____</p>
<p>SAN SEBASTIAN RESERVE ORANGE COUNTY, FLORIDA</p>		<p>DESCRIPTION: _____</p>
<p>SCALE: 1"=100'</p>	<p>PROJECT: 2017-011</p>	<p>DATE: 3/7/2018</p>
<p>DESIGNED: _____</p>	<p>CHECKED: _____</p>	<p>BY: _____</p>
<p>SHEET: C-9.2</p>	<p>PLAN & PROFILE STREET B & D</p>	<p>BUSINESS NO. 32108</p>

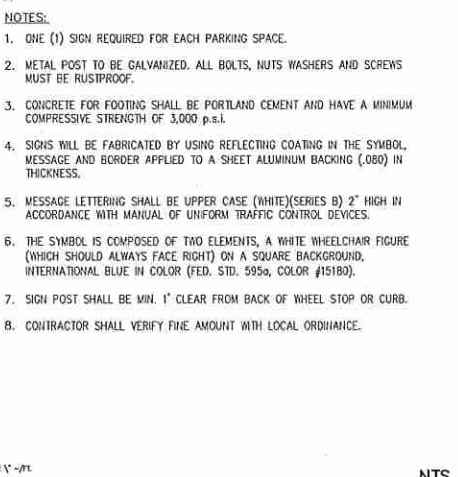
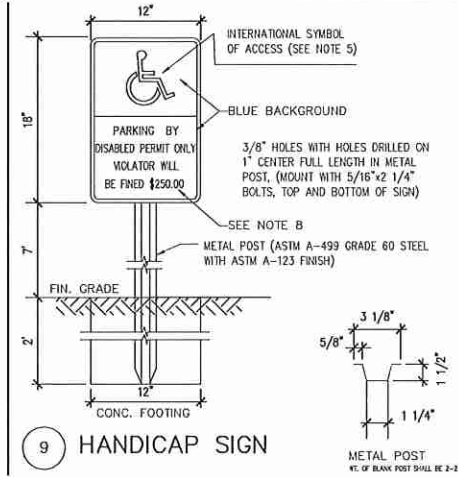
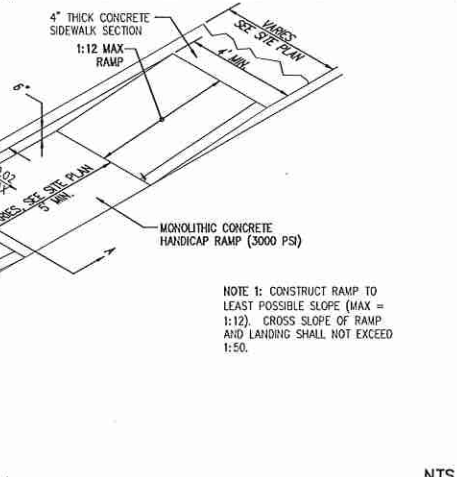
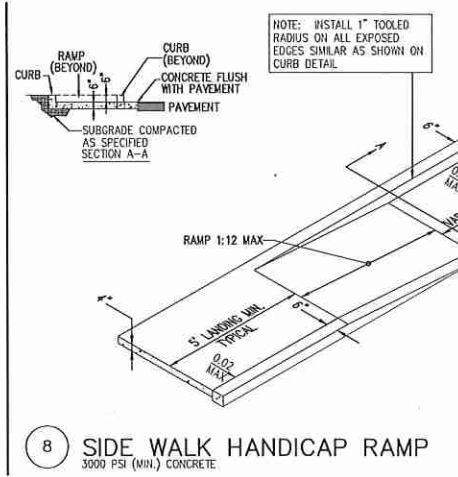
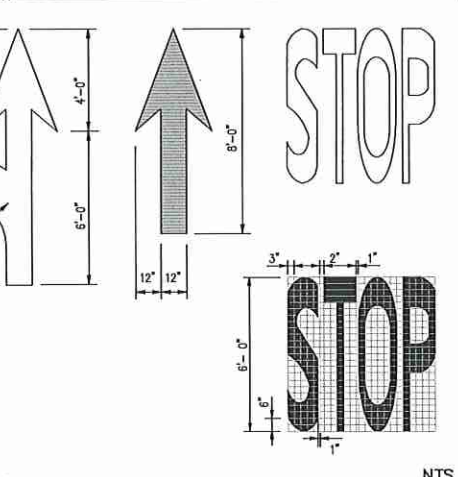
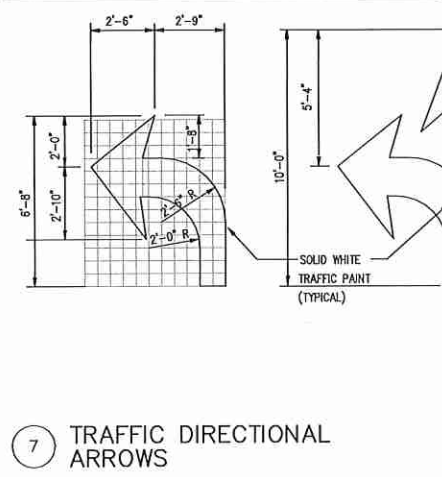
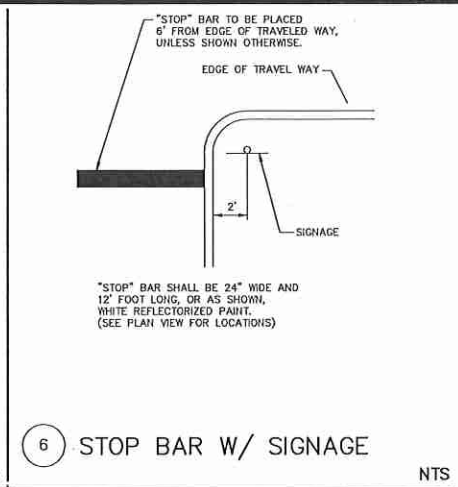
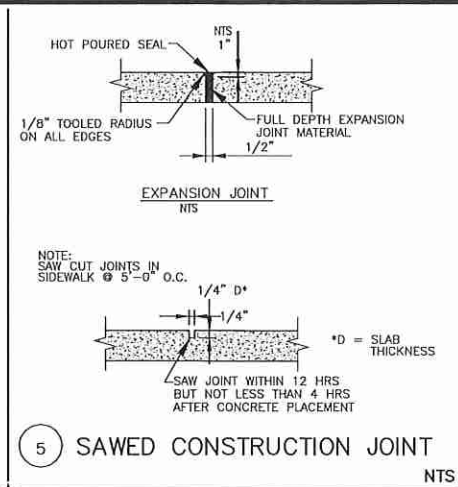
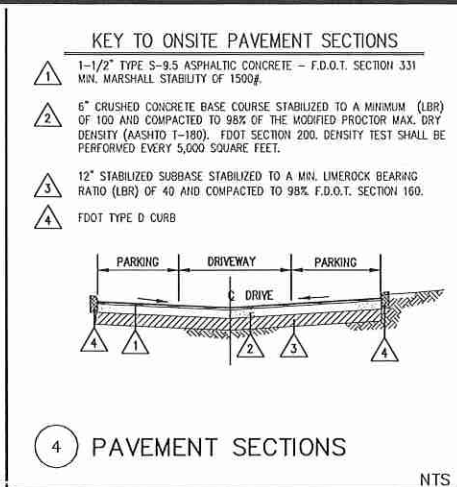
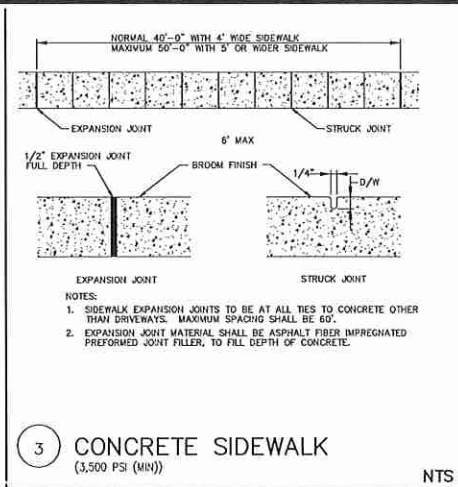
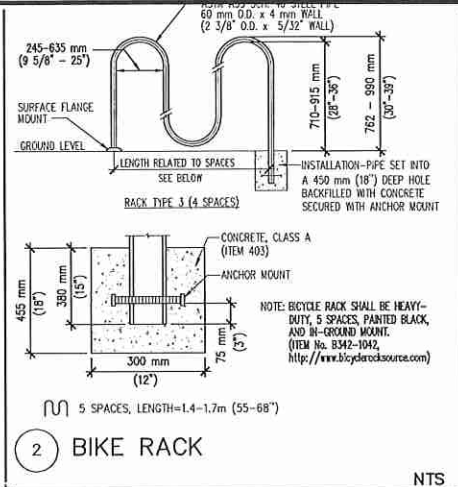
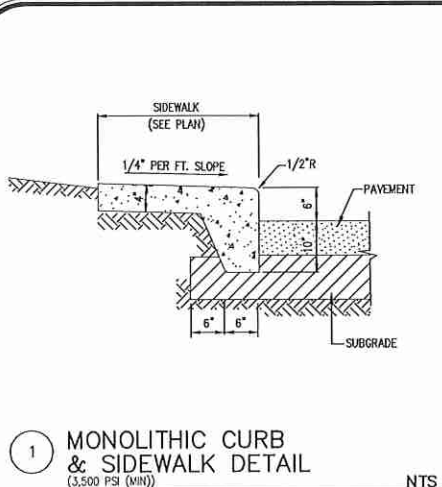
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SCALE: 1"=40'		DRAWN: DM		PROJECT: 2017-011		SHEET: C-9.3	
DESIGNED: ---		CHECKED: RW		DATE: 4/8/2018			
SAN SEBASTIAN RESERVE ORANGE COUNTY, FLORIDA				WOHLFARTH CONSULTING GROUP LLC ENGINEERS & PLANNERS 246 N. WESTMONTE DRIVE ALTA MONTE SPRINGS, FL 32714 (407) 750-3123			
PLAN & PROFILE STREET E				DESCRIPTION			
				DATE		BY	

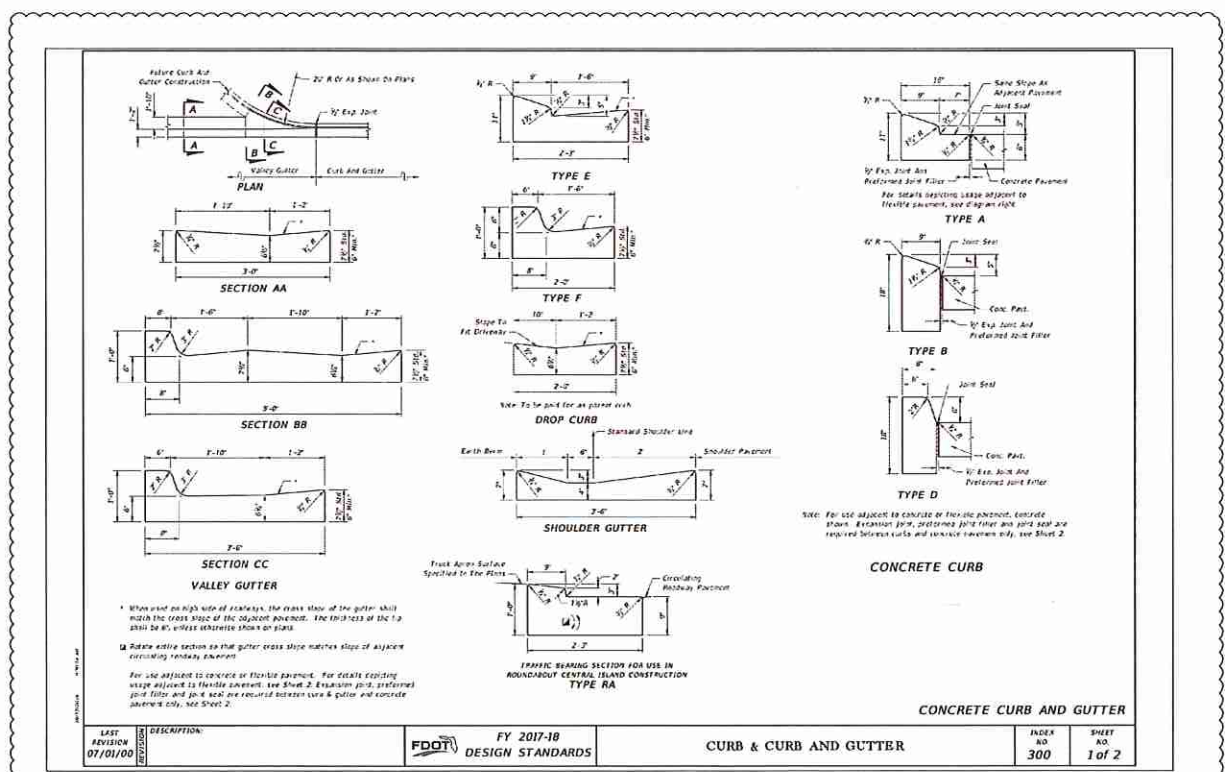


6/20/18
NOT TO BE FILED FOR RECORD UNLESS SPECIFICALLY NOTED
WITH THE OFFICIAL SEAL OF PROFESSIONAL ENGINEERING
FLORIDA REG. NO.



NOTE:

- CURB RAMP RUNNING SLOPES SHALL NOT BE STEEPER THAN 1:12 AND CROSS SLOPE SHALL BE 0.02 OR FLATTER.
- DETECTABLE WARNING SURFACES SHALL BE CONSTRUCTED BY TEXTURING OR APPLYING A TRUNCATED DOME MATERIAL IN CONFORMANCE WITH THE U.S. DEPARTMENT OF JUSTICE A.D.A. STANDARDS FOR ACCESSIBLE DESIGN, A.D.A. ACCESSIBILITY GUIDELINES, SECTION 4.29.2. TRANSITION SLOPES ARE NOT TO HAVE DETECTABLE WARNINGS.
- WHERE A CURB RAMP IS CONSTRUCTED WITHIN AN EXISTING CURB, CURB AND GUTTER AND/OR SIDEWALK, THE EXISTING CURB OR CURB AND GUTTER SHALL BE REMOVED TO THE NEAREST JOINT BEYOND THE CURB TRANSITIONS OR TO THE EXTENT THAT NO REMAINING SECTION OF CURB AND GUTTER IS LESS THAN 5' LONG. THE EXISTING SIDEWALK SHALL BE REMOVED TO THE NEAREST JOINT BEYOND THE TRANSITION SLOPE WALK AROUND OR TO THE EXTENT THAT NO REMAINING SECTION OF SIDEWALK IS LESS THAN 5'.
- WHERE ADJACENT WALKING SURFACES ARE COLORED OR ARE CONSTRUCTED WITH MATERIALS OTHER THAN STANDARD CLASS I PORTLAND CEMENT CONCRETE IN ACCORDANCE WITH SECTION 522 OF THE SPECIFICATIONS, THE PLAN MUST PROVIDE FOR DETECTABLE WARNING SURFACE COLORS OR MATERIALS THAT PROVIDE THE NECESSARY CONTRAST, EITHER DARK-ON-LIGHT OR LIGHT-ON-DARK. (SAFETY YELLOW OR BRICK RED)
- RECOMMENDED MANUFACTURER: ENGINEERED PLASTICS, INC. (ARMOR TILE) OLYMPIC TOWERS, 300 PEARL STREET, SUITE 200, BUFFALO, NY 14202. PHONE: (800) 682-2525



NO.	REV.	DATE	DESCRIPTION	BY
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WOHLFARTH CONSULTING GROUP LLC
ENGINEERS & PLANNERS
246 N. WESTMONTA DRIVE
ALTIMONTE SPRINGS, FL 32714
(407) 750-3123

SAN SEBASTIAN RESERVE ORANGE COUNTY, FLORIDA

CIVIL SITE DETAILS

SCALE: N/A
PROJECT: 2017-011
SHEET: C-10.0
DATE: 4/7/2018

W GROUP
LAND DEVELOPMENT & ENGINEERING SERVICES
BUSINESS NO. 32108

6/2018
NOT TO BE FILED OR RECORDED UNLESS AND UNTIL WITH THE ORIGINAL SEAL OF REGISTERED PROFESSIONAL ENGINEER

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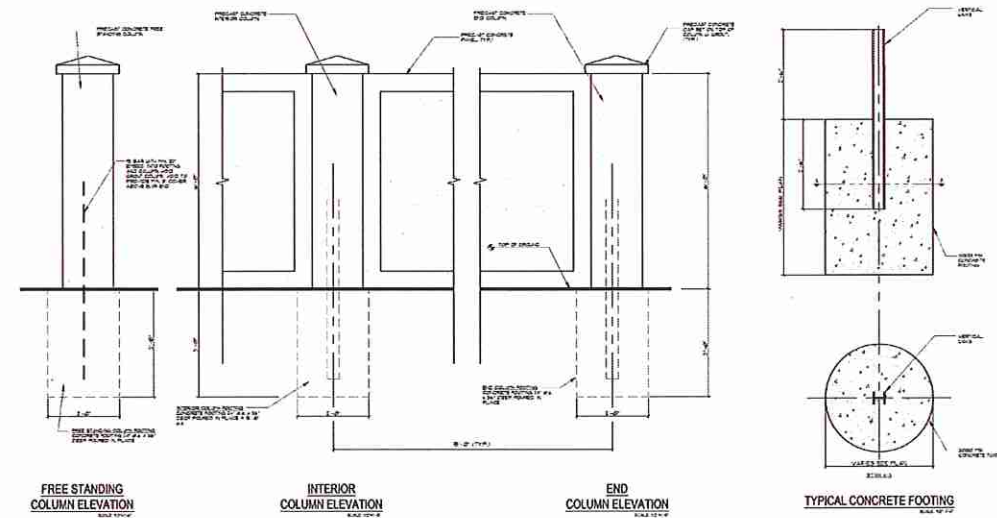
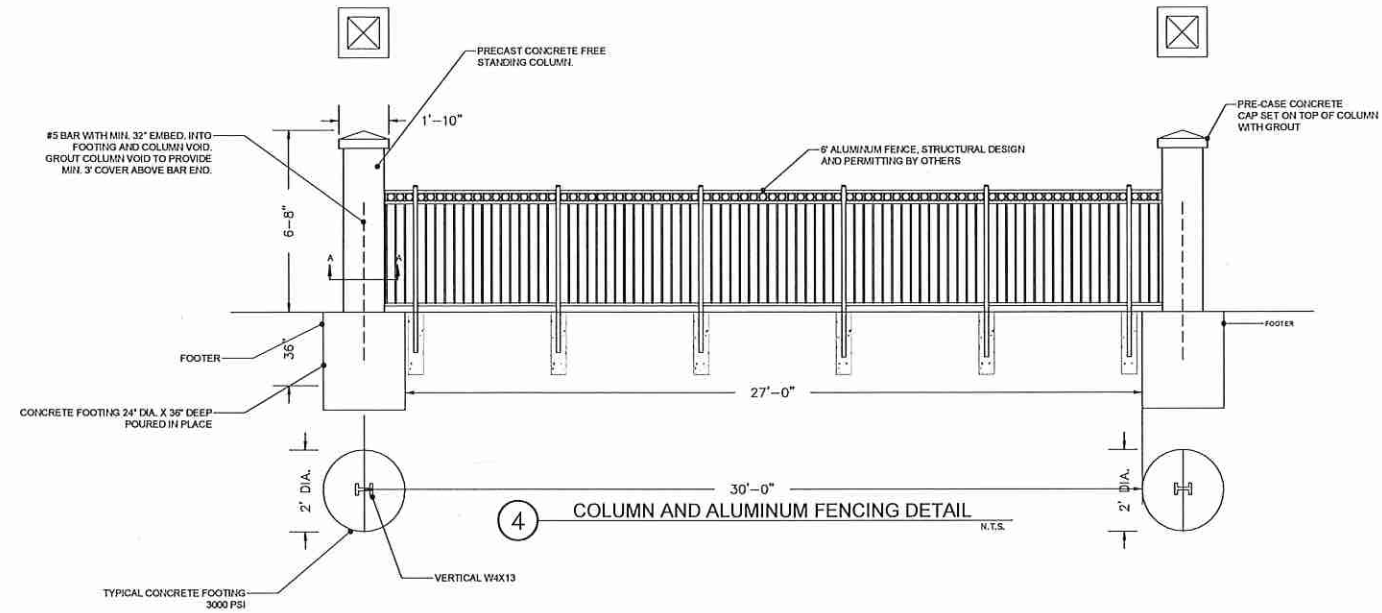
1 PRE-FABRICATED STACKED STONE RESIDENTIAL DETAIL



2 TYPICAL 6' PVC FENCE



3 PLAYGROUND TYPICAL (SUBJECT TO CHANGE)



5 PRE-FABRICATED STACKED STONE WALL DETAIL

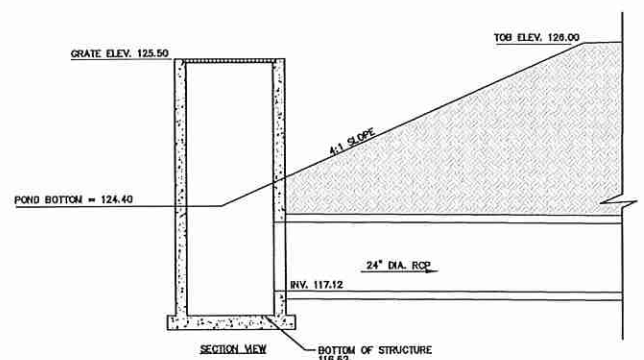


6 ENTRANCE DETAIL

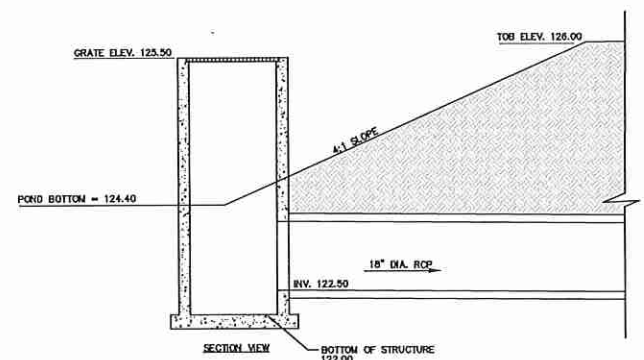
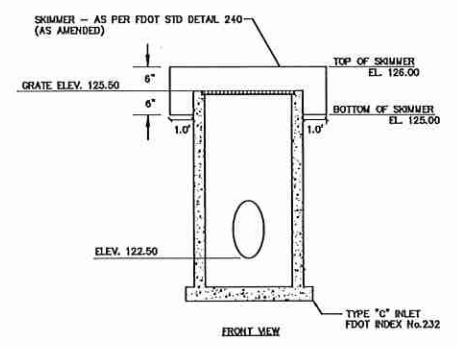
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WOHLFARTH CONSULTING GROUP LLC ENGINEERS & PLANNERS 245 N. WESTMONTA DRIVE ALTAMONTE SPRINGS, FL 32714 (407) 750-3123		SAN SEBASTIAN RESERVE ORANGE COUNTY, FLORIDA GENERAL DETAILS	
SCALE	N/A	PROJECT	2017-011
DRAWN:	DM	DESIGNED:	
CHECKED:	RW	DATE:	3/12/2018
SHEET	C-10.1		
 LAND DEVELOPMENT & ENGINEERING SERVICES BUSINESS NO. 32108			
REV. DATE DESCRIPTION 42418 42418			

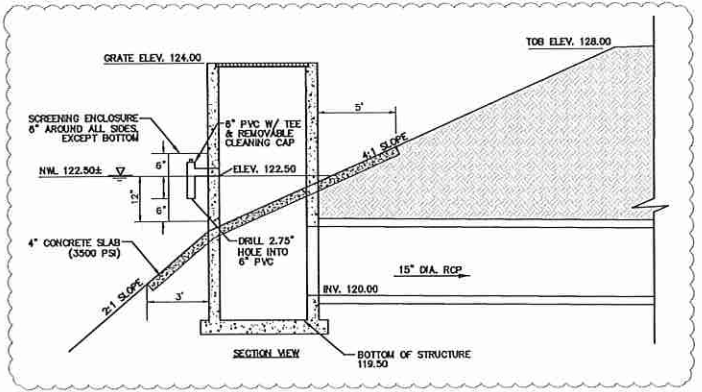
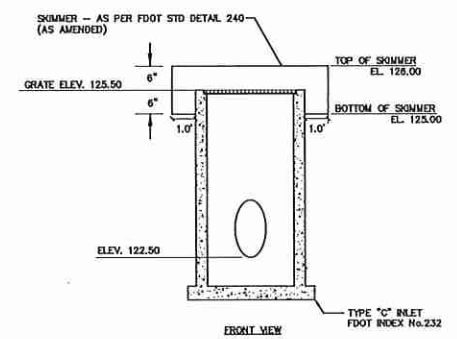
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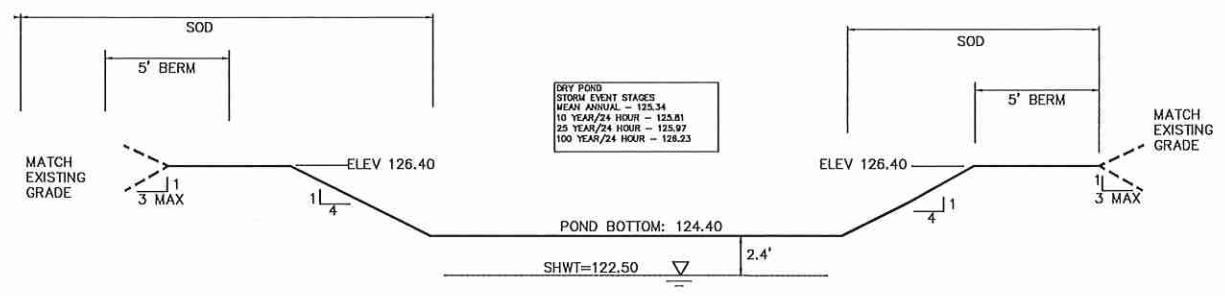
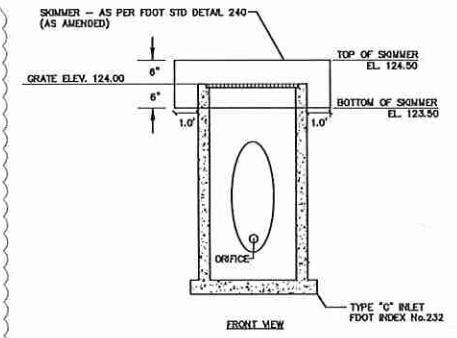
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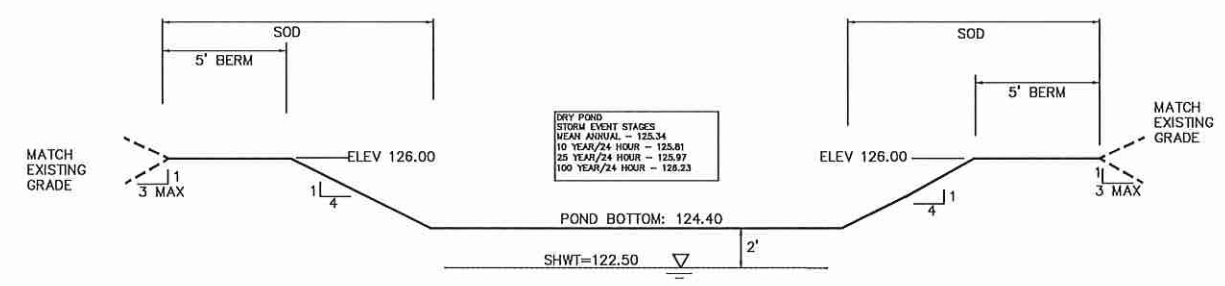
CS-2 CONTROL STRUCTURE DETAIL
N.T.S.



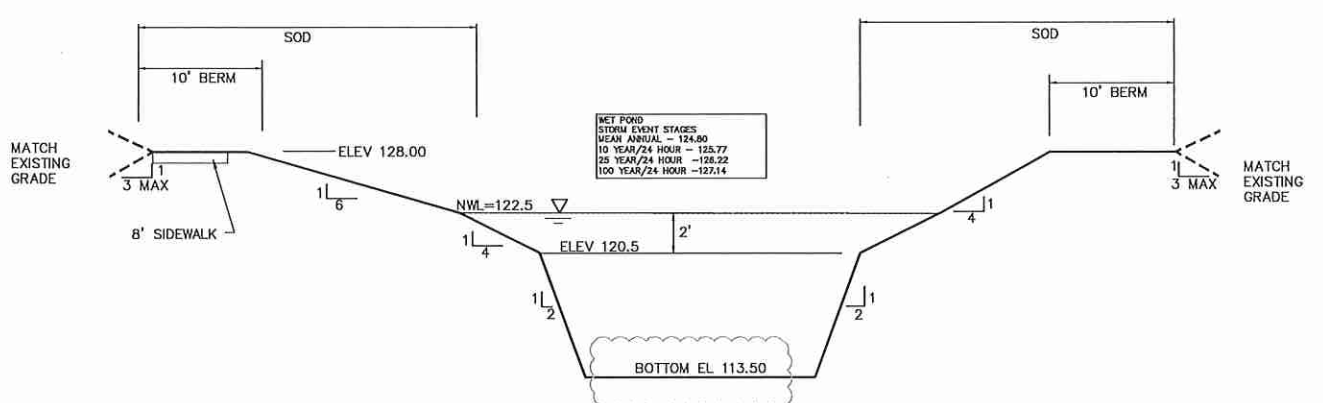
CS-3 CONTROL STRUCTURE DETAIL
N.T.S.



DRY RETENTION POND #1
N.T.S.



STORMWATER RETENTION POND #2
N.T.S.



STORMWATER DETENTION POND #3
N.T.S.

REV	DATE	DESCRIPTION	BY

WOHLFARTH CONSULTING
GROUP LLC
ENGINEERS & PLANNERS
246 N. WESTMONTA DRIVE
ALTA MONTA SPRINGS, FL 32714
(407) 750-3123

SAN SEBASTIAN RESERVE
ORANGE COUNTY, FLORIDA
DRAINAGE DETAILS

DRAWN: DM	DESIGNED: RW	CHECKED: RW	DATE: 4/8/2018
SCALE: N/A	PROJECT: 2017-011	SHEET: C-10.2	



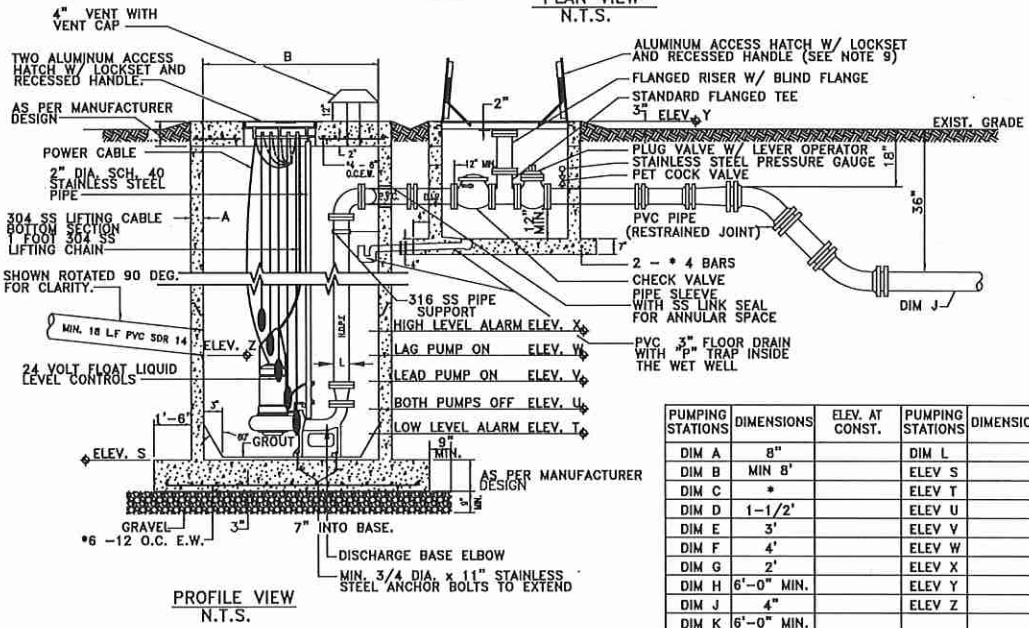
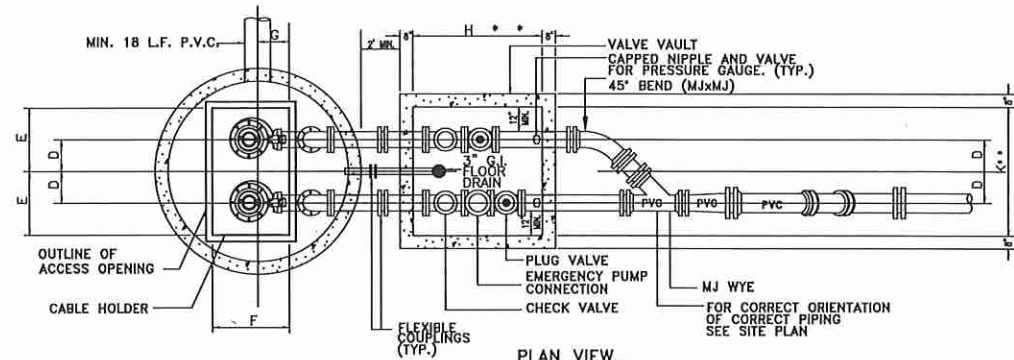
BUSINESS NO. 32108
6/20/18
NOT TO BE FILED FOR RECORD UNLESS SIGNED AND DATED WITH THE ORIGINAL SET OF DRAWINGS. WOHLFARTH CONSULTING GROUP, INC. ENGINEERS & PLANNERS, FLORIDA P.E. 00044

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The drawings are organized into a grid of 4 rows and 6 columns. Each cell contains a specific technical drawing with associated notes and a title block at the bottom of the cell.

- Row 1:**
 - Cell 1: Structure Bottoms Type J and P (2 of 5)
 - Cell 2: Cross Drain Nitered End Section (2 of 2)
 - Cell 3: Curb Inlet Ties Types 1 and 4 (2 of 3)
- Row 2:**
 - Cell 1: Gutter Inlet Type V (2 of 2)
 - Cell 2: Curb & Curb and Gutter (2 of 2)
 - Cell 3: Concrete Bumper Guard and Asphalt Concrete Curb (2 of 2)
- Row 3:**
 - Cell 1: Ditch Bottom Inlet Types C, D, E and H (2 of 2)
 - Cell 2: Detectable Warnings and Sidewalk Curb Ramps (2 of 2)
 - Cell 3: Curb Inlet Ties Types 1 and 4 (2 of 2)
- Row 4:**
 - Cell 1: Detectable Warnings and Sidewalk Curb Ramps (3 of 3)
 - Cell 2: Concrete Sidewalk (2 of 2)
 - Cell 3: Curb Inlet Ties Types 1 and 4 (3 of 3)

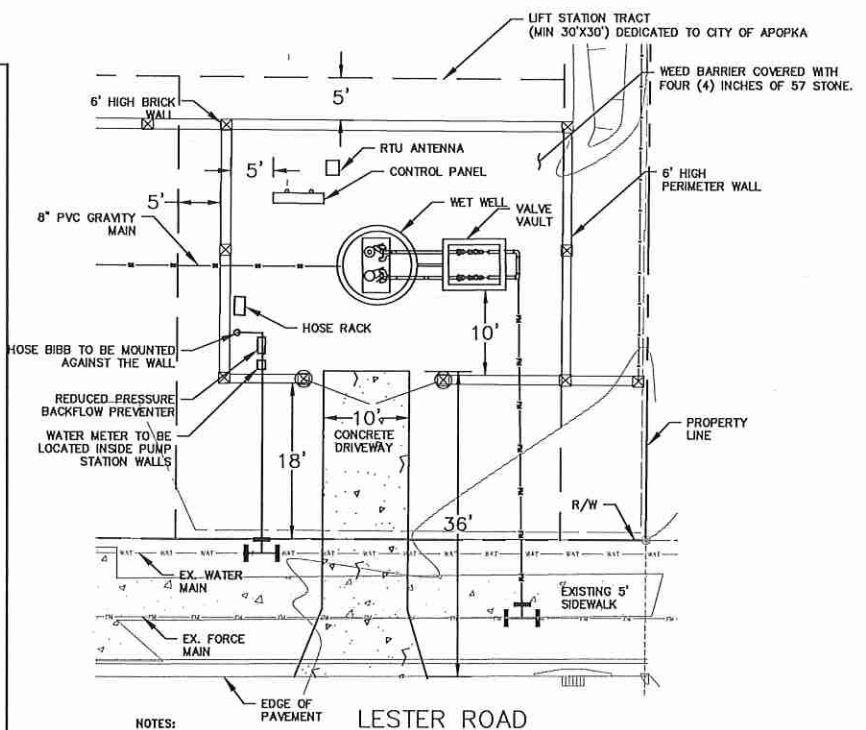
WOHLFARTH CONSULTING GROUP LLC ENGINEERS & PLANNERS 246 N. WESTMONTE DRIVE ALTA MONTE SPRINGS, FL 32714 (407) 750-3123	SAN SEBASTIAN RESERVE ORANGE COUNTY, FLORIDA DRAINAGE DETAILS	SCALE: N/A PROJECT: 2017-011 SHEET: C-10.3 DATE: 4/8/2018	 LAND DEVELOPMENT & ENGINEERING SERVICES BUSINESS NO. 32108	DRAWN: DM DESIGNED: DM CHECKED: RW DATE: 4/8/2018	DESCRIPTION DATE REV



PUMPING STATIONS	DIMENSIONS	ELEV. AT CONST.	PUMPING STATIONS	DIMENSIONS	ELEV. AT CONST.
DIM A	8"		DIM L		
DIM B	MIN 8'	ELEV S			107.52
DIM C	*	ELEV T			109.02
DIM D	1-1/2'	ELEV U			109.52
DIM E	3'	ELEV V			110.52
DIM F	4'	ELEV W			112.02
DIM G	2'	ELEV X			112.32
DIM H	6'-0" MIN.	ELEV Y			126.60
DIM J	4"	ELEV Z			113.02
DIM K	6'-0" MIN.				

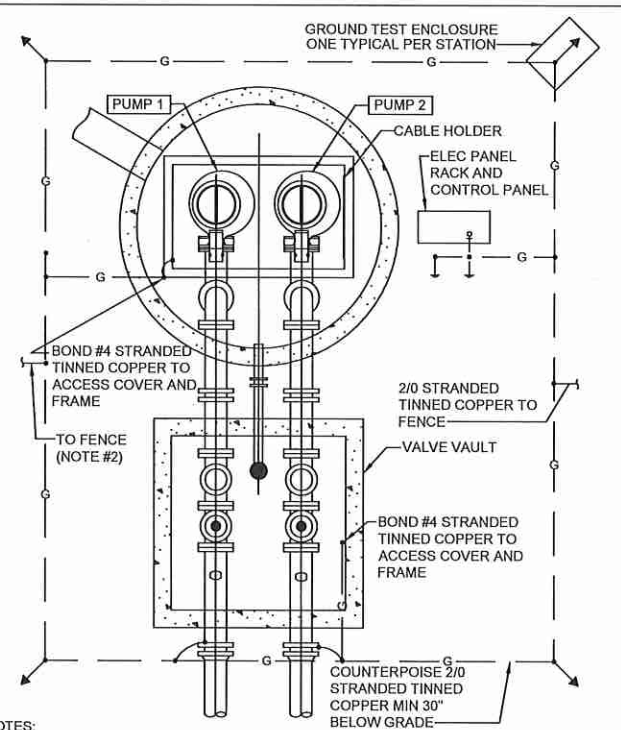
- GENERAL NOTES:
1. VALVE VAULT AND WET WELL LIDS SHALL BE COATED WITH 1 COAT OF TNEC SERIES 66, COLOR EN03, (2-3 MILS), FOLLOWED BY TOP COAT OF TNEC SERIES 73, COLOR EN05, (2-3 MILS) OR EQUAL.
 - 2.A THE WET WELL SHALL BE CONSTRUCTED OF FIBERGLASS REINFORCED POLYESTER (RFP) AND MANUFACTURED FROM COMMERCIAL GRADE POLYESTER RESIN OR VINYL ESTER RESIN, WITH FIBERGLASS REINFORCEMENTS. THE WET WELL SHALL BE A ONE PIECE UNIT AND MANUFACTURED BY L.F. MANUFACTURE, INC. OR EQUAL.
 - 2.B IN LIEU OF RFP THE WET WELL MAY BE CONSTRUCTED OF PRECAST CONCRETE HAVING A MINIMUM WALL THICKNESS OF 8 INCHES. THE INTERIOR WALLS SHALL BE LINED USING A HIGH DENSITY POLYETHYLENE PRODUCT AS MANUFACTURED BY AGRU SURE GRIP, OR EQUAL.
 3. PIPING IN THE WET WELL TO BE HDPE WITH FUSED 45 DEGREE FITTINGS FROM WET WELL TO VALVE VAULT.
 4. INTERIOR OF THE VALVE VAULT AND PIPING IN THE VALVE VAULT WITH ConSeal CS-55 (OR EQUAL), TWO COATS, 4 MILS EACH. PIPING SHALL BE COATED AFTER INSTALLATION.
 5. VALVE VAULT SHALL BE SIZED TO PERMIT EASY REMOVAL OF CHECK VALVE SPINDLES WITH MINIMUM CLEARANCES AS SHOWN FOR 6" DIAMETER PIPE AND SMALLER. CLEARANCES SHALL INCREASE AS REQUIRED FOR LARGER PIPE SIZES.
 6. VALVE VAULT SHALL HAVE SEALED FLOOR AND DRAIN.
 7. ALL LOCATIONS WHERE PIPES ENTER OR LEAVE THE WET WELL OR VALVE VAULT SHALL BE MADE WATERTIGHT WITH WALL SLEEVE AND STAINLESS STEEL LINK SEAL.
 8. THERE SHALL BE NO VALVES OR ELECTRICAL JUNCTION BOXES IN WET WELL.
 9. WET WELL AND VALVE VAULT COVERS SHALL BE ALUMINUM WITH 316 S.S. HARDWARE LOCK BRACKET. SIZE AS REQUIRED BY PUMP MANUFACTURER AND APPROVED BY THE CITY.
 10. FLEXIBLE COUPLING SHALL BE SLEEVE TYPE, EPOXY COATED.
 11. PUMPS SHALL BE:
 - MANUFACTURER: FLYGT; MODEL: CP-3127; DIA: 3"; SPEED: 1740; DISCHARGE SIZE: 3-15/16 IN.;
 - VOLTAGE: 230X; HZ: 60HZ; PHASE: 3 PHASE; H.P.: 7.5 HP; MIN. SOLID SIZE: 3" IN.
 12. OPERATING CONDITIONS SHALL BE 150 GPM AT 57.50 FEET TDH.
 13. ALL HARDWARE IN WET WELL AND VALVE BOX TO BE 316 STAINLESS STEEL.
 14. "P" TRAP TO BE INSTALLED IN WET WELL.
 15. ALL PUBLIC LIFT STATIONS SHALL BE EQUIPPED WITH SCADA SYSTEM. THE DEVELOPER SHALL PAY THE CITY COST OF THE UNIT. THE CITY WILL BE RESPONSIBLE FOR INSTALLATION.
 16. ALL LIFT STATIONS SHALL BE FENCED WITH DECORATIVE STONE OR BRICK OR AS DIRECTED BY THE CITY.
 17. ALL LIFT STATIONS SHALL HAVE A 10 FEET WIDE CONCRETE ACCESS DRIVEWAY, 35' LONG FROM EDGE OF WET WELL TO BACK OF CURB.
 18. ENGINEER SHALL PROVIDE A SCALED (1" = 20' MIN.) SITE SPECIFIC DETAIL.

PUMP STATION DETAIL



- NOTES:
1. DRIVEWAY AND APRON SHALL BE SIX (6) INCH THICK, 3000 P.S.I. CONCRETE, WITH No.6X6 WIRE MESH OR FIBER MESH.
 2. POWER TO THE PUMP STATION SHALL BE THROUGH UNDERGROUND CONDUIT FROM SUPPLY SOURCE IN RIGHT-OF-WAY.
 3. GATE TO BE DECORATIVE BLACK POWDER COATED ALUMINUM W/PICKET SPACING = OR < 4"
 4. WALLS ARE TO BE BRICK OR DECORATIVE STONE.
 5. WET WELL LID MUST OPEN TOWARD CONTROL PANEL (HINGE SIDE TOWARD PANEL).
 6. LIFT STATION WALL TO BE PLACED AT LEAST 15FT. BEHIND THE R/W LINE.

PUMP STATION SITE PLAN



- NOTES:
1. DETAIL IS GENERIC. SPECIFIC LOCATIONS OF EQUIPMENT MAY VARY.
 2. TIE TO FENCE, MINIMUM 2 LOCATIONS. NOT REQUIRED WHERE PVC COATED OR BLOCK FENCE IS INSTALLED.
 3. PROVIDE EXOTHERMIC WELDS UNLESS NOTED OTHERWISE.

PUMP STATION GROUNDING (TYPICAL)

CITY OF APOPKA
DESIGN ENGINEERING DIVISION

JANUARY 2014

FIG. 301

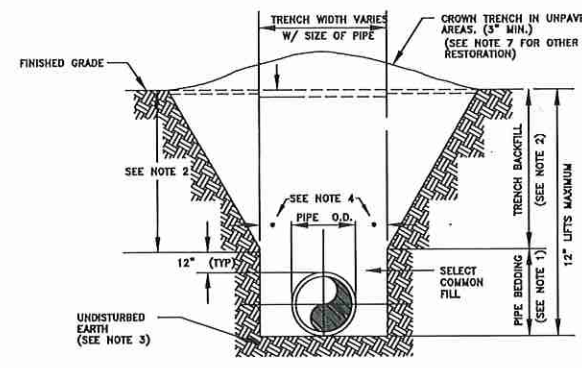
CITY OF APOPKA
DESIGN ENGINEERING DIVISION

JANUARY 2014

FIG. 307

WOHLFARTH CONSULTING GROUP LLC ENGINEERS & PLANNERS 246 N. WESTMONTE DRIVE ALTA MONTE SPRINGS, FL 32714 (407) 750-3123		DATE: 4/4/2018 CHECKED: RW DESIGNED: -- DRAWN: DM
SAN SEBASTIAN RESERVE ORANGE COUNTY, FLORIDA CITY OF APOPKA STANDARD DETAILS		SCALE: N/A PROJECT: 2017-011 SHEET: C-10.4
BUSINESS NO. 32108		

G:\Users\Dennis Murrey\Dropbox\Rick Wohlfarth\San Sebastian\WWS\Construction\Plans\2017-011-C10.4 - Lift Station Details.dwg Plotted: 6/20/2018 By: Dennis Murrey



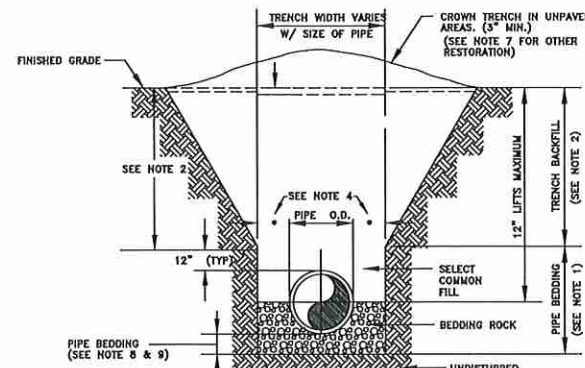
- NOTES:**
1. PIPE BEDDING: SELECT COMMON FILL COMPACTED TO 98% UNDER PAVEMENT OF THE MAXIMUM DENSITY AS PER AASHTO T-190.
 2. TRENCH BACKFILL: COMMON FILL COMPACTED TO 98% UNDER PAVEMENT OF THE MAXIMUM DENSITY AS PER AASHTO T-190.
 3. PIPE BEDDING UTILIZING SELECT COMMON FILL OR BEDDING ROCK IN ACCORDANCE WITH TYPE A BEDDING AND TRENCHING DETAIL MAY BE REQUIRED AS DIRECTED BY THE CITY.
 4. (*) 15" MAX. FOR PIPE DIAMETERS LESS THAN 24", AND 24" MAX. FOR PIPE DIAMETER 24" AND LARGER.
 5. WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
 6. ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF THE FLOW.
 7. FINAL RESTORATION IN IMPROVED AREAS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS OF GOVERNING AGENCIES.
 8. SURFACE RESTORATION WITHIN CITY RIGHT-OF-WAY, SHALL COMPLY WITH REQUIREMENTS OF RIGHT-OF-WAY UTILIZATION REGULATIONS.
 9. ALL UNPAVED DISTURBED AREAS SHALL BE SOODED TO MATCH ADJACENT DOMINANT GRASS SPECIES.

TYPE "B" BEDDING AND OPEN-CUT DETAIL

CITY OF APOPKA
DESIGN ENGINEERING DIVISION

JANUARY 2014

FIG. 100



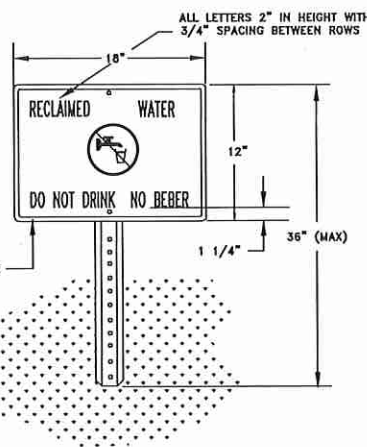
- NOTES:**
1. PIPE BEDDING: SELECT COMMON FILL COMPACTED TO 98% UNDER PAVEMENT OF THE MAXIMUM DENSITY AS PER AASHTO T-190.
 2. TRENCH BACKFILL: COMMON FILL COMPACTED TO 98% UNDER PAVEMENT OF THE MAXIMUM DENSITY AS PER AASHTO T-190.
 3. USE OF TYPE A BEDDING TO BE DETERMINED IN THE FIELD AS DIRECTED BY THE CITY.
 4. (*) 15" MAX. FOR PIPE DIAMETER LESS THAN 24", AND 24" MAX. FOR PIPE DIAMETER 24" AND LARGER.
 5. WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
 6. ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF THE FLOW.
 7. GRAVITY SEWERS SHALL UTILIZE TYPE A BEDDING IF REQUIRED BY THE CITY. BEDDING DEPTH SHALL BE 4" MINIMUM FOR PIPE DIAMETER LESS THAN 15" AND 6" MINIMUM FOR PIPE DIAMETER 16" AND LARGER.
 8. DEPTH FOR REMOVAL OF UNSUITABLE MATERIAL SHALL COVER DEPTH OF BEDDING ROCK BELOW THE PIPE. THE CITY SHALL DETERMINE IN THE FIELD IF REMOVAL OF UNSUITABLE MATERIAL IS REQUIRED TO REACH A SUITABLE FOUNDATION.
 9. ALL UNPAVED DISTURBED AREAS SHALL BE SOODED TO MATCH ADJACENT DOMINANT GRASS SPECIES.
 10. FINAL RESTORATION IN IMPROVED AREAS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS OF GOVERNING AGENCIES. SURFACE RESTORATION WITHIN CITY RIGHT-OF-WAY, SHALL COMPLY WITH REQUIREMENTS OF RIGHT-OF-WAY UTILIZATION REGULATIONS.

TYPE "A" BEDDING AND OPEN-CUT DETAIL

CITY OF APOPKA
DESIGN ENGINEERING DIVISION

JANUARY 2014

FIG. 101



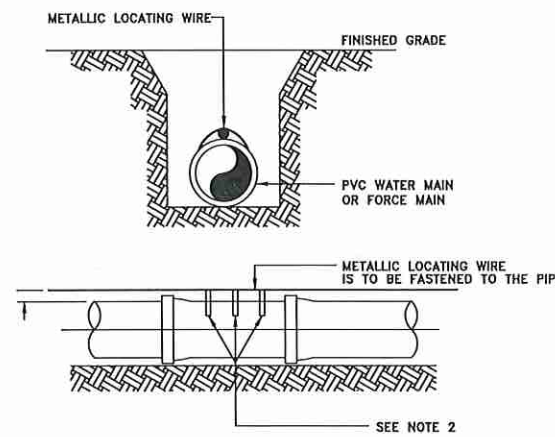
- NOTES:**
1. HEIGHT OF SIGN WILL DEPEND ON LOCATION AND SURROUNDING LANDSCAPE PLANT TYPES. IN ALL CASES, THE SIGN SHALL BE VISIBLE TO THE PUBLIC.
 2. BACKGROUND SHALL BE WHITE. LETTERS AND FIGURES SHALL BE BLACK. PROHIBITIVE SYMBOL SHALL BE RED.
 3. ENGINEERING GRADE REFLECTIVE MATERIALS SHALL BE USED.
 4. POST SHALL BE U CHANNEL 12 FT. 2 LB. HOT ROLLED HIGH TENSILE RAIL OR BILLET STEEL, HOT DIP GALVANIZED PER ASTM A-123.
 5. MOUNTING HARDWARE SHALL BE STAINLESS STEEL.
 6. SIGNS SHALL BE PLACED BY THE CONTRACTOR IN ACCORDANCE WITH THE CITY APPROVED ENGINEERING PLANS AND/OR AS APPROVED BY PUBLIC SERVICES DEPARTMENT.

RECLAIMED WATER ADVISORY SIGN

CITY OF APOPKA
DESIGN ENGINEERING DIVISION

JANUARY 2014

FIG. 115



- NOTES:**
1. PVC PIPE SHALL REQUIRE INSULATED METALLIC LOCATING WIRE (10 AWG-SOLID CCS REINFORCED TRACER WIRE-INSULATED 30 MIL HDPE - 30 VOLT MFG. BY COPPERHEAD INDUSTRIES, LLC OR EQUAL) CAPABLE OF DETECTION BY A CABLE LOCATOR.
 2. SHALL BE BURIED DIRECTLY ABOVE THE CENTERLINE OF THE PIPE AND ATTACHED WITH DUCT TAPE OR NYLON STRAPS AT 3 LOCATIONS PER JOINT. LOCATING WIRE SHALL TERMINATE AT THE TEST STATION BOX AS SHOWN IN FIG. 109.
 3. BE CAPABLE OF EXTENDING 12" ABOVE TOP OF TEST STATION BOX IN SUCH A MANNER SO AS NOT TO INTERFERE WITH VALVE OPERATION.
 4. SPLICES SHOULD BE MADE USING STANDARDS AND PRODUCTS DESIGNED FOR DIRECT BURIAL CONDUCTORS.
 5. WIRE INSULATION SHALL BE COLOR CODED FOR THE TYPE OF PIPE BEING INSTALLED.

PVC PIPE LOCATING WIRE DETAIL

CITY OF APOPKA
DESIGN ENGINEERING DIVISION

JANUARY 2014

FIG. 118

MINIMUM LENGTH (FT) TO BE RESTRAINED ON EACH SIDE OF FITTING(S). *

	PIPE SIZE										
	6"	8"	10"	12"	16"	18"	20"	24"	30"	36"	48"
90° BEND	33	43	51	60							
45° BEND	14	18	22	25							
22-1/2° BEND	7	9	11	12							
11-1/4° BEND	4	5	6	6							
TEE**	1	7	24	44							
REDUCER (ONE SIZE SMALLER)	41	39	40								
DEAD END	74	96	115	136							

* ONLY RESTRAIN BRANCH PIPE FOR TEES, ONLY RESTRAIN LARGER PIPE FOR REDUCERS
** LENGTH ALONG RUN ASSUMED TO BE 18'

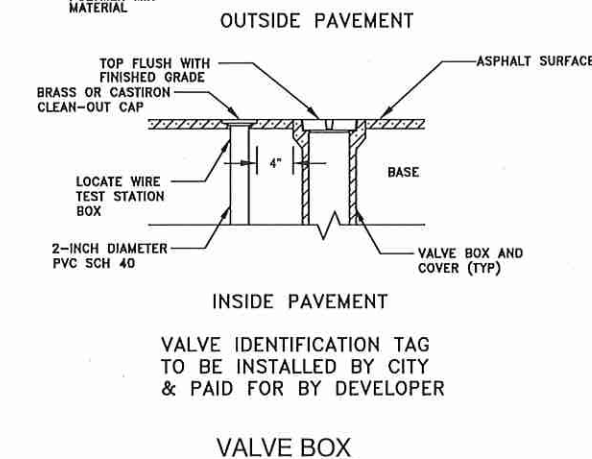
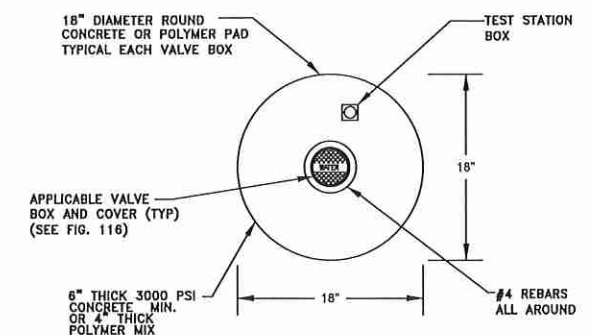
- NOTES:**
1. FITTINGS SHALL BE DUCTILE IRON RESTRAINED JOINT TYPE. FM FITTINGS TO BE LINED WITH PROTECTO 401.
 2. INSTALL FULL LENGTHS OF PIPE WITH TOTAL LENGTH CONTAINING ONLY RESTRAINED JOINTS EQUAL TO OR GREATER THAN LENGTH SHOWN IN TABLE.
 3. WHERE TWO OR MORE FITTINGS ARE TOGETHER, USE FITTING WHICH YIELDS GREATEST LENGTH OF RESTRAINED PIPE.
 4. IN LINE VALVES AND THROUGH RUN OF TEES OUTSIDE LIMITS OF RESTRAINED JOINTS FROM OTHER FITTINGS NEED NOT BE RESTRAINED UNLESS OTHERWISE INDICATED.
 5. LENGTHS SHOWN IN THE TABLE HAVE BEEN CALCULATED IN ACCORDANCE WITH THE PROCEDURE OUTLINED IN "THRUST RESTRAINT DESIGN FOR DUCTILE IRON PIPE" AS PUBLISHED BY DIPRA, FOR PVC WITH THE FOLLOWING ASSUMPTIONS:
TYPE OF PIPE: PVC
WORKING PRESSURE: 150 P.S.I.**
SOIL DESIGNATION: S₁ SAND S₂ CLAY
LAYING CONDITIONS: 3
* FM = 100 P.S.I. / WM OR RWM = 150 P.S.I.
 6. FOR PIPE ENCASED IN POLYETHYLENE INCREASE THE GIVEN VALUE BY A FACTOR OF 1.5.
 7. VALUES NOT LISTED IN THE TABLE TO BE COMPLETED BY THE ENGINEER.

RESTRAINED PIPE TABLE (PVC)

CITY OF APOPKA
DESIGN ENGINEERING DIVISION

JANUARY 2014

FIG. 105



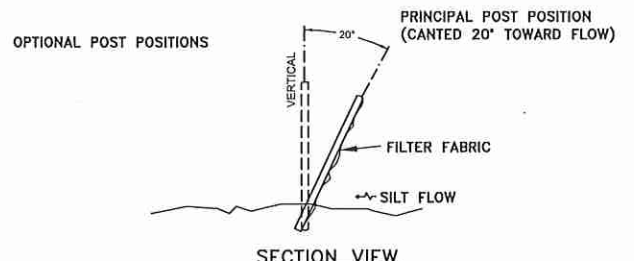
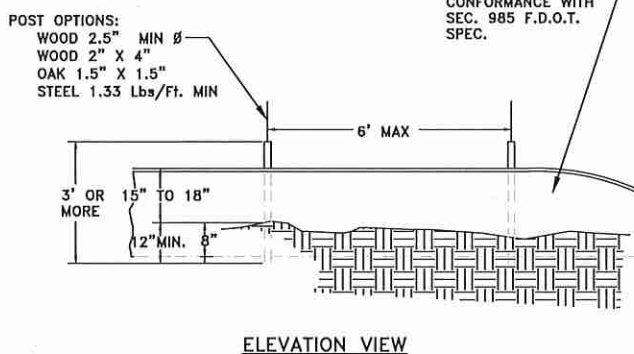
VALVE IDENTIFICATION TAG TO BE INSTALLED BY CITY & PAID FOR BY DEVELOPER

VALVE BOX

CITY OF APOPKA
DESIGN ENGINEERING DIVISION

JANUARY 2014

FIG. 109



SILT FENCE INSTALLATION

CITY OF APOPKA
DESIGN ENGINEERING DIVISION

JANUARY 2014

FIG. 602

WOHLFARTH CONSULTING GROUP LLC
ENGINEERS & PLANNERS
246 N. WESTMONTE DRIVE
ALTIMONTE SPRINGS, FL 32714
(407) 750-3123

SAN SEBASTIAN RESERVE
ORANGE COUNTY, FLORIDA

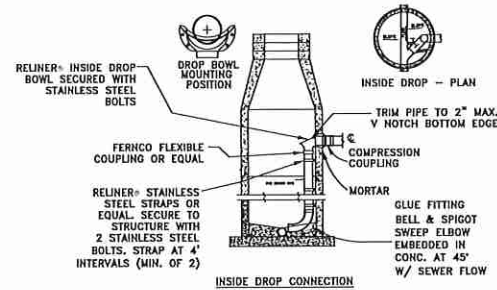
CITY OF APOPKA
STANDARD DETAILS

SCALE: N/A
PROJECT: 2017-011
SHEET: C-10.5

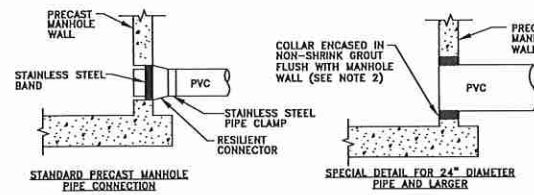
DRAWN: DM
DESIGNED: RW
CHECKED: RW
DATE: 4/8/2018

6/2018

NOT TO BE FILED FOR RECORDATION UNTIL APPROVED AND SEALED BY THE ORIGINAL SEAL OF REGISTERED PROFESSIONAL ENGINEER, FLORIDA REG. NO. 12401



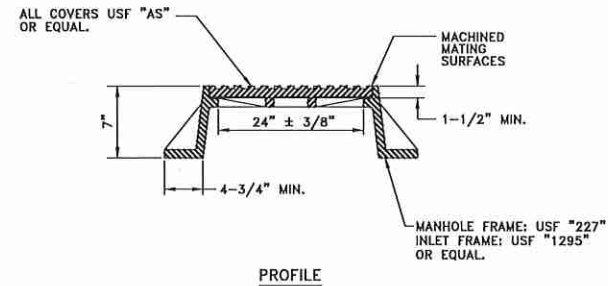
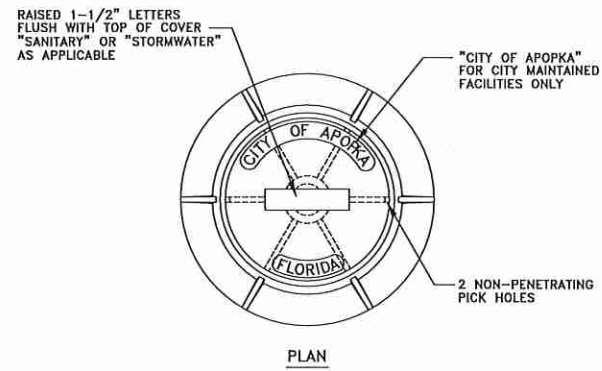
- NOTES:
- ALL INSIDE DROP CONNECTIONS FOR SERVICES AND COLLECTOR SEWERS SHALL USE THE DROP BOWL AS PRODUCED BY: RELINER-DURAN, INC. 53 MT. ARCHER RD, LYME, CT 06371 (860)434-0277 FAX: (860)434-3195 OR EQUAL.
 - SECURE DROP PIPE TO MANHOLE WALL WITH RELINER-DURAN, INC STAINLESS STEEL ADJUSTABLE CLAMPING BRACKETS.
 - FORCE MAIN RECEIVING MANHOLES MAY BE REQUIRED TO BE LINED IN ACCORDANCE WITH THE CITY OF APOPKA LIST OF APPROVED MATERIALS AND PRODUCTS AS DIRECTED BY THE CITY.



- NOTES:
- DROP PIPE AND FITTINGS SHALL BE OF EQUAL SIZE AND MATERIAL AS THE INFLUENT SEWER.
 - THE CITY MAY APPROVE ALTERNATE WATERTIGHT CONNECTION DETAILS FOR CONNECTION OF 24" DIAMETER PIPES AND LARGER.
 - AN INSIDE DROP CONNECTION SHALL BE REQUIRED FOR ALL INFLUENT WHICH HAVE AN INVERT 24" OR MORE ABOVE THE OUTFLOW PIPE INVERT.
 - CONCRETE TO BE MINIMUM OF 3000 PSI.

MANHOLE CONNECTION DETAILS

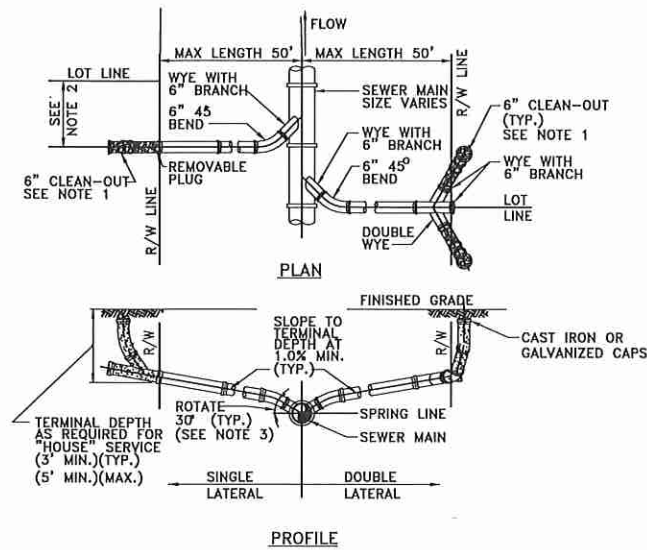
CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2015 FIG. 201



- NOTES:
- MANHOLE FRAME AND COVER ARE TO BE TRAFFIC BEARING RATED H-20, CLASS 30 MEETING ASTM A 48.

STANDARD MANHOLE FRAME AND COVER

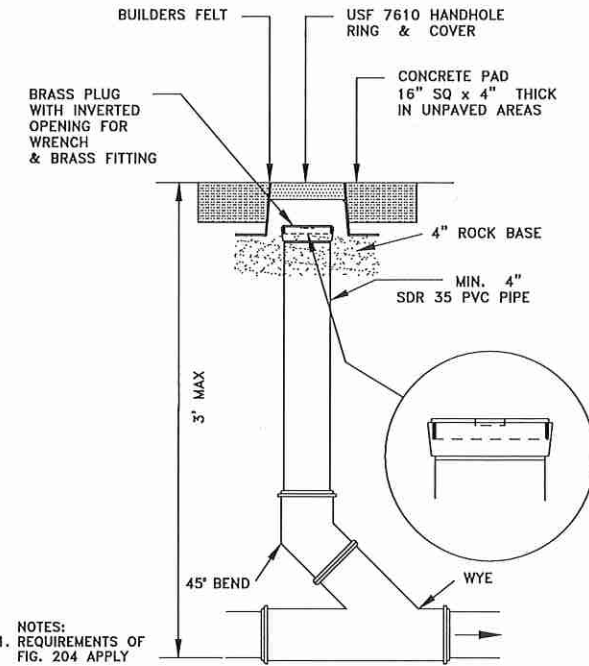
CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 202



- NOTES:
- CLEAN-OUT (SHOWN SHADED) SHALL BE INSTALLED BY THE BUILDER IN ACCORDANCE WITH STANDARD PLUMBING CODE.
 - LOCATE SINGLE LATERAL AS CLOSE TO LOT LINE AS POSSIBLE.
 - INVERT OF SERVICE LATERAL SHALL NOT ENTER SEWER MAIN BELOW SPRING LINE.
 - RESIDENTIAL SERVICES SHALL BE 4 INCHES & NON-RESIDENTIAL SERVICES SHALL BE 6 INCHES IN DIAMETER AS A MINIMUM.
 - GALVANIZED, OR CAST IRON CLEAN-OUT CAP SHALL BE USED ON THE STUBOUT FOR EACH SERVICE.
 - LATERAL SHALL BE MARKED WITH AN "S" STAMPED OR CUT IN THE CURB.

SERVICE LATERAL DETAIL

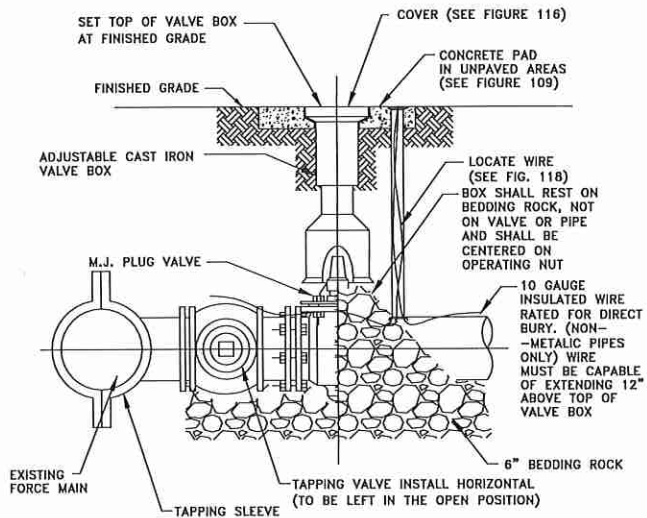
CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 204



- NOTES:
- REQUIREMENTS OF FIG. 204 APPLY

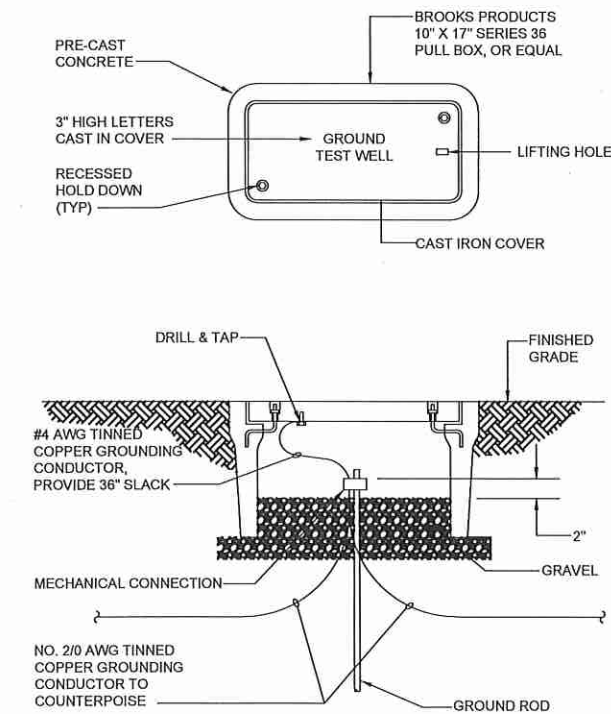
SANITARY SEWER SERVICE TRAFFIC RATED CLEAN-OUT DETAIL NTS

CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 205



FORCE MAIN WET TAP TIE-IN DETAIL

CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 206



GROUND TEST WELL

CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 307 B

WOHLFARTH CONSULTING GROUP LLC ENGINEERS & PLANNERS
 246 N. WESTMONTE DRIVE ALZAMONTE SPRINGS, FL 32714 (407) 750-3123

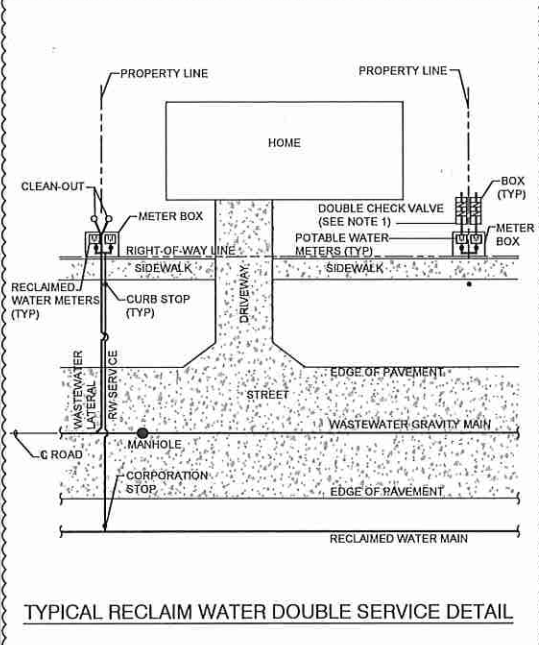
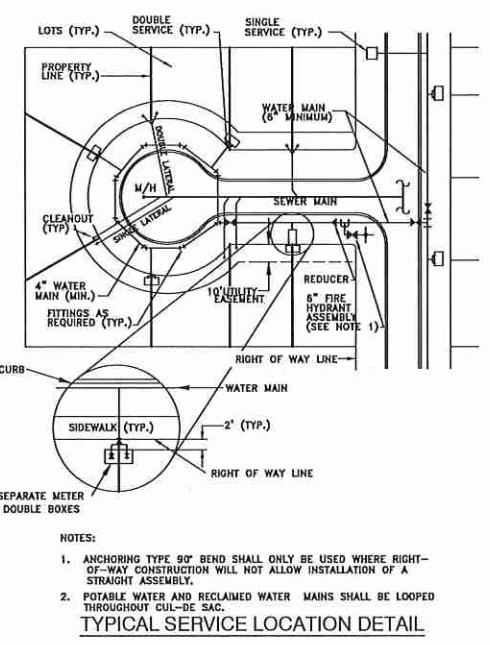
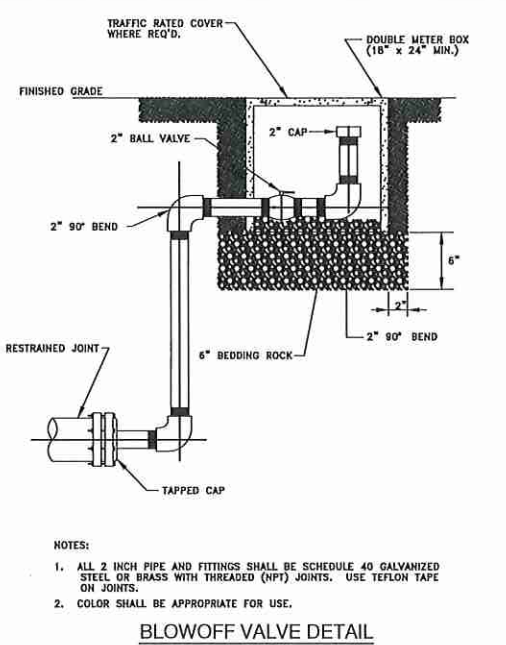
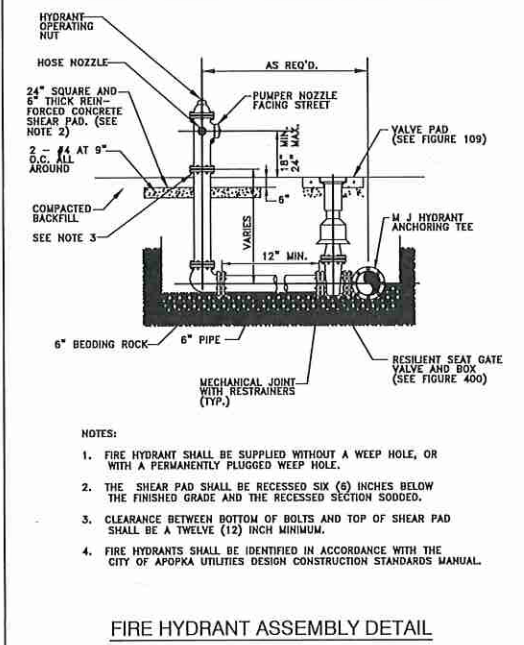
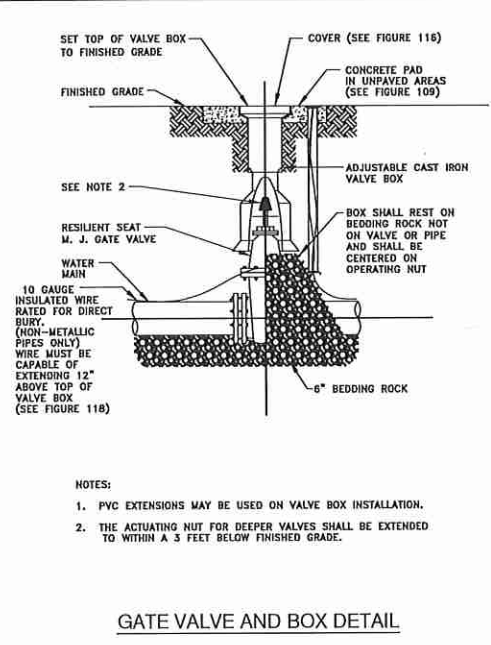
SAN SEBASTIAN RESERVE ORANGE COUNTY, FLORIDA
 CITY OF APOPKA STANDARD DETAILS

SCALE	N/A
PROJECT	2017-011
SHEET	C-10.6
DATE	4/8/2018

W GROUP LAND DEVELOPMENT & ENGINEERING SERVICES
 BUSINESS NO. 32108

C:\Users\Dennis Murrey\Dropbox\Rick Wohlforth\San Sebastian\DWG\Construction Plans\2017-011-C10.6 - City Standard Details.dwg Plot: 6/20/2018 By: dennis murrey

C:\Users\Dennis.Murray\Desktop\Drawings\San Sebastian\DWG Construction\Plans\2017-01-C10.5 - City Standard Details.dwg Plotted: 6/20/2018 By: dennis murray

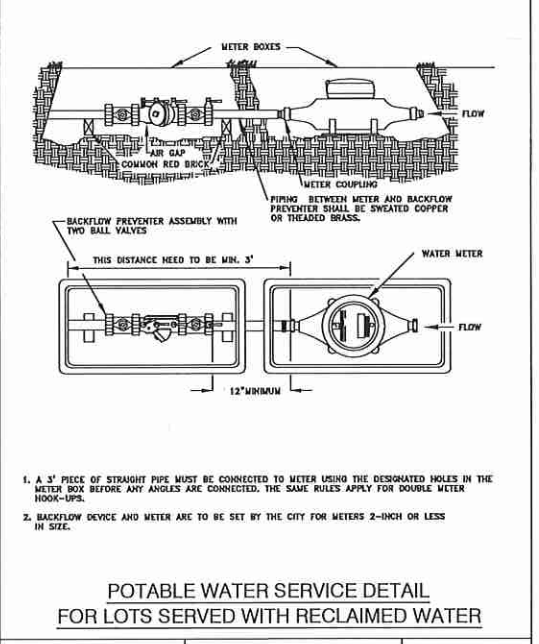
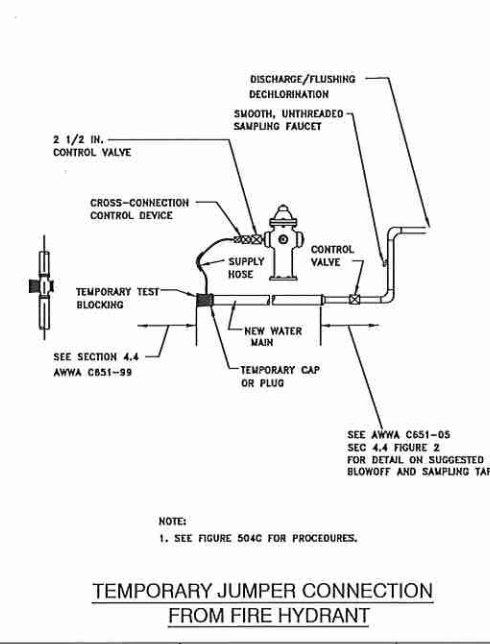
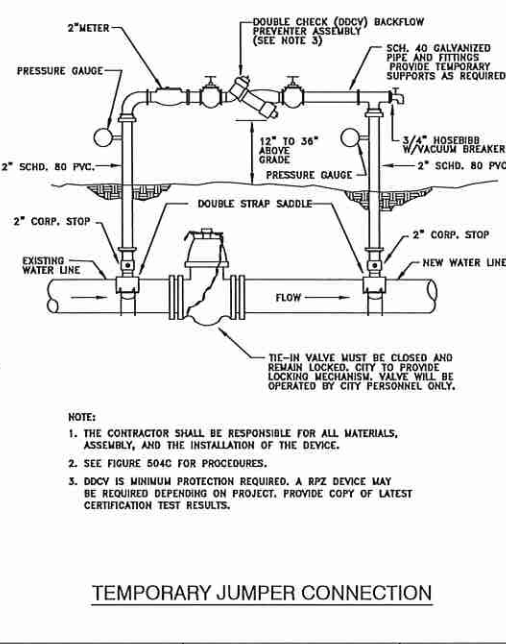
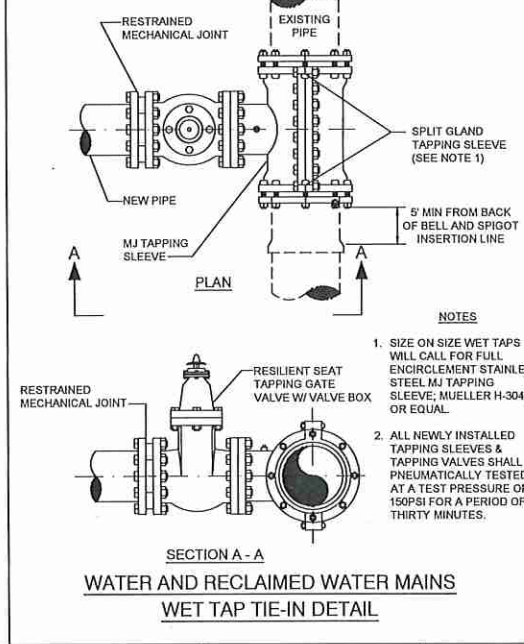
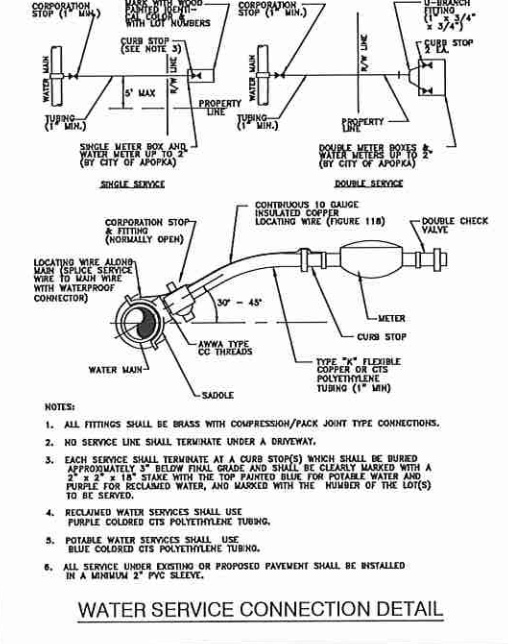


CITY OF APOPKA JANUARY 2014 FIG. 400

CITY OF APOPKA JANUARY 2014 FIG. 402

CITY OF APOPKA JANUARY 2014 FIG. 403

CITY OF APOPKA JANUARY 2014 FIG. 404



CITY OF APOPKA JANUARY 2014 FIG. 405

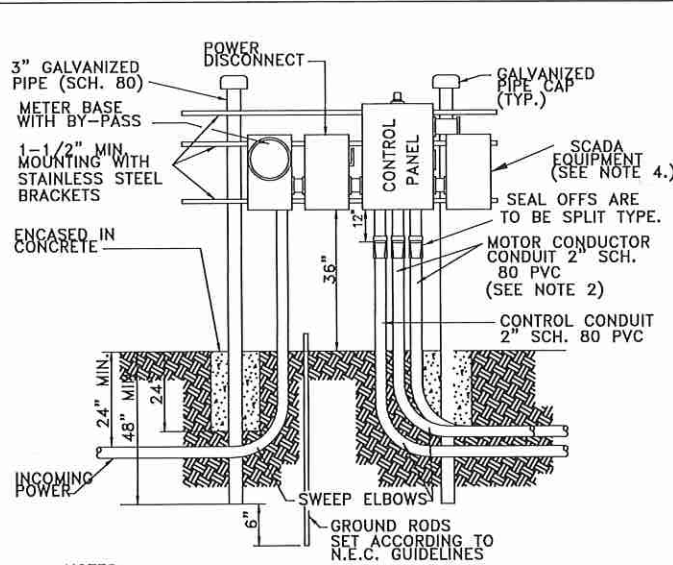
CITY OF APOPKA JANUARY 2014 FIG. 406

CITY OF APOPKA JANUARY 2014 FIG. 504 A

CITY OF APOPKA JANUARY 2014 FIG. 504 B

CITY OF APOPKA JANUARY 2014 FIG. 505

SCALE	N/A	PROJECT	2017-011	CHECKED	DATE	4/8/2018
DRAWN	DM	DESIGNED	DM	RW		
SHEET			C-10.7			
<p>WOHLFARTH CONSULTING GROUP LLC ENGINEERS & PLANNERS 246 N. WESTMONTA DRIVE ALTIMONTE SPRINGS, FL 32714 (407) 750-3123</p>						
<p>SAN SEBASTIAN RESERVE ORANGE COUNTY, FLORIDA</p>						
<p>CITY OF APOPKA STANDARD DETAILS</p>						
<p>BUSINESS NO. 32108</p>						



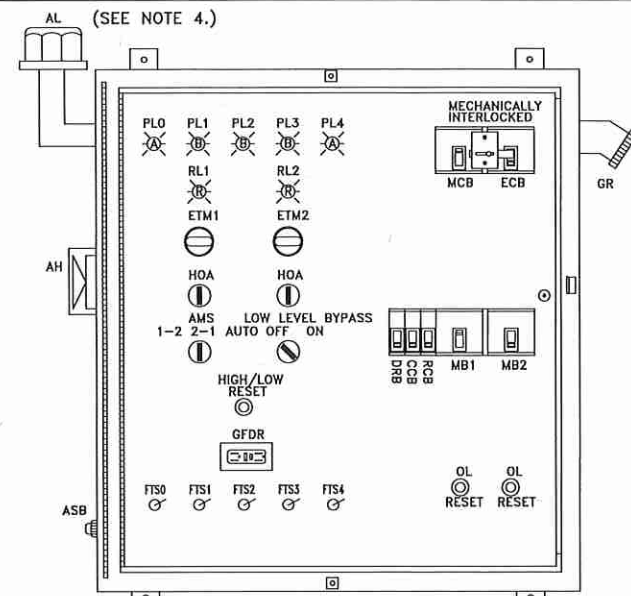
- NOTES:
- DRAWING IS SHOWN FOR 230 VOLT POWER SUPPLY. THE LOCATION OF METER AND MAIN POWER DISCONNECT SHALL BE REVERSED FOR 480 VOLT SUPPLY.
 - WHEN TWO (2) SEPARATE CONDUCTOR-TYPE MOTORS ARE USED, CONDUIT SHALL BE INCREASED TO THREE (3) INCH.
 - POWER SUPPLY SHALL BE UNDERGROUND TO THE PUMP STATION AND SHALL BE THREE (3) PHASE FROM A THREE (3) PHASE SOURCE ONLY.
 - STUB OUT UNISTRUT LONG ENOUGH TO ACCOMODATE A 24"x24" SCADA EQUIPMENT CABINET. CITY TO INSTALL SCADA EQUIPMENT CABINET.

**DUPLEX PUMP STATION CONTROL PANEL
INSTALLATION DETAIL**

CITY OF APOPKA
DESIGN ENGINEERING DIVISION

JANUARY 2014

FIG. 302



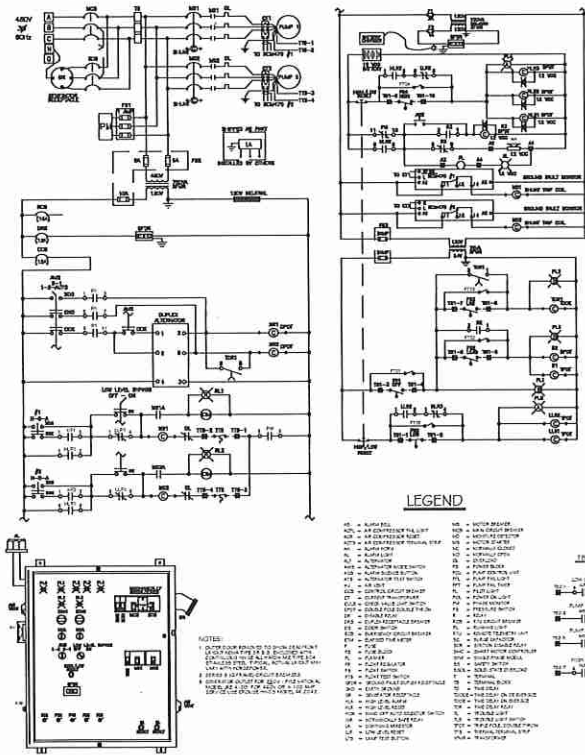
- NOTES:
- OUTER DOOR REMOVED TO SHOW DEADFRONT LAYOUT NEMA TYPE 3R 304 S.S. ENCL. WITH CONTINUOUS HINGE ALL HARDWARE STAINLESS STEEL TYPICAL, ACTUAL LAYOUT MAY VARY WITH HORSEPOWER
 - SERIES 3 (Q-FRAME) CIRCUIT BREAKERS
 - GENERATOR OUTLET FOR 230V - PYLE NATIONAL MODEL JRE4100/460V - CROUSE HINDS MODEL AR 2042.
 - THE HEIGHT OF THE ALARM LIGHT WILL NEED TO BE MADE VISIBLE FROM OUTSIDE THE LIFT STATION.

**DUPLEX PUMP STATION CONTROL
PANEL FRONT LAYOUT**

CITY OF APOPKA
DESIGN ENGINEERING DIVISION

JANUARY 2014

FIG. 303



**DUPLEX PUMP CONTROL PANEL
GENERAL LAYOUT & SCHEMATIC**
(480V-3PH)
WITH GENERATOR RECEPTACLE

CITY OF APOPKA
DESIGN ENGINEERING DIVISION

JANUARY 2014

FIG. 305 C

- COMPONENT LEGEND**
- | | |
|---------------------------------------|----------------------------------|
| AB - ALARM BELL | MB - MOTOR BREAKER |
| ACFL - AIR COMPRESSOR FAIL LIGHT | MCB - MAIN CIRCUIT BREAKER |
| ACR - AIR COMPRESSOR RESET | MD - MOISTURE DETECTOR |
| ACTS - AIR COMPRESSOR TERMINAL STRIP | MS - MOTOR STARTER |
| AH - ALARM HORN | NC - NORMALLY CLOSED |
| AL - ALARM LIGHT | NO - NORMALLY OPEN |
| ALT - ALTERNATOR | OL - OVERLOAD |
| AMS - ALTERNATOR MODE SWITCH | PB - POWER BLOCK |
| ASB - ALARM SILENCE BUTTON | PCU - PUMP CONTROL UNIT |
| ATS - ALTERNATOR TEST SWITCH | PFL - PUMP FAIL LIGHT |
| AV - AIR VENT | PFT - PUMP FAIL TIMER |
| CCB - CONTROL CIRCUIT BREAKER | PL - PILOT LIGHT |
| CT - CURRENT TRANSFORMER | POL - POWER ON LIGHT |
| CVLS - CHECK VALVE LIMIT SWITCH | PM - PHASE MONITOR |
| DDT - DOUBLE-POLE, DOUBLE-THROW | PS - PRESSURE SWITCH |
| DR - DISABLE RELAY | R - RELAY |
| DRB - DUPLEX RECEPTACLE BREAKER | RCB - RTU CIRCUIT BREAKER |
| DS - DOOR SWITCH | RL - RUNNING LIGHT |
| ECB - EMERGENCY CIRCUIT BREAKER | RTU - REMOTE TELEMETRY UNIT |
| ETM - ELAPSED TIME METER | SCR - SURGE CAPACITOR |
| F - FUSE | SDR - STATION DISABLE RELAY |
| FB - FUSE BLOCK | SMC - SMART MOTOR CONTROLLER |
| FL - FLASHER | SPM - SINGLE PHASE MODULE |
| FS - FLOAT REGULATOR | SS - SAFETY SWITCH |
| FS - FLOW SWITCH | SSOL - SOLID-STATE OVERLOAD |
| FTS - FLOAT TEST SWITCH | T - TERMINAL |
| GFDR - GROUND FAULT DUPLEX RECEPTACLE | TB - TERMINAL BLOCK |
| GR - EARTH GROUND | TD - TIME DELAY |
| HLA - HIGH LEVEL ALARM | TDDE - TIME DELAY ON DE-ENERGIZE |
| HLR - HIGH LEVEL RESET | TDOE - TIME DELAY ON ENERGIZE |
| HOA - HAND-OFF-AUTO SELECTOR SWITCH | TDR - TIME DELAY RELAY |
| ISR - INTRINSICALLY SAFE RELAY | TL - TROUBLE LIGHT |
| LA - LIGHTNING ARRESTOR | TLS - TROUBLE LIGHT SWITCH |
| LR - LOW LEVEL RESET | TPDT - TRIPLE-POLE, DOUBLE-THROW |
| LTB - LAMP TEST BUTTON | TTS - THERMAL TERMINAL STRIP |
| | XFMR - TRANSFORMER |

COMPONENT LEGEND

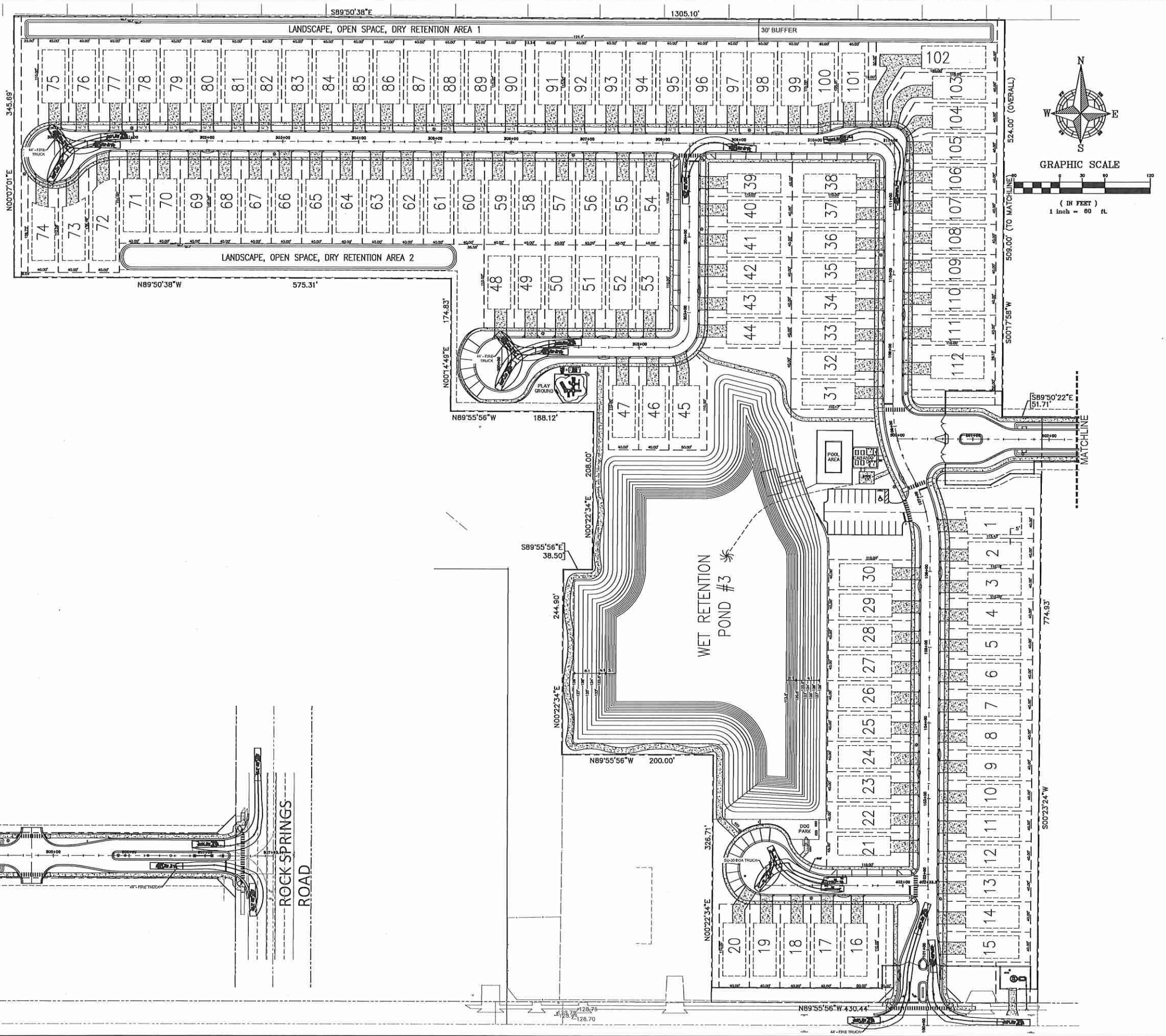
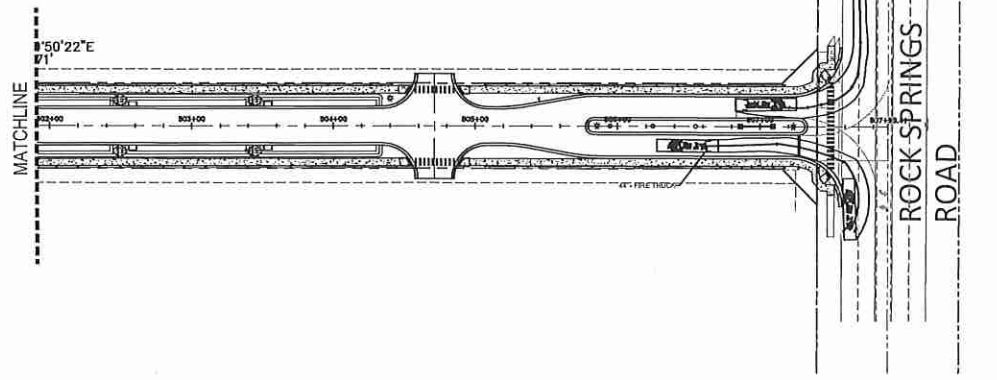
CITY OF APOPKA
DESIGN ENGINEERING DIVISION

JANUARY 2014

FIG. 306

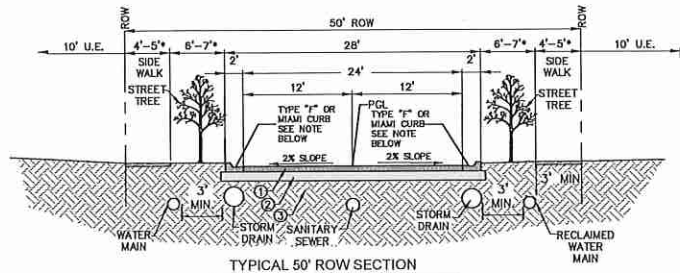
C:\Users\Dennis Murrey\Desktop\Risk Wohlforth\San Sebastian\DWG\Construction\Plans\2017-01-01015 - City Standard Details.dwg Plot: 6/20/2018 By: dennis murray

WOHLFARTH CONSULTING GROUP LLC ENGINEERS & PLANNERS 246 N. WESTMONTE DRIVE ALTAMONTE SPRINGS, FL 32714 (407) 750-3123	SAN SEBASTIAN RESERVE ORANGE COUNTY, FLORIDA CITY OF APOPKA STANDARD DETAILS
SCALE: N/A PROJECT: 2017-011 SHEET: C-10.8	DRAWN: DM DESIGNED: RW CHECKED: RW DATE: 4/9/2018
 BUSINESS NO. 32108	
6/20/18 <small>NOT TO BE FILED FOR RECORD UNLESS SIGNED AND DATED WITH THE ORIGINAL SEAL OF INCORPORATED WOHLFARTH GROUP, INC. FLORIDA #1234</small>	



WOHLFARTH CONSULTING GROUP LLC ENGINEERS & PLANNERS 246 N. WESTMONTE DRIVE ALTAMONTE SPRINGS, FL 32714 (407) 750-3123			CITY COMMENTS DATE REV.	DESCRIPTION BY
SAN SEBASTIAN RESERVE ORANGE COUNTY, FLORIDA		TRUCK TURN ANALYSIS		
SCALE 1"=60' PROJECT 2017-011	DRAINAGE DM	DESIGNED RW	CHECKED RW	DATE 3/12/2018
BUSINESS NO. 32108		SHEET C-10.9		

C:\Users\Dennis Murrey\Desktop\Dropbox\Rick Wohlfarth\San Sebastian\DWG\Construction\Plan\2017-01-C10.10 - Cross Sections N Detail.dwg Plotted: 6/20/2018 By: dennis murray



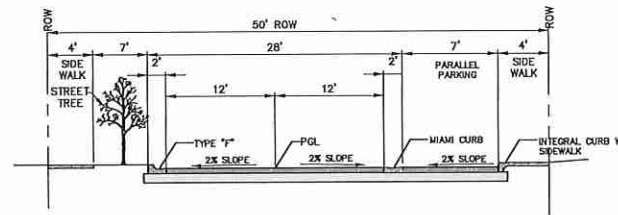
TYPICAL 50' ROW SECTION

NTS

TYPICAL PAVEMENT SECTION:
1) 1-1/4" ASPHALTIC CONCRETE TYPE SP-9.5
2) 8" CRUSHED CONCRETE OR LIMEROCK
3) 12" STABILIZED SUBGRADE

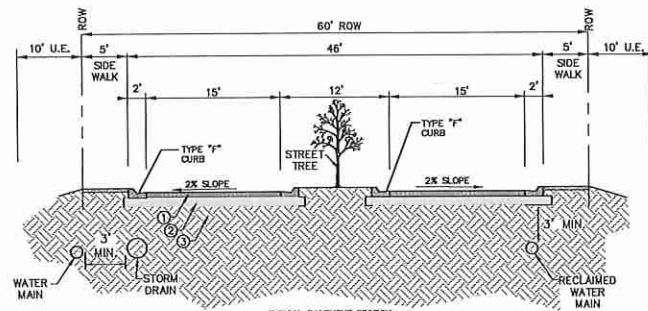
NOTE: MIAMI CURB TO BE CONSTRUCTED IN FRONT OF ALL LOTS. USE TYPE 'I' CURB AND GUTTER AT ALL OTHER AREAS.
ALL CONSTRUCTION SHALL BE DONE TO CITY OF APOPKA STANDARDS

*ENTRANCE ROAD/ROADWAY 1 = 5' SIDEWALK/8' GREEN SPACE
ROADWAY 2,3,4,5 = 4' SIDEWALK/7' GREEN SPACE



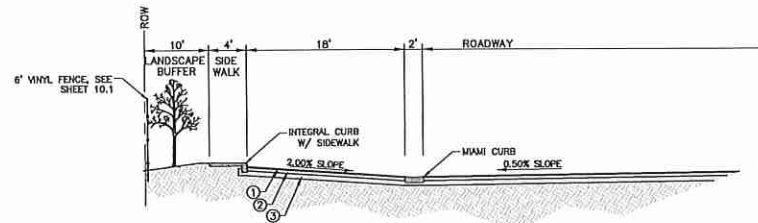
TYPICAL 50' ROW SECTION W/ PARALLEL PARKING

NTS



TYPICAL 60' ROW SECTION - ENTRANCE ROAD

NTS



TYPICAL PAVEMENT SECTION:
1) 1-1/4" ASPHALTIC CONCRETE TYPE SP-9.5
2) 8" CRUSHED CONCRETE OR LIMEROCK
3) 12" STABILIZED SUBGRADE

TYPICAL CUL-DE-SAC SECTION

NTS

REV	DATE	DESCRIPTION	BY

WOHLFARTH CONSULTING GROUP LLC
ENGINEERS & PLANNERS
246 N. VESTIVANTE DRIVE
ALTA MONTE SPRINGS, FL 32714
(407) 780-3123

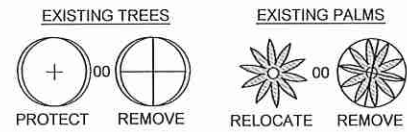
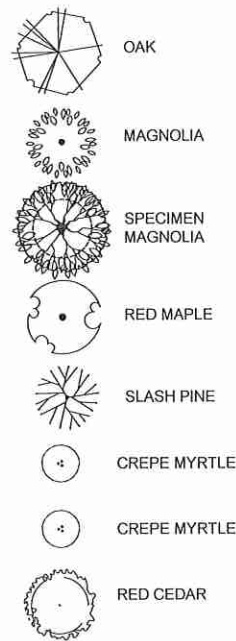
SAN SEBASTIAN RESERVE
ORANGE COUNTY, FLORIDA

CROSS SECTIONS & TYPICAL SECTIONS

SCALE	PROJECT	SHEET	DATE
N/A	2017-011	C-10.10	5/3/2018

WG GROUP
LAND DEVELOPMENT & ENGINEERING SERVICES
BUSINESS NO. 32108

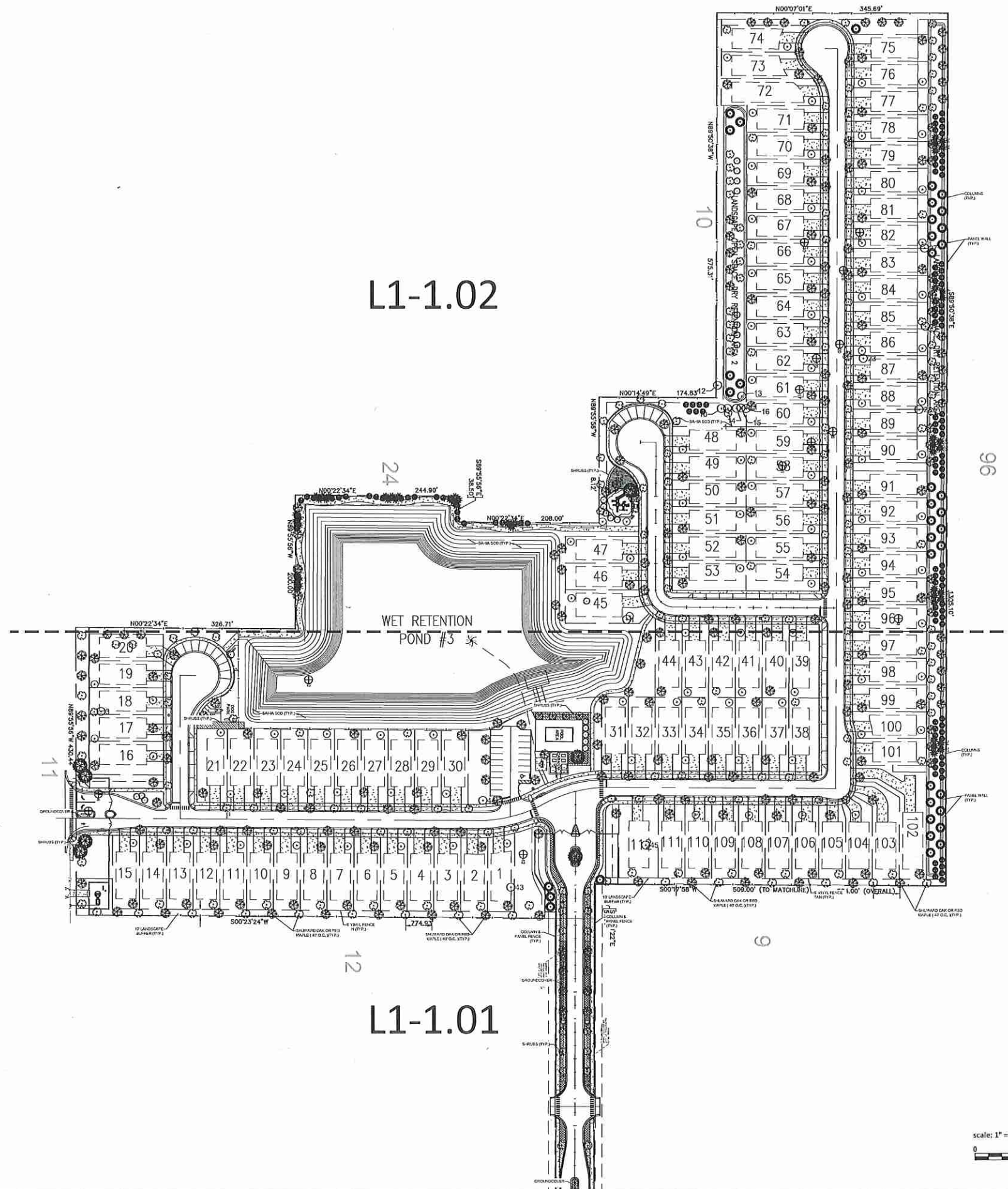
TREE LEGEND:



NOTE:
NUMBERS (000) CORRESPOND WITH TREE LIST ON SURVEY.
(SEE SHEET L1-1.10) FOR SUPPLEMENTAL INFORMATION

LANDSCAPE NOTES:

- FINAL LANDSCAPE DRAWINGS WILL BE ISSUED AT THE TIME OF FINAL DEVELOPMENT PLAN AND BUILDING PERMIT SUBMITTAL. THE PLANS SHALL BE DESIGNED IN ACCORDANCE WITH CITY ORDINANCE BO. 2069.
 - ALL LANDSCAPE AND SPECIFICATIONS SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS SHOWN IN THE APOPKA MUNICIPAL CODE LANDSCAPE REQUIREMENTS.
 - ALL PLANT MATERIAL SPECIFIED SHALL BE IN FULL AND STRICT ACCORDANCE TO FLORIDA NO. 1 GRADE, ACCORDING TO THE "GRADES AND STANDARDS FOR NURSERY PLANTS", PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, THE PROJECT MANUAL AND/OR SPECIFICATIONS. PLANT MATERIAL IN SOME CASES MAY EXCEED FLORIDA NO.1 GRADE IN ORDER TO MEET THE MINIMUM REQUIREMENTS FOR THE PROJECT.
 - ALL LANDSCAPE SHALL BE COVERED 100% BY AN AUTOMATIC IRRIGATION SYSTEM WITH A RAIN SENSOR SHUT OFF DEVICE.
 - NO TREES TO BE REMOVED OR RELOCATED WITHOUT A TREE REMOVAL PERMIT.
 - ALL PALMS AND TREES MUST BE SETBACK 17FT OR MAXIMUM PALM FROND LENGTH PLUS 10FT FROM POWER POLES PER FPL RIGHT TREE / RIGHT PLACE REQUIREMENTS.
 - LANDSCAPE TO BE INSTALLED OUTSIDE OF SITE TRIANGLES.
- SEE SHEETS (L0-1.00, L1-1.00, L1-2.00) FOR PLANTING LIST, NOTES AND DETAILS



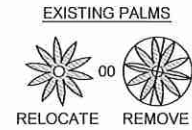
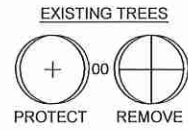
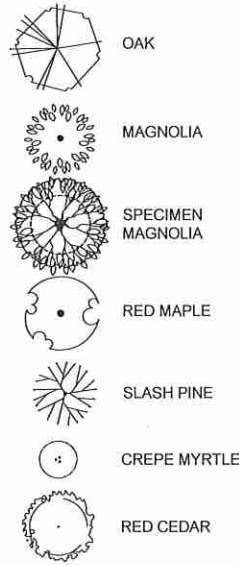
L1-1.02

L1-1.01

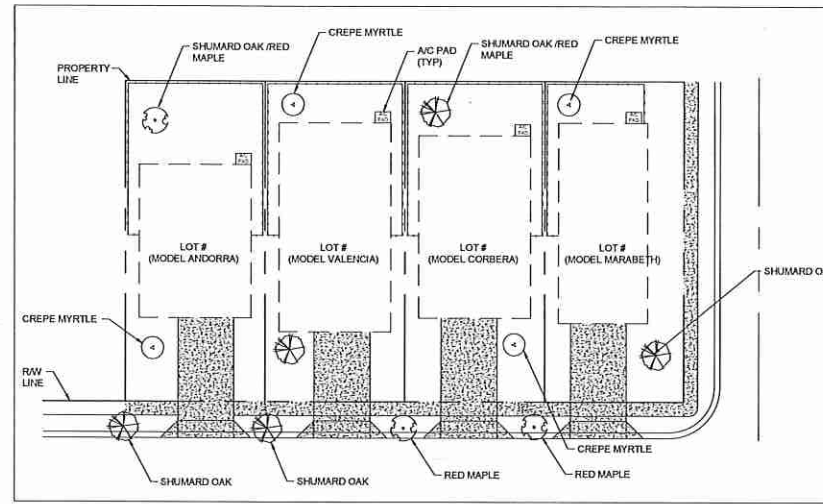


<p>WOHLFARTH CONSULTING GROUP LLC ENGINEERS & PLANNERS 246 N. WESTMONTE DRIVE ALTA MONTE SPRINGS, FL 32714 (407) 750-3123</p>		<p>DATE</p>	<p>DESCRIPTION</p>	<p>BY</p>
<p>SAN SEBASTIAN RESERVE ORANGE COUNTY, FLORIDA</p>		<p>MASTER LANDSCAPE PLAN</p>		
<p>SCALE 1"=80'</p>	<p>PROJECT 2017-011</p>	<p>CHECKED RW</p>	<p>DATE 4/8/2018</p>	
<p>W GROUP LAND DEVELOPMENT & ENGINEERING SERVICES BUSINESS NO. 32108</p>		<p>6/2018</p>		

TREE LEGEND:

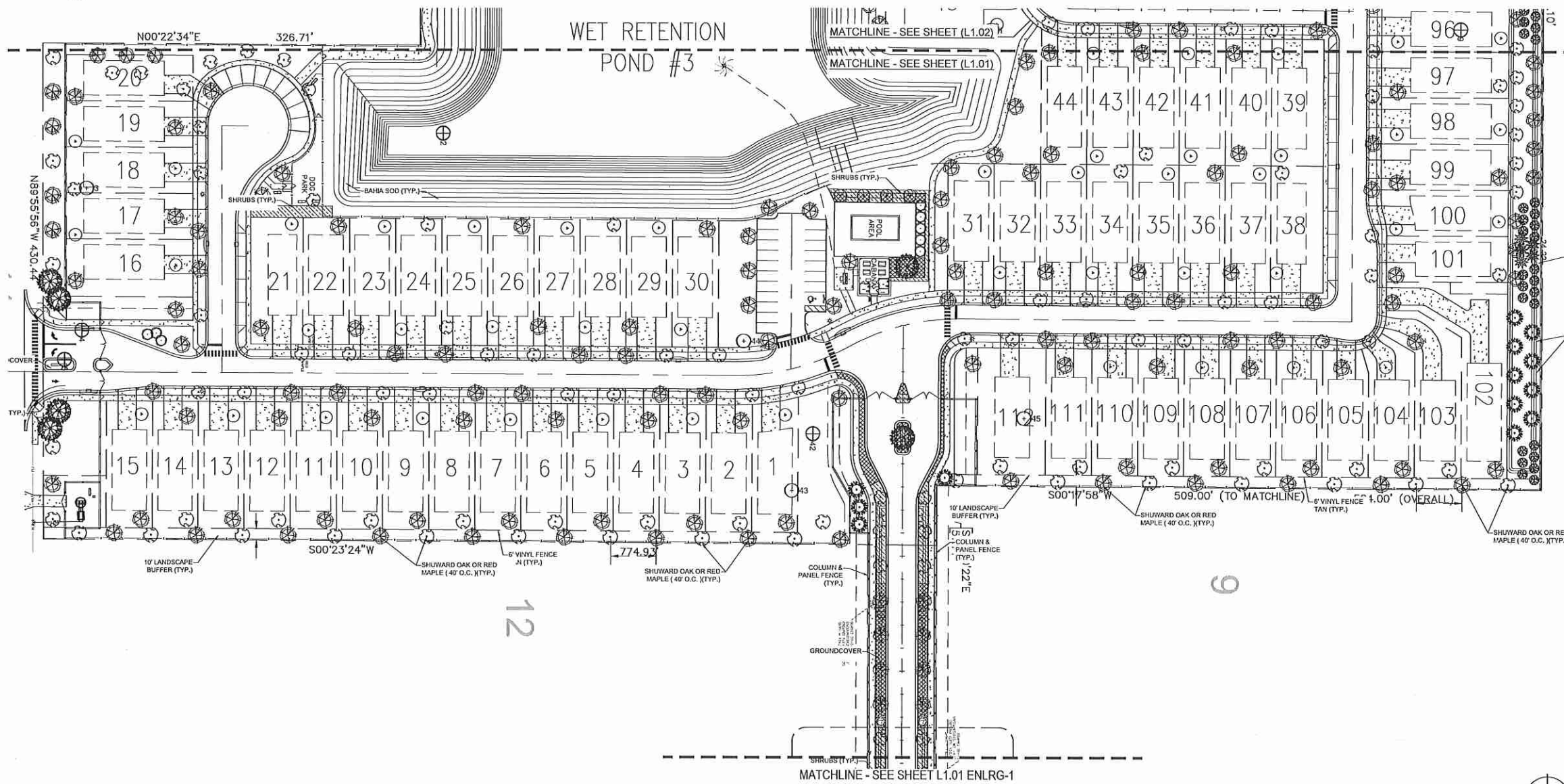


NOTE:
NUMBERS (000) CORRESPOND WITH TREE LIST ON SURVEY. (SEE SHEET L1-1.10) FOR SUPPLEMENTAL INFORMATION

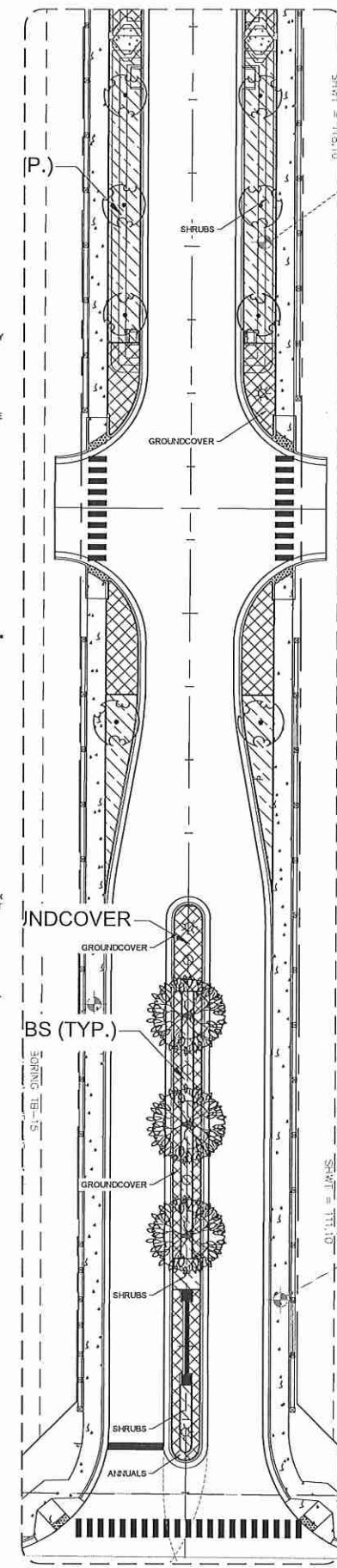


TYPICAL LOT PLANTING DETAIL PLAN N.T.S.

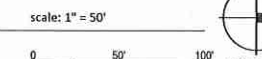
- 1) DRIVEWAY LOCATIONS MAY BE ADJUSTED
 - A. 5' FROM PROPERTY LINE TO DRIVEWAY EDGE
 - B. 40' FROM ROAD CENTERLINE TO DRIVEWAY EDGE
 - C. NO DRIVEWAY SHALL BE CLOSER THAN 5' TO ANY PROPERTY LINE AND 40' FROM THE CENTERLINE OF ANY INTERSECTION
- 2) NO FENCES IN FRONT OF BUILDING, FRONT 20' OF SIDE YARDS.
- 3) FENCES CAN BE 42" TO 60" RAIL OR CHAIN LINK (BLACK VINYL COATED OR 6' HIGH VINYL (TAN) FENCE)
- 4) ALL STREET TREES SHALL HAVE 24" DEEPS' ROOT BARRIERS CENTERED.
- 5) TREE MITIGATION AND FINAL LANDSCAPE PLANS WITH IRRIGATION WILL BE SUBMITTED WITH FINAL DEVELOPMENT PLAN SUBMITTAL.



LANDSCAPE PLAN EAST (SEE SHEETS L0-1.00, L1-1.00, L1-2.00 FOR PLANTING LIST, NOTES AND DETAILS)





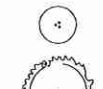




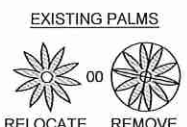
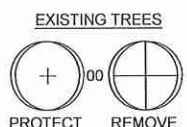
ENTRY DRIVE ENLGR-1 PLAN



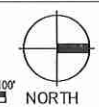
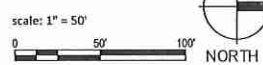
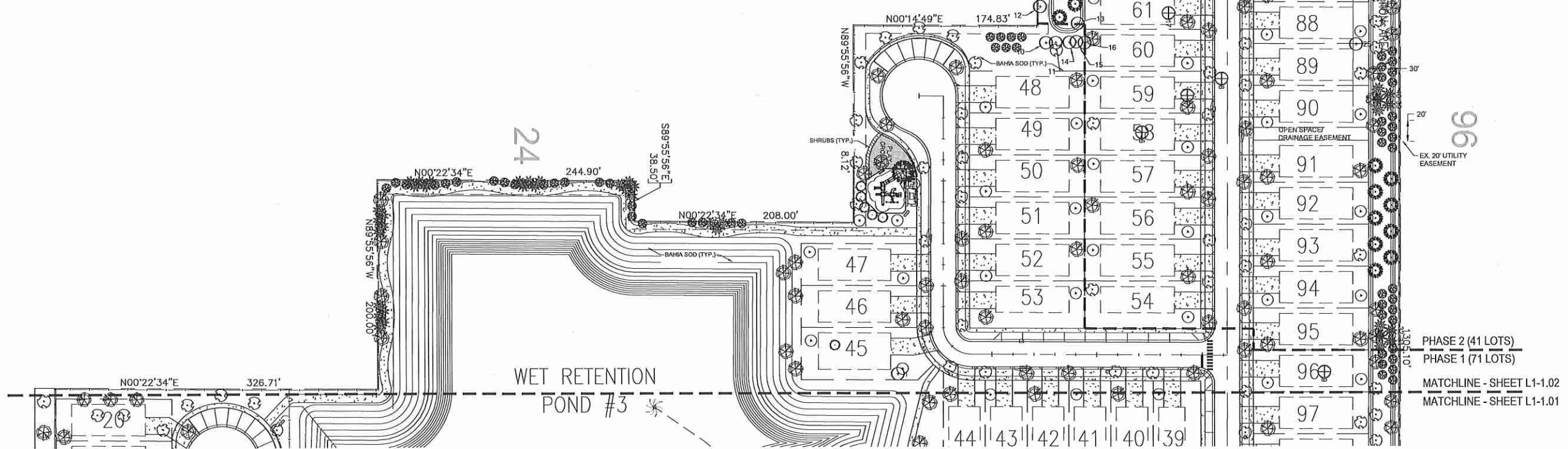
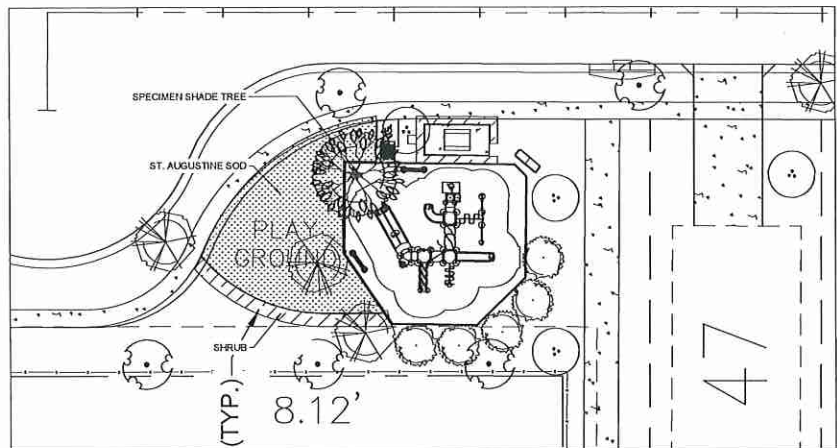
<p>WOHLFARTH CONSULTING GROUP LLC ENGINEERS & PLANNERS 245 N. WESTMONTE DRIVE ALTIMONTE SPRINGS, FL 32714 (407) 750-3123</p>	
<p>SAN SEBASTIAN RESERVE ORANGE COUNTY, FLORIDA</p>	
<p>LANDSCAPE PLAN NORTH</p>	
SCALE	1"=50'
PROJECT	2017-011
SHEET	L1-1.01
DATE	4/8/2018
DESIGNED	DN
CHECKED	RW
DATE	4/8/2018
<p>W GROUP LAND DEVELOPMENT & ENGINEERING SERVICES BUSINESS NO. 32108</p>	
DATE	6/20/18

TREE LEGEND:

-  OAK
-  MAGNOLIA
-  SPECIMEN MAGNOLIA
-  RED MAPLE
-  SLASH PINE
-  CREPE MYRTLE
-  RED CEDAR



NOTE:
NUMBERS (000) CORRESPOND
WITH TREE LIST ON SURVEY.
(SEE SHEET L1-1.10) FOR
SUPPLEMENTAL INFORMATION



<p>WOHLFARTH CONSULTING GROUP LLC ENGINEERS & PLANNERS</p> <p>246 N. WESTMONTE DRIVE ALTA MONTE SPRINGS, FL 32714 (407) 750-3123</p>		<p>DATE</p> <p>DESCRIPTION</p>
<p>SAN SEBASTIAN RESERVE ORANGE COUNTY, FLORIDA</p>		<p>LANDSCAPE PLAN SOUTH</p>
<p>SCALE: 1"=50'</p>	<p>PROJECT: 2017-011</p>	<p>DATE: 4/18/2018</p>
<p>DRAWN: DM</p>	<p>DESIGNED: [blank]</p>	<p>CHECKED: RW</p>
<p>SHEET: L1-1.02</p>	<p>PROJECT: 2017-011</p>	<p>DATE: 4/18/2018</p>
<p>W GROUP LAND DEVELOPMENT & ENGINEERING SERVICES BUSINESS NO. 32108</p>		

LANDSCAPE PLAN WEST (SEE SHEETS L0-1.00, L1-1.00, L1-2.00 FOR PLANTING LIST, NOTES AND DETAILS)

8/2018
NOT TO BE FILED FOR RECORD UNLESS SIGNED AND DATED WITH THE ORIGINAL SEAL OF REGISTERED WOHLFARTH CONSULTING GROUP, P.A.

TREE SURVEY | SAN SEBASTIAN RESERVE, ORANGE COUNTY FL.

TREE #	DISPOSITION	TYPE (SCIENTIFIC)	TYPE (COMMON)	DBH	GENERAL NOTES
1	Protect	<i>Quercus virginiana</i>	Live Oak	24" DBH	Lot 45 Side Yard
2	Remove	<i>Quercus virginiana</i>	Live Oak	15" DBH	In Lake
3	Protect	<i>Quercus virginiana</i>	Live Oak	28" DBH	Lot 18 Back Yard
4	Remove	<i>Quercus laurifolia</i>	Laurel Oak	40" DBH	Lester Entrance | Tree Rot
5	Remove	<i>Quercus laurifolia</i>	Laurel Oak	38" DBH	Lester Entrance | Tree Rot
6	Remove	<i>Acer rubrum</i>	Florida Red Maple	12" DBH	Lot 59
7	Remove	<i>Quercus virginiana</i>	Live Oak	10" DBH	Dead
8	Remove	<i>Quercus virginiana</i>	Live Oak	8" DBH	Lot 96
9	Remove	<i>Quercus virginiana</i>	Live Oak	16" DBH	Lot 96
10	Protect	<i>Quercus laurifolia</i>	Laurel Oak	10" DBH	Adj Lot 60-61 | Clean and Trim Branch
11	Protect	<i>Quercus laurifolia</i>	Laurel Oak	10" DBH	Adj Lot 60-61 | Clean and Trim Branch
12	Protect	<i>Quercus laurifolia</i>	Laurel Oak	15" DBH	Adj Lot 60-61 | Clean and Trim Branch
13	Protect	<i>Sabal palmetto</i>	Sabal Palm		Adj Lot 60-61 | Clean and Trim Fronds
14	Protect	<i>Quercus laurifolia</i>	Laurel Oak	6" DBH	Adj Lot 60-61 | Clean and Trim Branch
15	Protect	<i>Quercus laurifolia</i>	Laurel Oak	8" DBH	Adj Lot 60-61 | Clean and Trim Branch
16	Protect	<i>Quercus laurifolia</i>	Laurel Oak	8" DBH	Adj Lot 60-61 | Clean and Trim Branch
17	Remove	<i>Sweetened mahogany</i>	Mahogany Tree	15" DBH	Lot 61
18	Relocate	<i>Sabal palmetto</i>	Sabal Palm	30" CT | Double	Lot 59 | Relocated to Buffer
19	Remove	<i>Quercus laurifolia</i>	Laurel Oak	18" DBH	Lot 62
20	Remove	<i>Quercus laurifolia</i>	Laurel Oak	30" DBH	
21	Relocate	<i>Livistona chinensis</i>	Chinese Palm		Twins | Relocated to Buffer
22	Relocate	<i>Sabal palmetto</i>	Sabal Palm		Relocated to Buffer
23	Protect	<i>Quercus laurifolia</i>	Laurel Oak	34" DBH	Lot 87
24	Relocate	<i>Sabal palmetto</i>	Sabal Palm	15" CT	Lot 88 - Lot 89 Relocated to Buffer
25	Protect	<i>Quercus laurifolia</i>	Laurel Oak	10" DBH	Twins | Lot 88 - Lot 89
26	Protect	<i>Quercus laurifolia</i>	Laurel Oak	30" DBH	Lot 85
27	Protect	<i>Quercus laurifolia</i>	Laurel Oak	24" DBH	Lot 82
28	Remove	<i>Quercus laurifolia</i>	Laurel Oak	38" DBH	Road
29	Remove	<i>Quercus laurifolia</i>	Laurel Oak	40" DBH	Lot 82
30	Remove	<i>Quercus laurifolia</i>	Laurel Oak	36" DBH	Lot 66
31	Relocate	<i>Sabal palmetto</i>	Sabal Palm		Lot 67 | Relocated to Buffer
32	Relocate	<i>Sabal palmetto</i>	Sabal Palm		Lot 67 | Relocated to Buffer
33	Relocate	<i>Sabal palmetto</i>	Sabal Palm		Lot 67 | Relocated to Buffer
34	Relocate	<i>Sabal palmetto</i>	Sabal Palm		Relocated to Buffer
35	Relocate	<i>Sabal palmetto</i>	Sabal Palm		Relocated to Buffer
36	Relocate	<i>Sabal palmetto</i>	Sabal Palm		Relocated to Buffer
37	Relocate	<i>Sabal palmetto</i>	Sabal Palm		Relocated to Buffer
38	Relocate	<i>Sabal palmetto</i>	Sabal Palm		Relocated to Buffer
39	Relocate	<i>Sabal palmetto</i>	Sabal Palm		Relocated to Buffer
40	Relocate	<i>Sabal palmetto</i>	Sabal Palm		Relocated to Buffer
41	Relocate	<i>Sabal palmetto</i>	Sabal Palm		Relocated to Buffer
42	Remove	<i>Quercus virginiana</i>	Live Oak	48" DBH	Lot 111
43	Protect	<i>Quercus virginiana</i>	Live Oak	43" DBH	Lot 1 - Lot 2
44	Protect	<i>Quercus virginiana</i>	Live Oak	48" DBH	Rec. Entrance | Tree In distress
45	Protect	<i>Quercus virginiana</i>	Oak Cluster	12-30" DBH	Lot 111

TREE #	DISPOSITION	TYPE (SCIENTIFIC)	TYPE (COMMON)	DBH	GENERAL NOTES
2	Remove	<i>Quercus virginiana</i>	Live Oak	15	In Lake
4	Remove	<i>Quercus laurifolia</i>	Laurel Oak	40	Lester Entrance | Tree Rot
5	Remove	<i>Quercus laurifolia</i>	Laurel Oak	38	Lester Entrance | Tree Rot
6	Remove	<i>Acer rubrum</i>	Florida Red Maple	12	Dead
7	Remove	<i>Quercus virginiana</i>	Live Oak	10	Dead
8	Remove	<i>Quercus virginiana</i>	Live Oak	8	Lot 96
9	Remove	<i>Quercus virginiana</i>	Live Oak	16	Lot 96
17	Remove	<i>Sweetened mahogany</i>	Mahogany Tree	15	Lot 61
19	Remove	<i>Quercus laurifolia</i>	Laurel Oak	18	Lot 62
20	Remove	<i>Quercus laurifolia</i>	Laurel Oak	30	
28	Remove	<i>Quercus laurifolia</i>	Laurel Oak	38	Road
29	Remove	<i>Quercus laurifolia</i>	Laurel Oak	40	Lot 82
30	Remove	<i>Quercus laurifolia</i>	Laurel Oak	36	Lot 66
42	Remove	<i>Quercus virginiana</i>	Live Oak	48	Lot 111
45	Remove Partial	<i>Quercus virginiana</i>	Oak Cluster	36	Lot 111

Total Removed

Specimen Replacement Requirement (Specimen Inches Removed)	226
Non-Specimen Replacement Requirement	84
Total Replacement Requirement	310
Proposed Inches to be Planted	690
	-380

Did not count trees 4, 5 and 7 which have tree rot or dead.

DEVELOPMENT GUIDELINES | ORANGE COUNTY, FL

Trees	Length	Required	Width	SF	Required	Total Required	Provided	Total Provided	Difference
Lots	3	Per Unit			112	336		224	-112
Street (30' on center/25' from corner)									
Street A	1860				62	235	47	176	-59
Street B	520				17		13		
Street C	2160				72		54		
Street D	1100				37		28		
Street E	1400				47		35		
Buffer									
South Lester Road	304.9	10	20	6098	11			19	
East, South of Entrance	700	5	10	7000	12			18	
East, North of Entrance	510	5	10	5100	9			13	
West, Lester to Lot 61	1390	5	10	13900	24			44	
South, Lot 61 to Lot 74	570	5	10	5700	10			25	
West	345	5	10	3450	6			9	
Tract 11	430	5	35	15050	1			25	
North	1305	5	30	39150	23			103	
Primary Entry	190	6			6	96		34	290
						667		690	
								TOTAL REQUIRED	667
								TOTAL PROVIDED	667+

Code Requirements

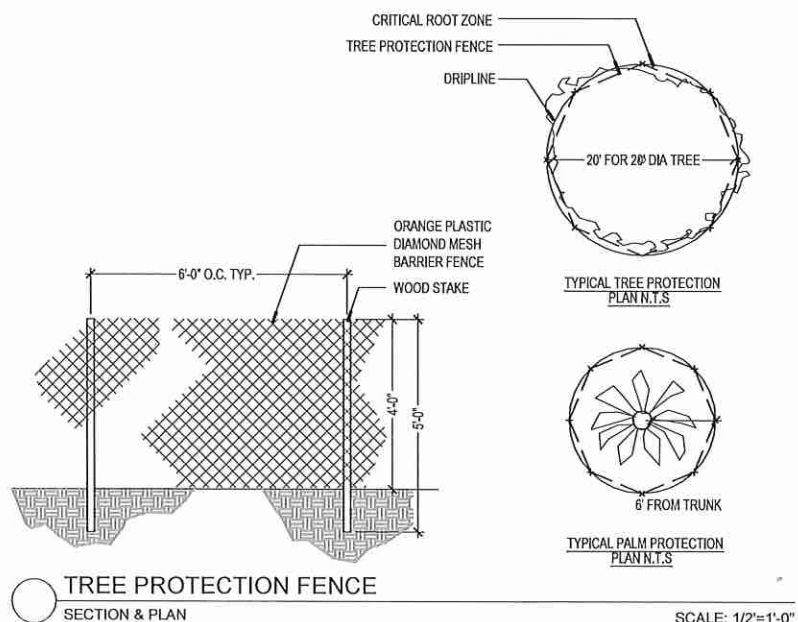
Lot Trees: 3 Trees for Lot

Street Trees: 1 tree per 30', 25' from Intersection

Buffer Trees: 3 1/2 inch (dbh) Per 1,000 sf (based on required buffer)

Trees are 2 1/2 inch BODH/8' Ht. Planting Mature at 25'

- NOTES:
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 - ALL PALMS AND TREES MUST BE SETBACK 17FT OR MAXIMUM PALM FRONT LENGTH PLUS 10FT FROM POWER POLES PER FPL RIGHT TREE / RIGHT PLACE REQUIREMENTS.
 - LANDSCAPE TO BE INSTALLED OUTSIDE OF SITE TRIANGLES.
- * SEE SHEETS (L0-1.00, L1-1.00, L1-2.00) FOR PLANTING LIST, NOTES AND DETAILS



PLANTING SCHEDULE

TREES	CODE	QTY	BOTANIAL NAME	COMMON NAME	MIN CONT	SIZE	DBH
	QUS	272	<i>Quercus shumardii</i>	Shumard Oak	45 Gal.	10'-12' Ht. - 5'-6' Sprd.	2.5in
	MAG-S	9	<i>Magnolia grandiflora</i>	Southern Magnolia - Specimen	200 Gal.	9'-12' Ht. - 10' Sprd.	3.5in
	MAG-S	38	<i>Magnolia grandiflora</i>	Southern Magnolia	100 Gal.	10' Ht. - 5' Sprd.	2.5in
	JUS	22	<i>Juniperus silicicola</i>	Southern Red Cedar Tree	45 Gal.	8'-10' Ht. - 4'-5' Sprd.	2.5in
	ACR	190	<i>Acer rubrum</i>	Florida Red Maple	45 Gal.	12'-14' Ht. - 6'-8' Sprd.	2.5in
	PIE	105	<i>Pinus elliotii</i>	Slash Pine	45 Gal.	12'-14' Ht. - 5' Sprd.	2.5in
	LAS	106	<i>Lagerstroemia spp.</i>	Crape Myrtle	30 Gal.	10'-14' Ht. Standard	2.5in
	PALMS						
	LIX	1	<i>Livistona chinensis</i>	Chinese Fan Palm		Existing	
	SPX	38	<i>Sabal palmetto</i>	Sabal Palm	Field Grown	8' - 20' Ht. Grade #1	
	SHRUBS						
	ILV		<i>Ilex Vomitoria</i>	Yaupon Holly	5 gal.	36" Ht.	30" o.c.
	LOC		<i>Loropetalum chinense</i>	Chinese fringe flower	5 gal.	36" Ht.	30" o.c.
	VIS		<i>Viburnum suspensum</i>	Mapleleaf	5 gal.	36" Ht.	30" o.c.
	JAS		<i>Jasminum simplicifolium</i>	Wax Jasmine	5 gal.	36" Ht.	30" o.c.
	GROUNDCOVER						
	ANN		Annuals	Annual Mix	FLAT	CONTRACTOR TO VERIFY	
	PAN		<i>Paspalum notatum</i>	Bahia Sod		CONTRACTOR TO VERIFY	weed free
	STS		<i>Stenotaphrum secundatum</i>	St. Augustine Sod		CONTRACTOR TO VERIFY	weed free
	ASI		<i>Asiatic Jasmine</i>	Asian Jasmine		CONTRACTOR TO VERIFY	weed free
	ARG		<i>Arachis glabrata</i>	Perennial Peanut		CONTRACTOR TO VERIFY	weed free

NOTE: ALL PLANT MATERIAL TO MEET OR EXCEED THE ORANGE COUNTY FLORIDA MUNICIPAL CODE REQUIREMENTS. FINAL LANDSCAPE PLANS AND QUANTITIES TO BE SUBMITTED AT TIME OF FINAL DEVELOPMENT PLAN

WOHLFARTH CONSULTING
GROUP LLC
ENGINEERS & PLANNERS
 246 N. WESTMONTE DRIVE
 ALTA MONTA SPRINGS, FL 32714
 (407) 750-3123

SAN SEBASTIAN RESERVE
 ORANGE COUNTY, FLORIDA

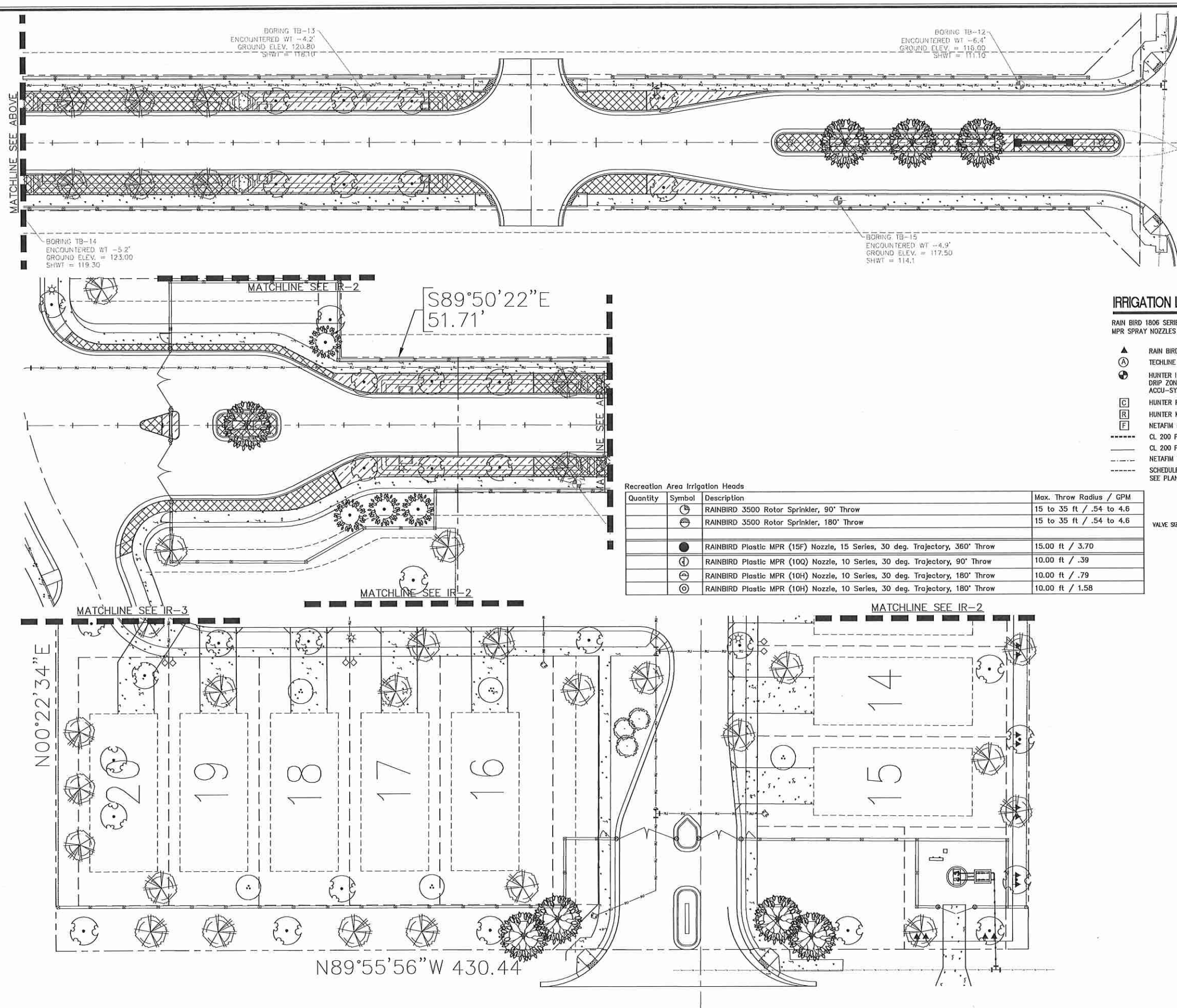
PLANTING LIST AND REQUIREMENTS

SCALE	PROJECT	CHECKED:	DATE:
	2017-011	RW	5/6/2018
	SHEET		
	L1-1.04		

DESIGNED:	DATE:
	5/6/2018

W GROUP
LAND DEVELOPMENT & ENGINEERING SERVICES
 BUSINESS NO. 32108

6/20/18



BORING TB-13
ENCOUNTERED WT -4.2'
GROUND ELEV. = 120.80
SHWT = 118.10

BORING TB-12
ENCOUNTERED WT -6.4'
GROUND ELEV. = 116.00
SHWT = 111.10

BORING TB-14
ENCOUNTERED WT -5.2'
GROUND ELEV. = 123.00
SHWT = 119.30

BORING TB-15
ENCOUNTERED WT -4.9'
GROUND ELEV. = 117.50
SHWT = 114.1

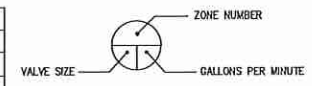
S89°50'22"E
51.71'

N00°22'34"E

N89°55'56"W 430.44

IRRIGATION LEGEND

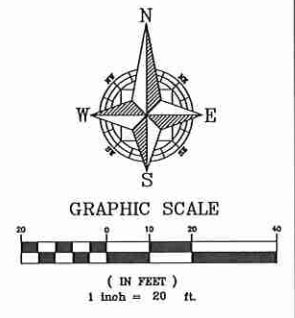
- RAIN BIRD 1806 SERIES SPRINKLERS WITH RAIN BIRD MPR SPRAY NOZZLES UNLESS NOTED OTHERWISE
- ▲ RAIN BIRD 1402 SERIES PC BUBBLER, 0.50 GPM
 - ⓐ TECHLINE SUPPLY POINT OF CONNECTION 'A'
 - Ⓢ HUNTER ICV SERIES ELECTRIC CONTROL VALVE, ALL DRIP ZONES TO BE EQUIPPED WITH A HUNTER ACCU-SYNC PRESSURE REGULATING MODULE
 - ⓐ HUNTER PRO-C SERIES CONTROLLER, MODEL PC-1200
 - Ⓢ HUNTER MINI-CLIK RAIN SENSOR
 - ⓐ NETAFIM DISC FILTER, SEE PLAN FOR FILTER SIZE
 - CL 200 PVC PURPLE MAINLINE, SOLVENT WELD
 - CL 200 PVC PURPLE LATERAL LINE, SOLVENT WELD
 - NETAFIM TECHLINE, TLDL9-1210
 - SCHEDULE 40 PVC CONDUIT SLEEVE
 - SEE PLAN FOR SLEEVE SIZES AND LOCATIONS



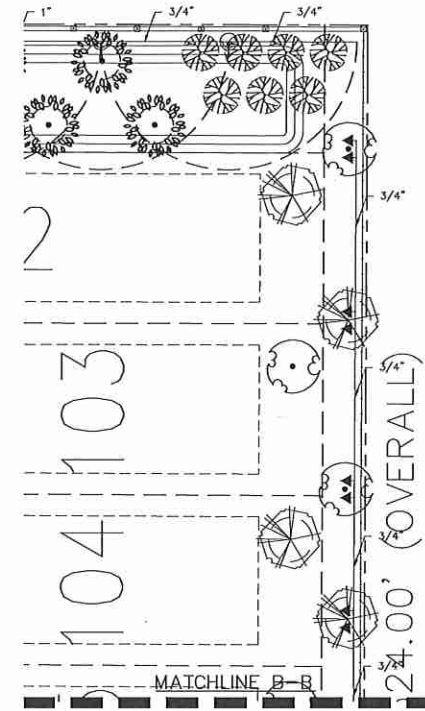
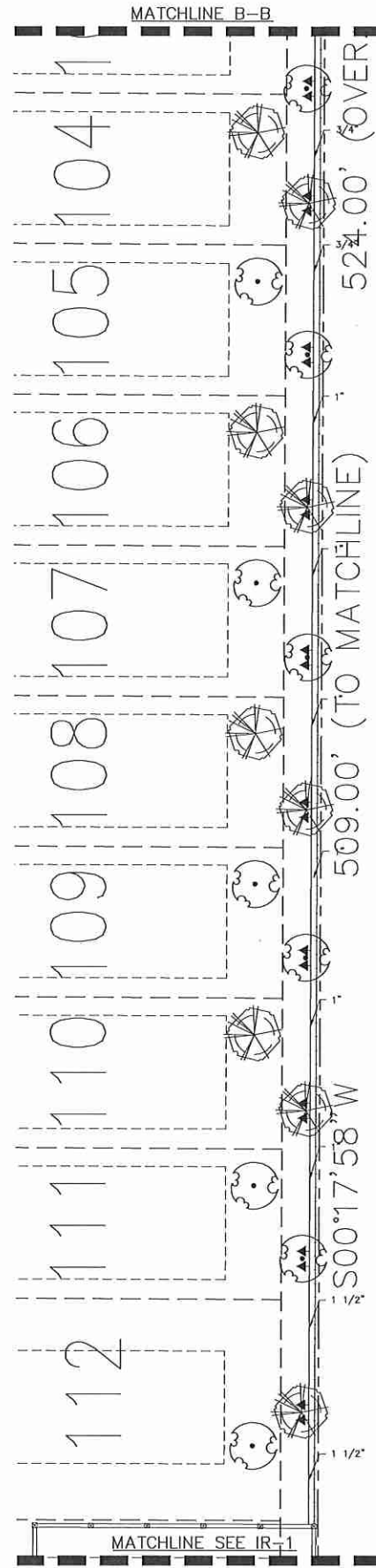
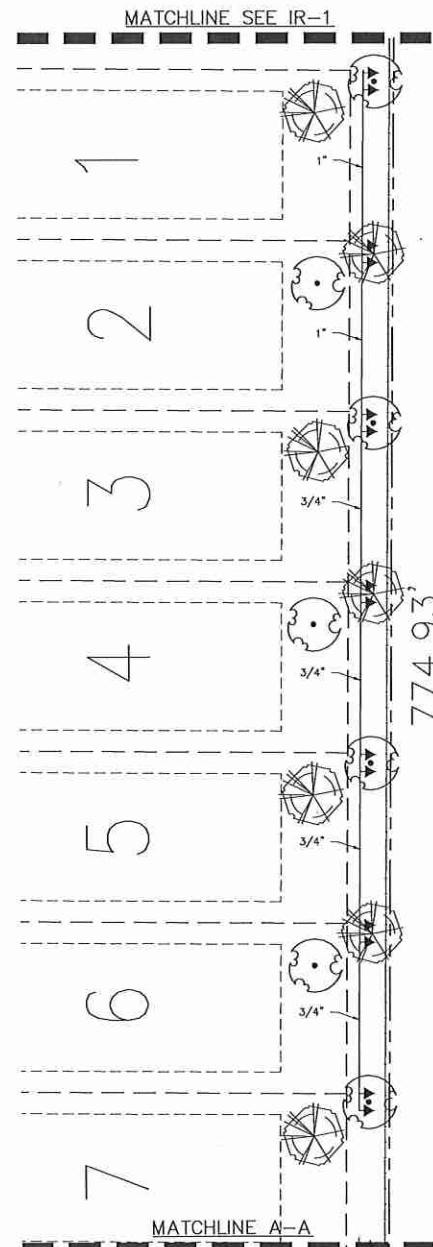
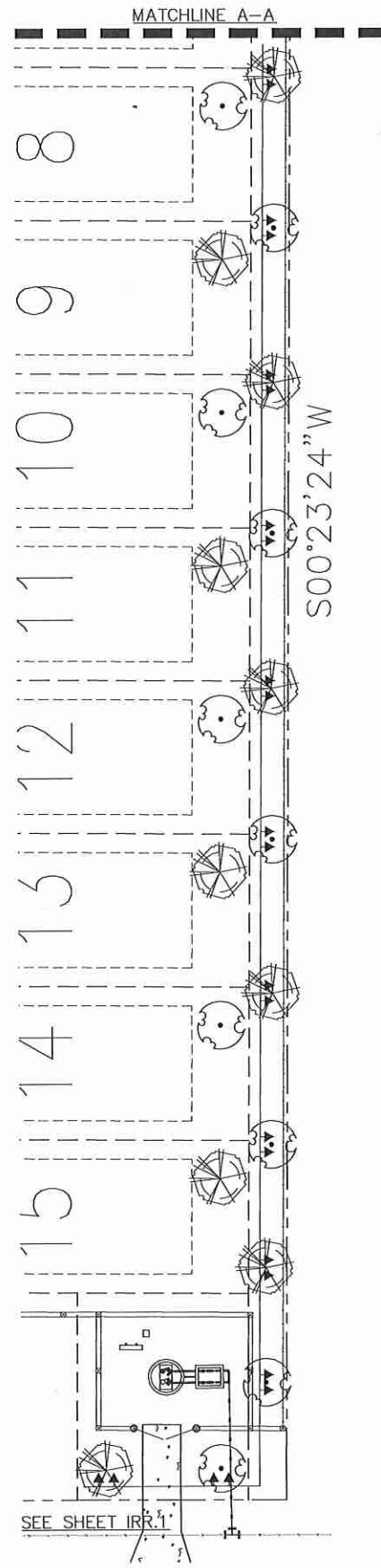
Recreation Area Irrigation Heads

Quantity	Symbol	Description	Max. Throw Radius / GPM
	Ⓢ	RAINBIRD 3500 Rotor Sprinkler, 90° Throw	15 to 35 ft / .54 to 4.6
	Ⓢ	RAINBIRD 3500 Rotor Sprinkler, 180° Throw	15 to 35 ft / .54 to 4.6
	●	RAINBIRD Plastic MPR (15F) Nozzle, 15 Series, 30 deg. Trajectory, 360° Throw	15.00 ft / 3.70
	Ⓢ	RAINBIRD Plastic MPR (10Q) Nozzle, 10 Series, 30 deg. Trajectory, 90° Throw	10.00 ft / .39
	Ⓢ	RAINBIRD Plastic MPR (10H) Nozzle, 10 Series, 30 deg. Trajectory, 180° Throw	10.00 ft / .79
	Ⓢ	RAINBIRD Plastic MPR (10H) Nozzle, 10 Series, 30 deg. Trajectory, 180° Throw	10.00 ft / 1.58

WOHLFARTH CONSULTING GROUP LLC ENGINEERS & PLANNERS		245 N. WESTMOUNT DRIVE ALTA MONTE SPRINGS, FL 32714 (407) 750-3123	
SAN SEBASTIAN RESERVE ORANGE COUNTY, FLORIDA		IRRIGATION PLAN 'A'	
SCALE: 1" = 20'	PROJECT: 2017-011	CHECKED: RW	DATE: 5/5/2018
DRAWN: DM	DESIGNED: --	SHEET: IRR.1	BY: --

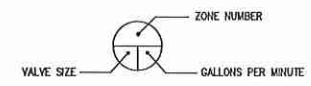


6/2018
NOT TO BE FILED FOR RECORD UNLESS SIGNED AND SEALED WITH THE ORIGINAL SEAL OF PROFESSIONAL ENGINEER C. BOYFARTH, FLORIDA # 80884



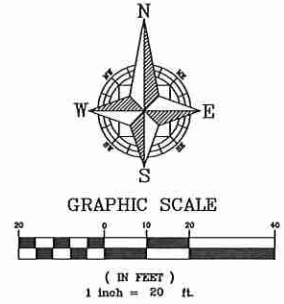
IRRIGATION LEGEND

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- Ⓗ CL 200 PVC PURPLE LATERAL LINE, SOLVENT WELD
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- Ⓝ SCHEDULE 40 PVC CONDUIT SLEEVE
- SEE PLAN FOR SLEEVE SIZES AND LOCATIONS

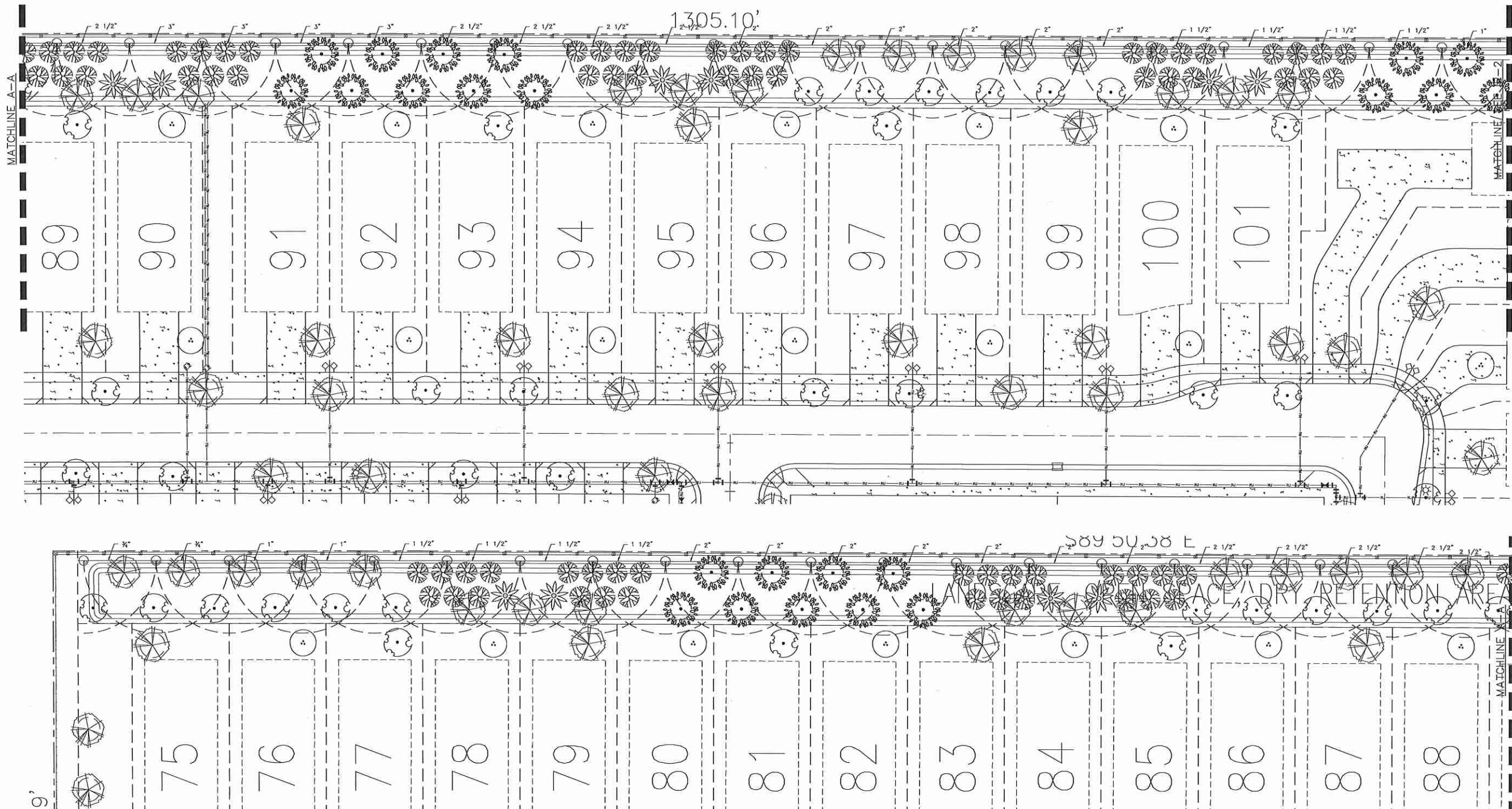


Recreation Area Irrigation Heads

Quantity	Symbol	Description	Max. Throw Radius / GPM
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	Ⓔ	RAINBIRD Plastic MPR (10H) Nozzle, 10 Series, 30 deg. Trajectory, 180° Throw	10.00 ft / .79
	Ⓝ	RAINBIRD Plastic MPR (10H) Nozzle, 10 Series, 30 deg. Trajectory, 180° Throw	10.00 ft / 1.58



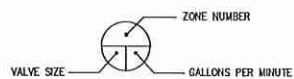
WOHLFARTH CONSULTING GROUP LLC ENGINEERS & PLANNERS <small>245 N. WESTMONTE DRIVE ALTAMONTE SPRINGS, FL 32714 (407) 750-3123</small>		SAN SEBASTIAN RESERVE ORANGE COUNTY, FLORIDA IRRIGATION PLAN 'B'	
SCALE	DRAWN	PROJECT	SHEET
1" = 20'	DM	2017-011	IRR.2
	DESIGNED	CHECKED	DATE
	---	RW	5/5/2018
BUSINESS NO. 32108			
<small>8/20/18 NOT TO BE USED FOR RECORD UNLESS SIGNED AND SEALED BY THE ORIGINAL DESIGN PROFESSIONAL REGISTERED IN THE STATE OF FLORIDA</small>			
			DESCRIPTION DATE REV.



IRRIGATION LEGEND

RAIN BIRD 1808 SERIES SPRINKLERS WITH RAIN BIRD MPR SPRAY NOZZLES UNLESS NOTED OTHERWISE

- ▲ RAIN BIRD 1402 SERIES PC BUBBLER, 0.50 GPM
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- - - CL 200 PVC PURPLE LATERAL LINE, SOLVENT WELD
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- - - - SCHEDULE 40 PVC CONDUIT SLEEVE
- · - · - SEE PLAN FOR SLEEVE SIZES AND LOCATIONS



Recreation Area Irrigation Heads

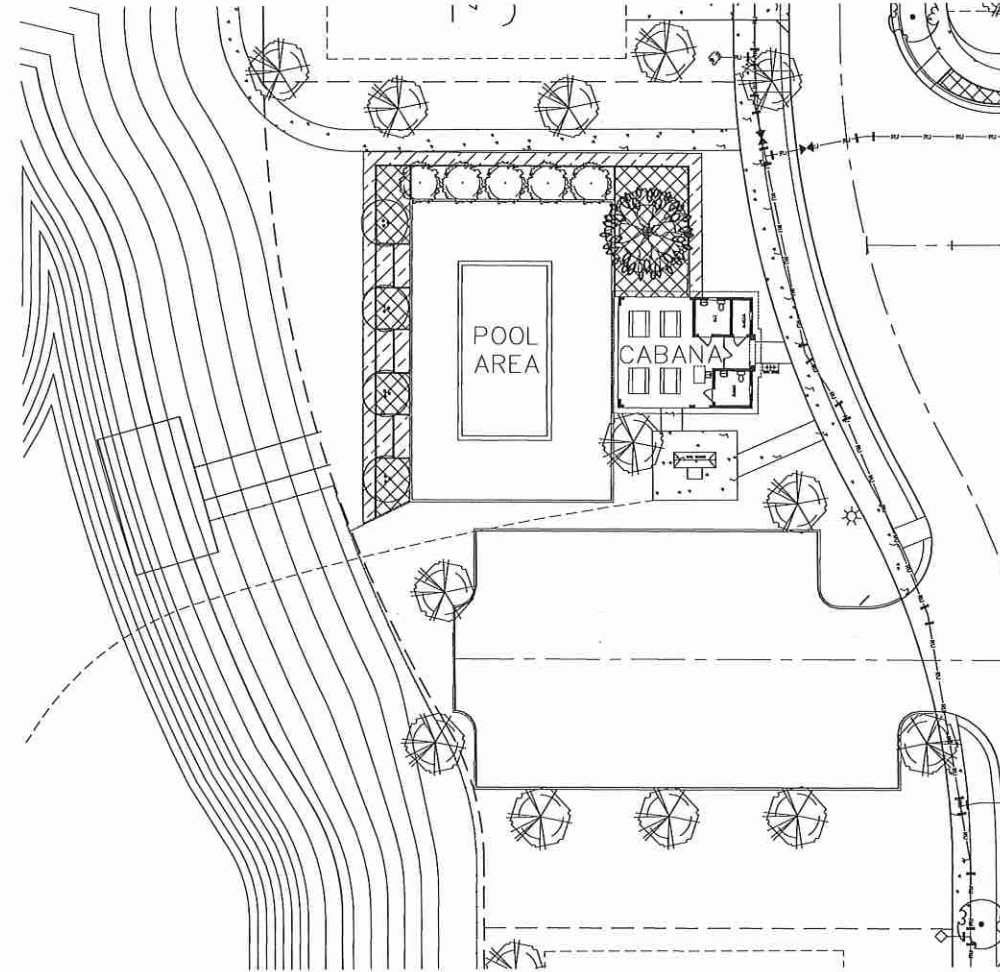
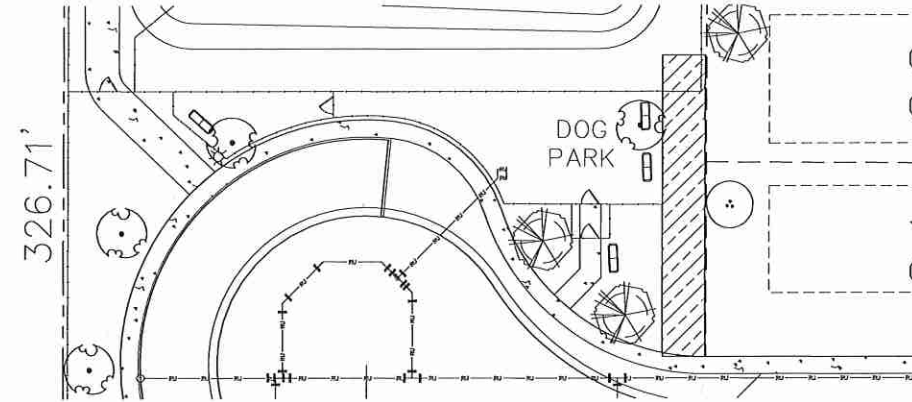
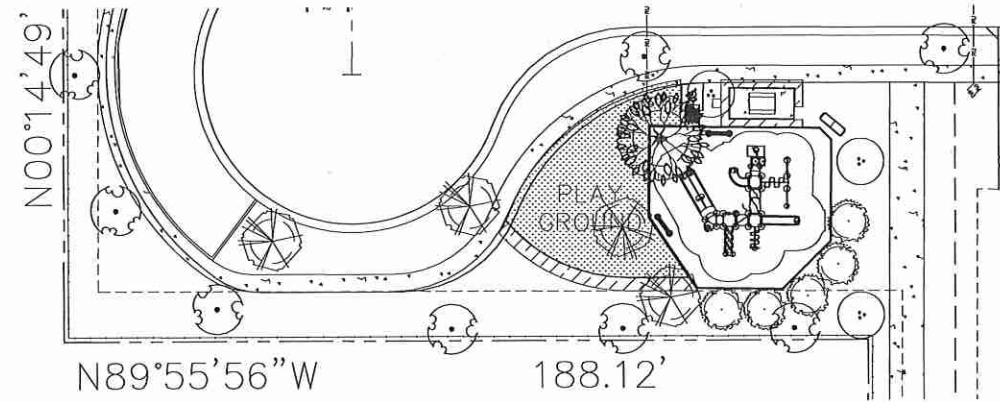
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GRAPHIC SCALE

(IN FEET)
1 inch = 20 ft.

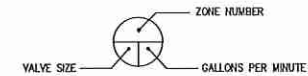
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DRAWN	DM	DESIGNED		CHECKED	RW	DATE	5/5/2018
WOHLFARTH CONSULTING GROUP LLC ENGINEERS & PLANNERS 246 N. WESTMONTE DRIVE ALTAMONTE SPRINGS, FL 32714 (407) 750-3123				SAN SEBASTIAN RESERVE ORANGE COUNTY, FLORIDA IRRIGATION PLAN 'C'			
BUSINESS NO. 32108							
<small>8/20/18</small> <small>NOT TO BE USED FOR RECORD UNLESS PRINTED AND DATED WITH THE ORIGINAL SET OF RECORDS BY WFLC/DM</small>							



IRRIGATION LEGEND

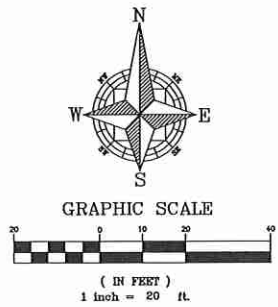
RAIN BIRD 1806 SERIES SPRINKLERS WITH RAIN BIRD MPR SPRAY NOZZLES UNLESS NOTED OTHERWISE

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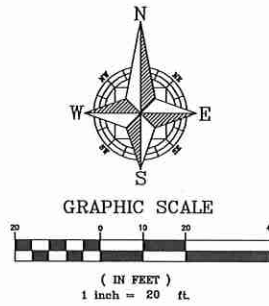
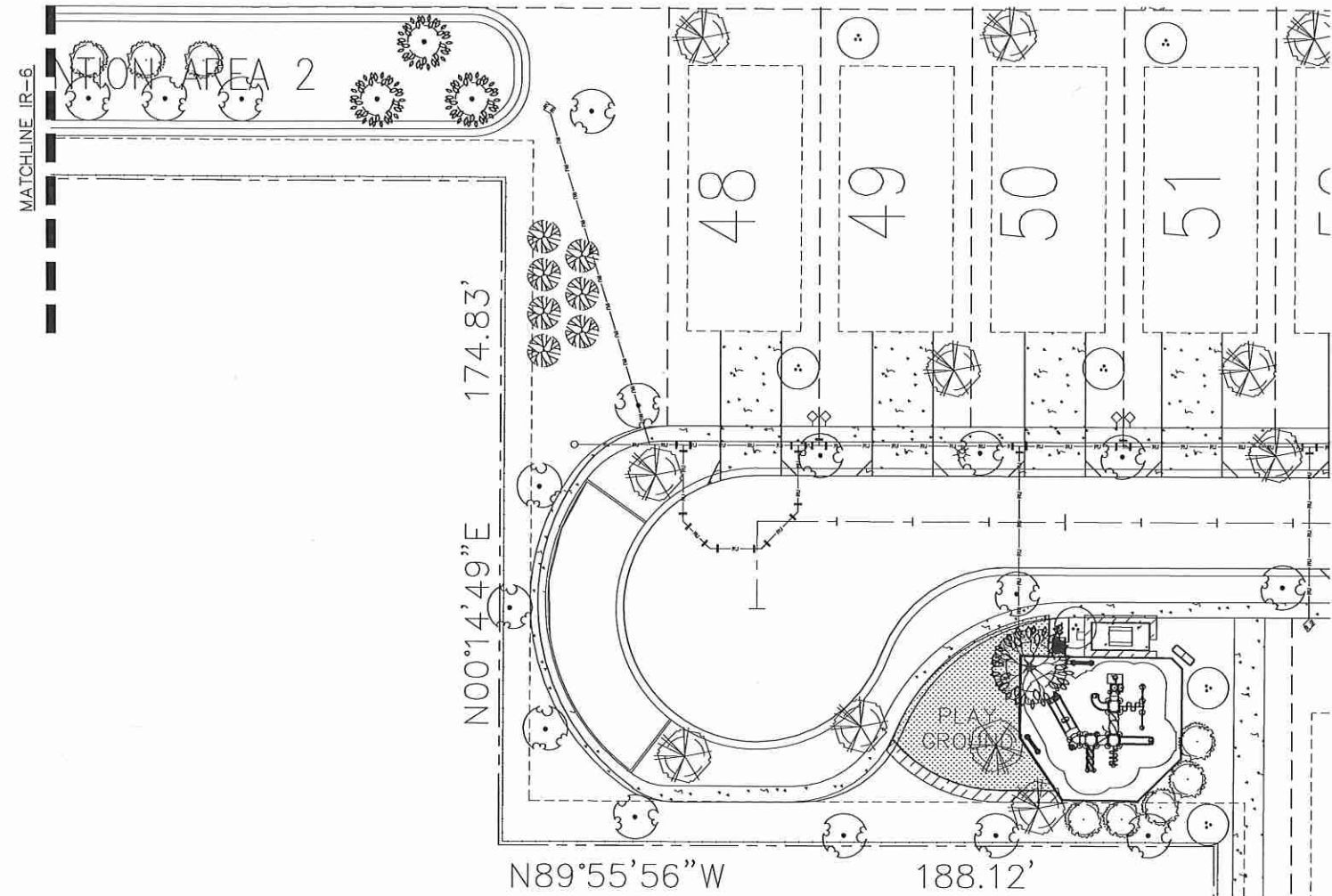
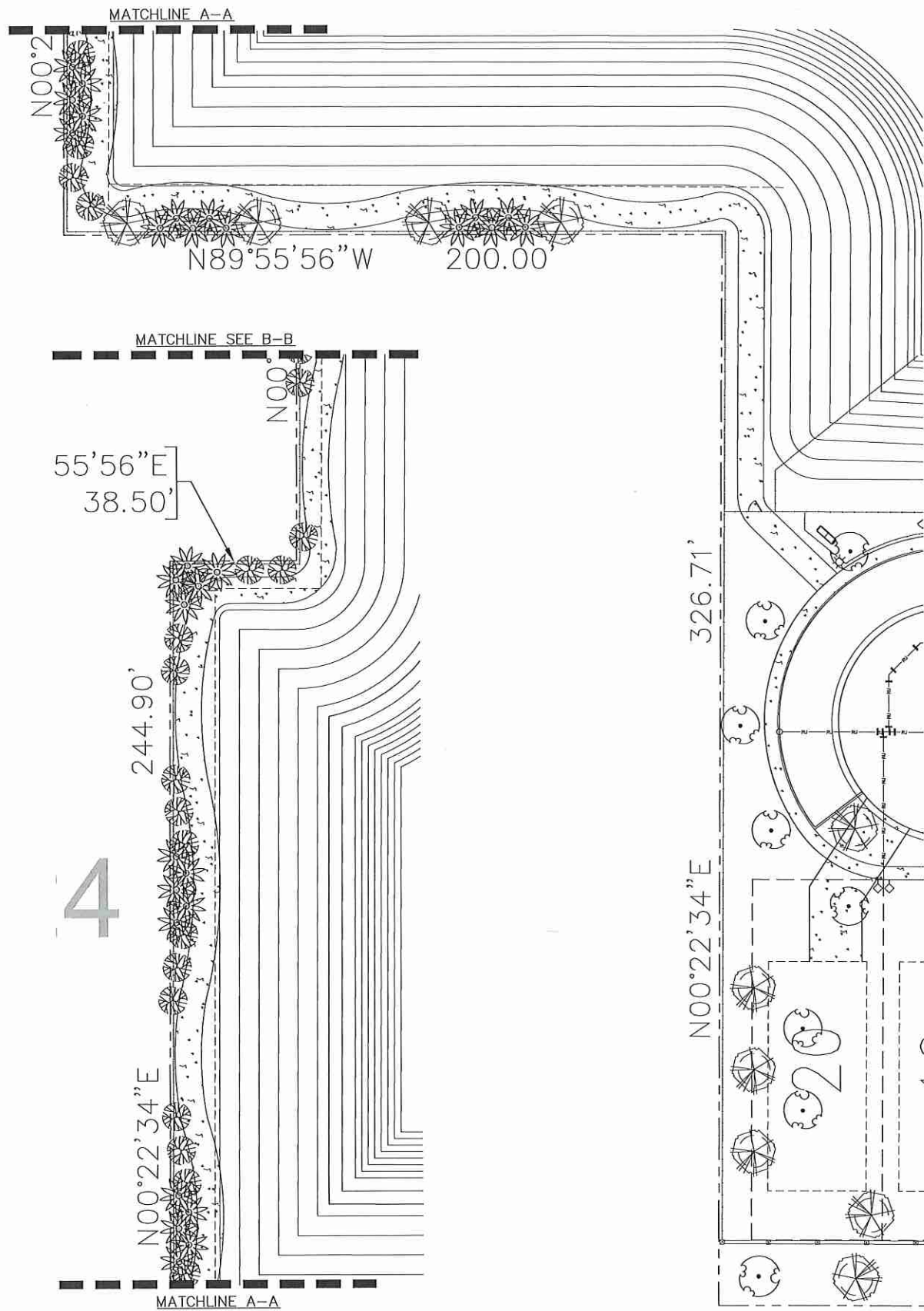
Recreation Area Irrigation Heads

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SEE SHEET IRR.3

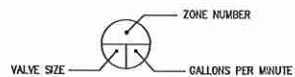
WOHLFARTH CONSULTING GROUP LLC ENGINEERS & PLANNERS 246 N. WESTMONTA DRIVE ALTA MONTA SPRINGS, FL 32714 (407) 750-3123	SAN SEBASTIAN RESERVE ORANGE COUNTY, FLORIDA	IRRIGATION PLAN 'D'
DRAWN: DM DESIGNED: --- PROJECT: 2017-011 SHEET: IRR.4 CHECKED: RW DATE: 5/5/2018		
BUSINESS NO. 32108		
8/20/18 NOT TO BE FILED FOR RECORD UNLESS THE ORIGINAL SEAL OF REGISTERED PROFESSIONAL ENGINEER WOHLFARTH CONSULTING GROUP LLC IS PRESENT		



IRRIGATION LEGEND

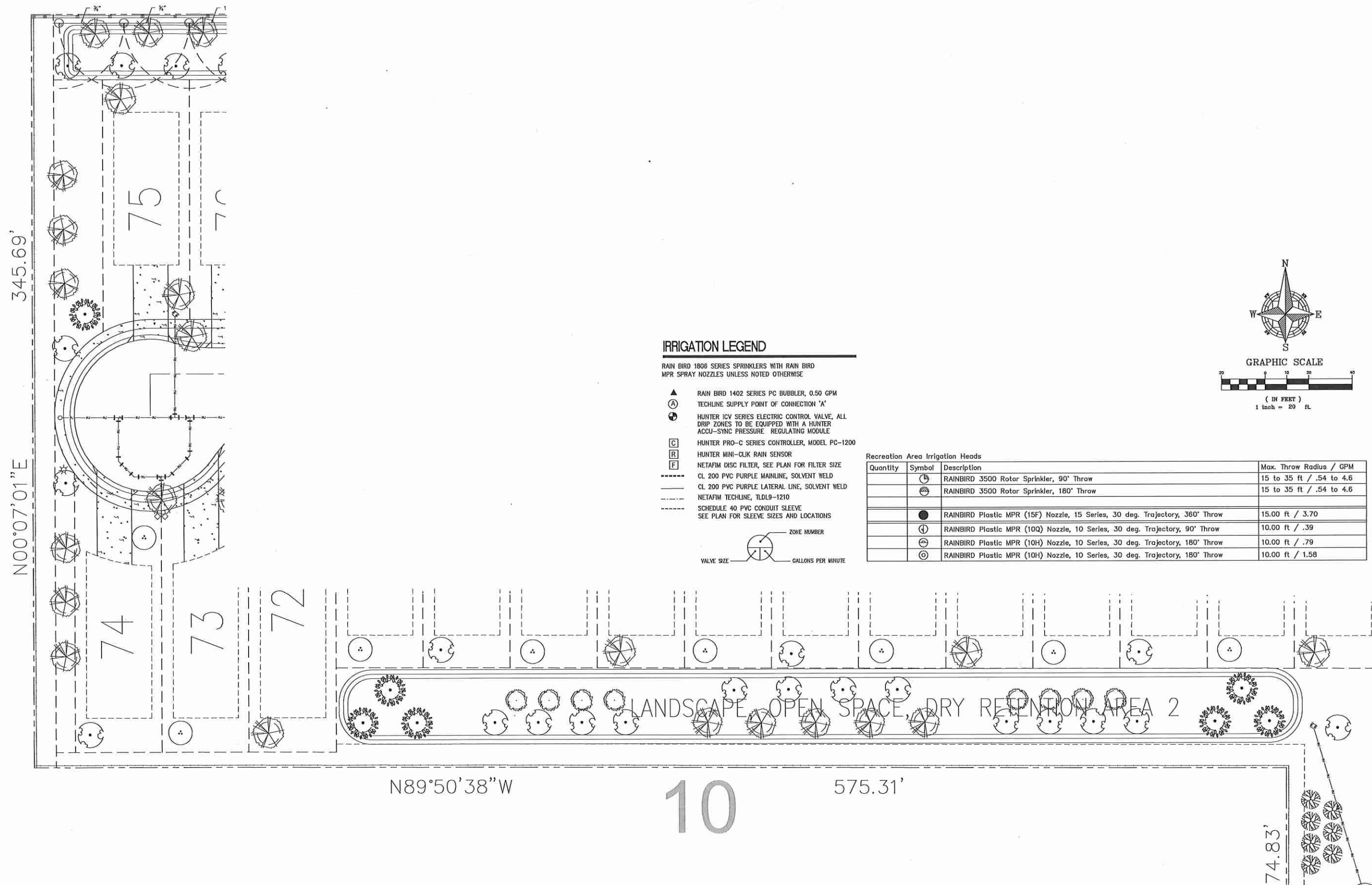
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WOHLFARTH CONSULTING GROUP LLC ENGINEERS & PLANNERS		246 N. WESTHAVEN DRIVE ALTA MONTE SPRINGS, FL 32714 (407) 750-3123	
SAN SEBASTIAN RESERVE ORANGE COUNTY, FLORIDA		IRRIGATION PLAN 'B'	
SCALE: 1" = 20'	PROJECT: 2017-011	SHEET: IRR.5	DATE: 5/5/2018
DRAWN: DM	DESIGNED: RW	CHECKED: RW	DATE: 5/5/2018
W GROUP LAND DEVELOPMENT & ENGINEERING SERVICES		BUSINESS NO. 32108	
6/20/18		NOT TO BE FILED FOR RECORD UNLESS SIGNED AND SEALED WITH THE ORIGINAL SEAL OF PROFESSIONAL REGISTRATION, FLORIDA P.E. #2844	

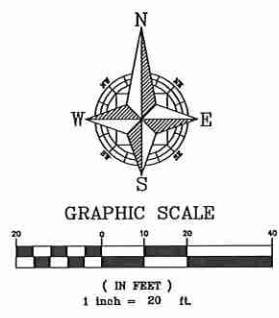


IRRIGATION LEGEND

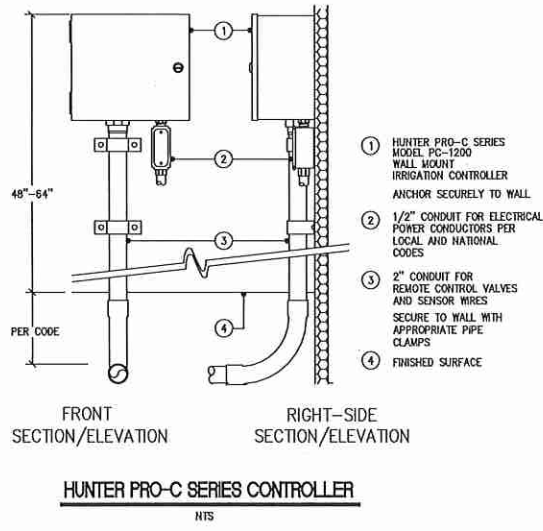
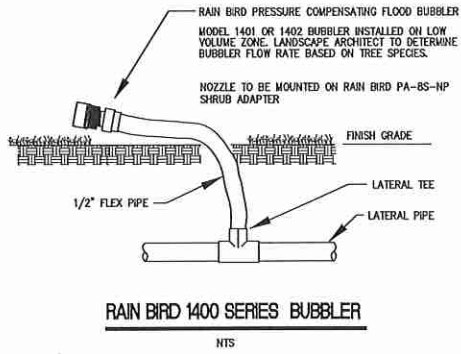
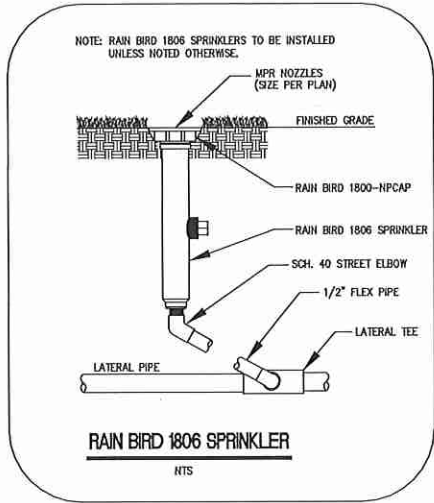
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- ZONE NUMBER
- VALVE SIZE: GALLONS PER MINUTE

Recreation Area Irrigation Heads

Quantity	Symbol	Description	Max. Throw Radius / GPM
		RAINBIRD 3500 Rotor Sprinkler, 90' Throw	15 to 35 ft / .54 to 4.6
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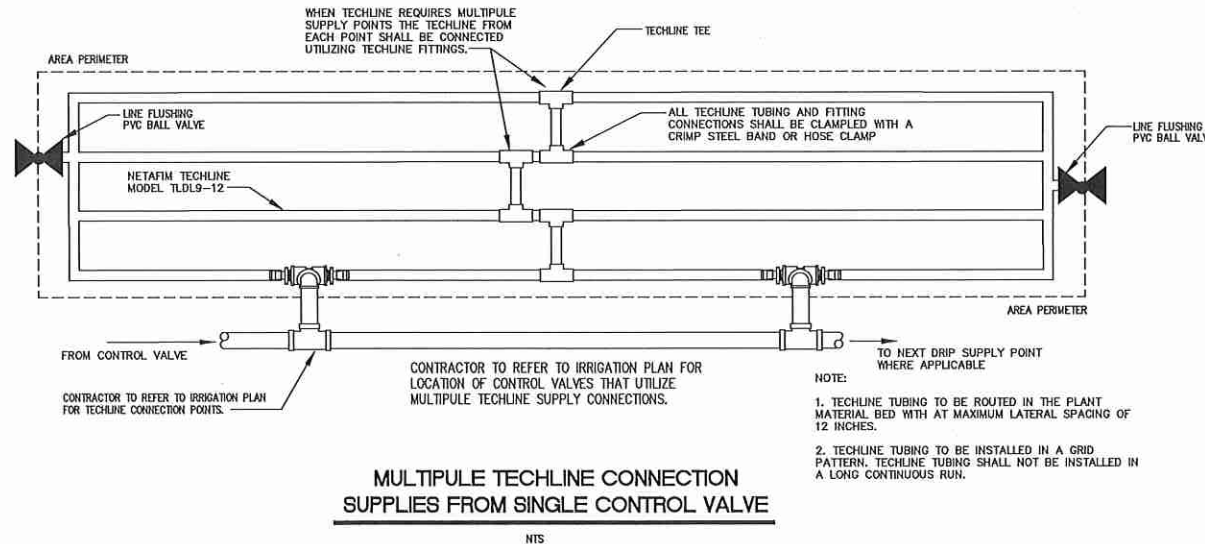
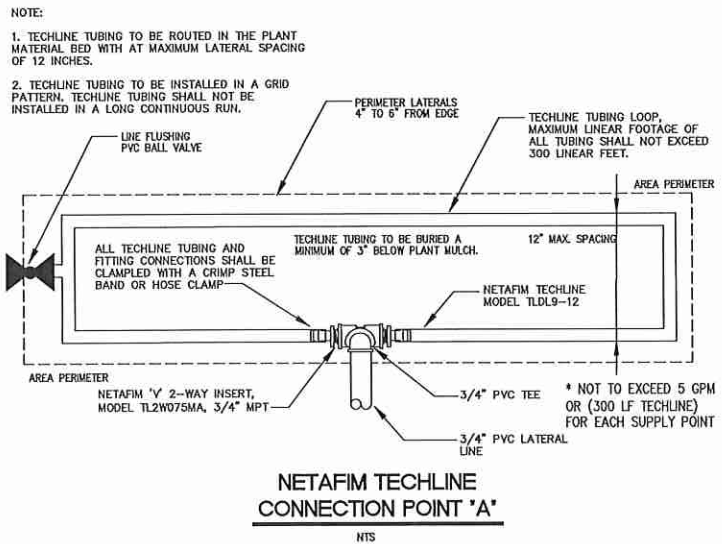
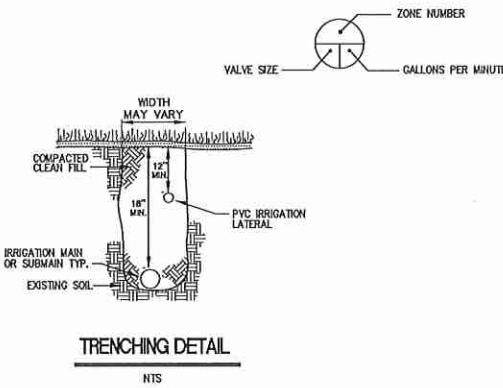
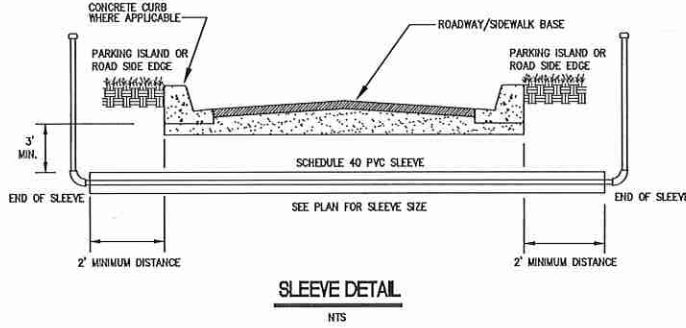
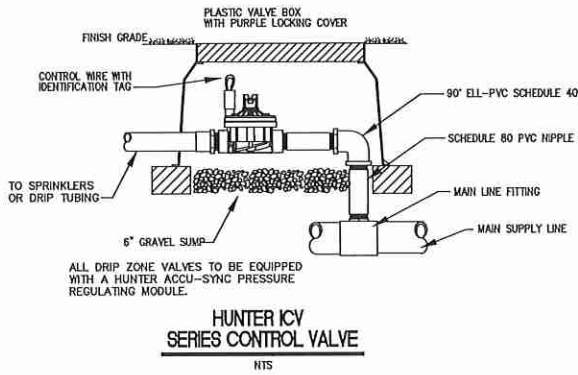
SCALE 1" = 20'	PROJECT 2017-011	SHEET IRR.6	DRAWN: DM	DESIGNED: ---	CHECKED: RW
			DATE: 5/5/2018		
W GROUP LAND DEVELOPMENT & ENGINEERING SERVICES BUSINESS NO. 32108			WOHLFARTH CONSULTING GROUP LLC ENGINEERS & PLANNERS 246 N. WESTGATE DRIVE ALTA MONTE SPRINGS, FL 32714 (407) 750-3123		
SAN SEBASTIAN RESERVE ORANGE COUNTY, FLORIDA			IRRIGATION PLAN 'B'		
6/2018 THIS IS TO BE FILED FOR RECORDATION AS REQUIRED BY CHAPTER 125, FLORIDA STATUTES, AND CHAPTER 61, FLORIDA ADMINISTRATIVE CODE.					



CONTROLLER SCHEDULE			
ZONE NO.	GPM	VALVE SIZE	TYPE
1-1	4	0.5	BUBBLER
1-2	36	2	SPRAY
2-1	26	1.5	SPRAY
2-2	6	0.5	BUBBLER
3-1	30	1.5	SPRAY
3-2	20	1.25	SPRAY
3-3	11	1	BUBBLER
3-4	10	1	TECHLINE
4-1	11	1	TECHLINE
4-2	11	1	BUBBLER
4-3	15	1	BUBBLER
4-4	31	1.5	SPRAY
4-5	23	1.5	SPRAY
4-6 FUTURE		1.5	
4-7 FUTURE		1.5	
4-8 FUTURE		1.5	
4-9 FUTURE		1.5	
5-1	25	1.5	BUBBLER
5-2	5	0.5	TECHLINE
5-3	26	1.5	SPRAY
5-4	22	1.5	SPRAY
6-1	12	1	TECHLINE
6-2	25	1.5	BUBBLER
6-3	32	1.5	SPRAY
6-4	32	1.5	SPRAY
6-5 FUTURE		1.5	
6-6 FUTURE		1.5	
6-7 FUTURE		1.5	
6-8 FUTURE		1.5	
6-9 FUTURE		1.5	

IRRIGATION NOTES

- THE HEAD LAYOUT HAS BEEN DESIGNED TO PROVIDE 100% COVERAGE. ANY CHANGES MADE IN THE HEAD LAYOUT DUE TO FIELD CONDITIONS SHALL BE IN ACCORDANCE WITH THESE STANDARDS.
- SET SPRAY HEADS 3" AND ROTORS 6" IN FROM BACK OF CURB OR 12" IF PAVEMENT HAS NO CURB.
- VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF IRRIGATION SYSTEM. MAINLINE SHALL NOT BE LOCATED WITHOUT PRIOR APPROVAL OF THE PROJECT MANAGER AND THE LANDSCAPE ARCHITECT. ALL UTILITIES AND STRUCTURES MAY NOT BE SHOWN ON THESE PLANS—CONTRACTOR SHALL VERIFY THEIR LOCATION.
- ALL PRESSURE MAINLINES UNDER ASPHALT PAVEMENT SHALL BE PLACED WITHIN SLEEVES AS NOTED. WHERE ELECTRIC VALVE CONTROL LINES PASS THROUGH A SLEEVE WITH OTHER MAIN OR LATERAL LINES THEY SHALL BE CONTAINED WITHIN A SEPARATE, SMALLER CONDUIT.
- MAINLINE AND VALVES ARE SHOWN IN SCHEMATIC FORM. LOCATE AS NOTED ON PLANS.
- LOCATE ALL VALVES A MINIMUM OF 12" FROM BACK OF CURB OR EDGE OF PAVEMENT, UNLESS NOTED OTHERWISE.
- ALL SLEEVES UTILIZED BY THE IRRIGATION CONTRACTOR, WHETHER INSTALLED BY HIM OR NOT, SHALL BE LOCATED ON THE "AS-BUILT" DRAWINGS. THE DEPTH BELOW FINISH GRADE, TO THE NEAREST FOOT OF EACH END OF EACH SLEEVE SHALL BE NOTED AT EACH SLEEVE LOCATION ON THE "AS-BUILT" DRAWINGS. ALL SLEEVES ON PLAN FOR WALL PENETRATIONS AND UNDER SIDEWALKS SHALL BE SIZED TWO PIPE SIZES GREATER THAN PIPE IT CARRIES.
- ALL UNSIZED PIPE SHALL BE 3/4" UNLESS OTHERWISE NOTED.
- ALL VALVES SHALL BE INSTALLED IN A CARSON PLASTIC VALVE BOX WITH PURPLE LOCKING LID.
- IRRIGATION CONTRACTOR SHALL SECURE ANY AND ALL NECESSARY PERMITS FOR THE WORK PRIOR TO COMMENCEMENT OF HIS OPERATIONS ON-SITE. COPIES OF THE PERMITS SHALL BE SENT TO THE OWNER/GENERAL CONTRACTOR. WORK IN THE R.O.W. SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF LOCAL AND/OR STATE HIGHWAY JURISDICTION.
- VERIFY CONTROLLER AND MAINLINE CONNECTION LOCATIONS AT PROJECT SITE WITH OWNER.
- ELECTRIC SERVICE TO THE IRRIGATION CONTROLLER SHALL BE PROVIDED BY THE GENERAL CONTRACTOR.
- ALL 24 VAC WIRING SHALL BE OF DIRECT BURIAL COPPER WIRE AS FOLLOWS: CONTROL WIRES - #14-1 RED COMMON WIRE - #14-1 WHITE
- INSTALLATION OF WORK SHALL BE COORDINATED WITH OTHER CONTRACTORS IN SUCH A MANNER AS TO ALLOW FOR A SPEEDY AND ORDERLY COMPLETION OF ALL WORK ON THE SITE.
- THIS PROJECT, INCLUDING BOTH HORIZONTAL AND VERTICAL CONSTRUCTION, SHALL INCORPORATE WaterSense PLUMBING FIXTURES AND Energy Star APPLIANCES AS REQUIRED BY COUNTY CODE OF ORDINANCES.
- DEVELOPER / CONTRACTOR SHALL COORDINATE WITH THE UTILITIES DEPARTMENT FOR WATER CONSERVATION INSPECTION OF PLUMBING AND IRRIGATION SYSTEM.
- ALL PIPE, VALVES, HEADS AND BOXES SHALL BE PURPLE IN COLOR.
- THE LANDSCAPE IRRIGATION SYSTEM SHALL BE DESIGNED TO PREVENT WATER WASTING, SUCH AS DIRECT SPRAY ONTO BUILDINGS, ROADWAYS, DRIVEWAYS OR OTHER HARDSCAPE.



NO.	DESCRIPTION	DATE	BY

WOHLFARTH CONSULTING GROUP LLC
ENGINEERS & PLANNERS
245 N. WESTMONTE DRIVE
ALTIMONTE SPRINGS, FL 32714
(407) 750-3123

SAN SEBASTIAN RESERVE
ORANGE COUNTY, FLORIDA
IRRIGATION DETAILS

SCALE: N/A" = 1"	PROJECT: 2017-011	SHEET: IRR.7
DESIGNED: DM	CHECKED: RW	DATE: 5/5/2018

W GROUP
LAND DEVELOPMENT & ENGINEERING SERVICES
BUSINESS NO. 32108

48 HOURS BEFORE DIGGING
CALL TOLL FREE
811 or 1-800-432-4770
FLORIDA STATE ONE CALL CENTER



16 EAST PLANT STREET
WINTER GARDEN, FLORIDA 34787
407 654-5355 *FAX 407 654-5356

SAN SABASTIAN
OF
ALTA/ACSM LAND TITLE
BOUNDARY SURVEY
SECTION 28, TOWNSHIP 20 SOUTH, RANGE 28 EAST
CITY OF APOPKA
ORANGE COUNTY, FLORIDA

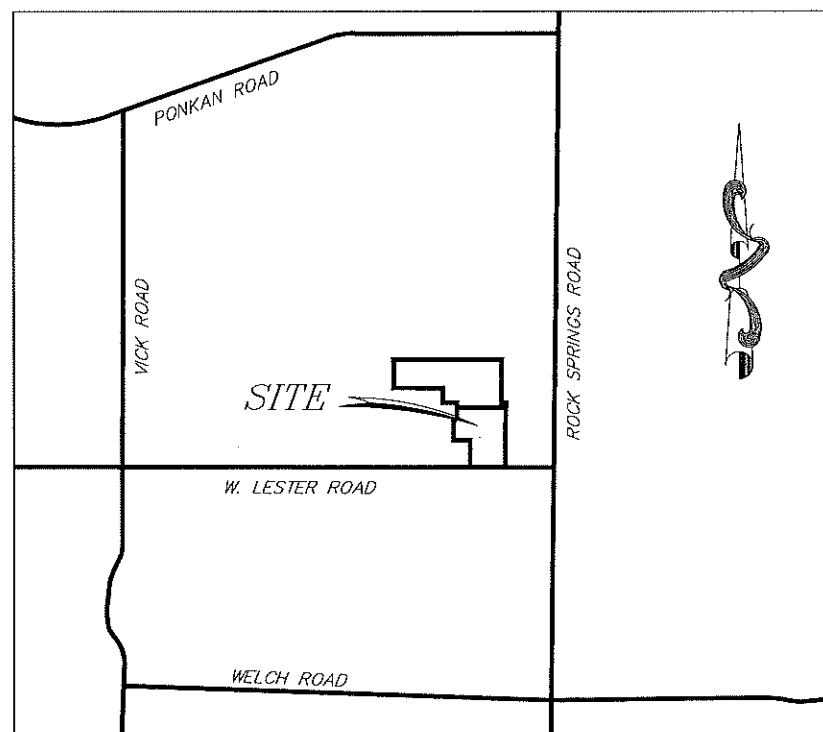
FOR:
KHOWNANIAN HOMES

FOR THE LICENSED BUSINESS #723 BY:

JAMES L. RICHMAN, P.E.M. #5633

DATE	REVISIONS

JOB # 20170575
DATE: NOVEMBER 29, 2017
SCALE: 1"=100'
CALC BY: SEJ
FIELD BY: SM
DRAWN BY: SEJ
CHECKED BY: JLR



VICINITY MAP NOT TO SCALE

LEGAL DESCRIPTION: 17104539 LO

A PART OF THE E 1/2 OF THE SW 1/4 OF THE SE 1/4 OF SECTION 28, TOWNSHIP 20 S, RANGE 28 E, ORANGE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SE CORNER OF SAID E 1/2 OF THE SW 1/4 OF THE SE 1/4 OF SECTION 28, TOWNSHIP 20 S, RANGE 28 E, THENCE SOUTH 87 DEGREES 59' 49" WEST ALONG THE SOUTHERLY LINE OF SAID SECTION 28 FOR 15.00 FEET; THENCE NORTH 01 DEGREES 46' 12" WEST, PARALLEL WITH THE EAST LINE OF THE AFORESAID E 1/2 OF THE SW 1/4 OF THE SE 1/4 FOR 586.62 FEET, THENCE SOUTH 87 DEGREES 59' 49" WEST FOR 83.51 FEET, THENCE NORTH 01 DEGREES 46' 12" WEST FOR 238.00 FEET, THENCE NORTH 87 DEGREES 59' 49" EAST FOR 35.35 FEET; THENCE NORTH 01 DEGREES 49' 26" WEST PARALLEL WITH THE WESTERLY BOUNDARY OF LANDS DESCRIBED IN OFFICIAL RECORDS BOOK: 2748, PAGE 1803 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA FOR 159.83 FEET; THENCE SOUTH 88 DEGREES 03' 21" WEST, PARALLEL WITH THE NORTH LINE OF THE AFORESAID E 1/2 OF THE SW 1/4 OF THE SE 1/4 OF SECTION 28, FOR 595.03 FEET TO THE WEST LINE OF SAID EAST 1/2 OF THE SW 1/4 OF THE SE 1/4 OF SECTION 28; THENCE NORTH 01 DEGREES 46' 37" WEST ALONG THE WEST LINE FOR 345.00 FEET TO THE NW CORNER OF SAID E 1/2 OF THE SW 1/4 OF THE SE 1/4 OF SECTION 28; THENCE NORTH 88 DEGREES 03' 21" EAST ALONG THE NORTH LINE OF SAID E 1/2 OF THE SW 1/4 OF THE SE 1/4 FOR 609.75 FEET; THENCE SOUTH 01 DEGREES 49' 26" EAST ALONG THE WESTERLY LINE OF THE AFORESAID LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 2748, PAGE 1803 PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA FOR A DISTANCE OF 519.81 FEET TO THE NORTHERLY BOUNDARY OF LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 3141, PAGE 1427, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE SOUTH 87 DEGREES 59' 49" WEST ALONG SAID NORTHERLY BOUNDARY FOR 34.88 FEET TO THE NORTHWEST CORNER OF SAID LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 3141, PAGE 1427, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE SOUTH 01 DEGREES 46' 12" EAST FOR 208.00 FEET TO THE SOUTHWEST CORNER OF SAID LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 3141, PAGE 1427, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE NORTH 87 DEGREES 59' 49" EAST, ALONG THE SOUTHERLY BOUNDARY OF SAID LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 3141, PAGE 1427, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA FOR 83.51 FEET TO THE EAST LINE OF THE AFORESAID E 1/2 OF THE SW 1/4 OF THE SE 1/4 OF SECTION 28; THENCE SOUTH 01 DEGREES 46' 12" EAST ALONG SAID EAST LINE, FOR 601.62 FEET TO THE POINT OF BEGINNING. LESS AND EXCEPTING THEREFROM THE SOUTHERLY 30 FEET FOR ROAD.

LEGAL DESCRIPTION: 17104546 LO

A PARCEL OF LAND LYING IN SECTION 28, TOWNSHIP 20 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

FROM THE SOUTHEAST CORNER OF SECTION 28, TOWNSHIP 20 SOUTH, RANGE 28 EAST RUN SOUTH 87°59'49" WEST 600.00 FEET ALONG THE SOUTH LINE OF SAID SECTION 28 FOR A POINT OF BEGINNING OF THIS DESCRIPTION; CONTINUE THENCE SOUTH 87°59'49" WEST 630.44 FEET; THENCE RUN NORTH 01°41'41" WEST 601.62 FEET TO THE SOUTH LINE OF A PREVIOUSLY DEEDED WELL LOT THENCE NORTH 87°59'49" EAST 38.50 FEET TO THE SOUTHEAST CORNER OF THE AFORESAID WELL LOT; THENCE NORTH 01°41'41" WEST 148.40 FEET ALONG THE EAST LINE OF AFORESAID WELL LOT; THENCE NORTH 87°59'45" EAST 593.99 FEET TO A POINT 600.00 FEET WEST OF THE EAST LINE OF AFORESAID SECTION 28, AND 750.00 FEET NORTH OF THE SOUTH LINE OF AFORESAID SECTION 28; THENCE SOUTH 01°45'16" EAST 750.00 FEET TO THE POINT OF BEGINNING, LESS THE SOUTH 30.00 FEET THEREOF FOR ROAD.

LESS AND EXCEPT THE SOUTH 326.71 FEET OF THE WEST 200.00 FEET OF THE ABOVE DESCRIBED PARCEL.

LEGAL DESCRIPTION: FILE NUMBER 17104539

A PARCEL OF LAND LYING IN SECTION 28, TOWNSHIP 20 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

FROM THE SOUTHEAST CORNER OF SECTION 28, TOWNSHIP 20 SOUTH, RANGE 28 EAST, RUN THENCE NORTH 01°45'16" WEST, 750.00 FEET, ALONG THE EAST LINE OF SAID SECTION 28; THENCE SOUTH 87°59'45" WEST, 50.00 FEET PARALLEL WITH THE SOUTH LINE OF SAID SECTION 28 FOR THE POINT OF BEGINNING OF THIS DESCRIPTION; CONTINUE THENCE SOUTH 87°59'45" WEST 1143.99 FEET TO THE EAST LINE OF PARCEL PREVIOUSLY DEEDED FOR A WELL LOT, THENCE NORTH 02°00'11" WEST, 59.60 FEET TO THE NORTHEAST CORNER OF THE AFORESAID WELL LOT; THENCE SOUTH 87°59'49" WEST, 173.12 FEET ALONG THE NORTH LINE OF SAID WELL LOT; THENCE NORTH 01°49'26" WEST 519.15 FEET TO THE NORTH LINE OF THE SOUTH ONE HALF (S1/2) OF THE SOUTHEAST ONE QUARTER (SE 1/4) OF SECTION 28; THENCE NORTH 88°02'24" EAST 714.27 FEET ALONG THE NORTH LINE OF SAID SOUTH ONE HALF (S1/2) OF THE SOUTHEAST ONE QUARTER (SE1/4) TO THE NORTHEAST CORNER OF THE WEST ONE-HALF (W 1/2) OF THE SOUTHEAST ONE QUARTER (SE1/4) OF THE SOUTHEAST ONE QUARTER (SE1/4) OF SAID SECTION 28; THENCE SOUTH 01°49'16" EAST, 524.00 FEET ALONG THE EAST LINE OF THE SAID WEST ONE HALF (W1/2) OF THE SOUTHEAST ONE QUARTER (SE1/4) OF THE SOUTHEAST ONE QUARTER (SE1/4); THENCE NORTH 88°02'24" EAST 603.10 FEET TO A POINT 50.00 FEET WEST OF THE EAST LINE OF SAID SECTION 28; THENCE SOUTH 01°45'16" EAST 54.04 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPT THE FOLLOWING DESCRIBED LANDS:

FROM THE SOUTHEAST CORNER OF SECTION 28, TOWNSHIP 20 SOUTH, RANGE 28 EAST, RUN THENCE NORTH 01°45'16" WEST, 750.00 FEET, ALONG THE EAST LINE OF SAID SECTION 28; THENCE SOUTH 87°59'45" WEST, 50.00 FEET PARALLEL WITH THE SOUTH LINE OF SAID SECTION 28 FOR THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE CONTINUE SOUTH 87°59'45" WEST, A DISTANCE OF 550.01 FEET; THENCE NORTH 01°45'16" WEST, A DISTANCE OF 54.16 FEET; THENCE NORTH 88°02'24" EAST, A DISTANCE OF 550.00 FEET TO A POINT ON THE WEST RIGHT OF WAY LINE OF ROCK SPRINGS ROAD; THENCE SOUTH 01°45'16" EAST, ALONG SAID WEST RIGHT OF WAY, A DISTANCE OF 54.04 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED TRACTS OF LAND CONTAIN 23.18 ACRES MORE OR LESS.

SURVEYOR'S NOTES:

1. BEARINGS SHOWN HEREON ARE ASSUMED AND ARE BASED ON THE SOUTH LINE OF SECTION 28, TOWNSHIP 20 SOUTH, RANGE 28 EAST, BEING SOUTH 89°55'56" WEST.
2. THERE MAY BE EASEMENTS AND RESTRICTIONS OF RECORD AND/OR PRIVATE AGREEMENTS NOT FURNISHED TO THIS SURVEYOR OR SHOWN ON THIS BOUNDARY SURVEY THAT MAY AFFECT PROPERTY RIGHTS AND/OR LAND USE RIGHTS OF THE SUBJECT PROPERTY.
3. THERE MAY BE ENVIRONMENTAL ISSUES AND/OR OTHER MATTERS REGULATED BY VARIOUS DEPARTMENTS OF FEDERAL, STATE OR LOCAL GOVERNMENTS AFFECTING THE SUBJECT PROPERTY NOT SHOWN ON THIS SURVEY.
4. THIS SURVEY WAS PERFORMED FOR THE SOLE AND EXCLUSIVE BENEFIT OF THE ENTITIES LISTED HEREON AND SHALL NOT BE RELIED UPON BY ANY OTHER ENTITY OR INDIVIDUAL WHOMSOEVER.
5. THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
6. THE LEGAL DESCRIPTIONS SHOWN HEREON ARE IN ACCORD WITH THE DESCRIPTIONS FURNISHED BY THE CLIENT.
7. UNLESS OTHERWISE NOTED OR SHOWN HEREON, APPARENT AND/OR VISIBLE UNOBSTRUCTED, ABOVE GROUND PERIMETER IMPROVEMENTS WERE LOCATED. UNDERGROUND IMPROVEMENTS, SUCH AS FOUNDATIONS AND UTILITIES, WERE NOT LOCATED.
8. THE LANDS SHOWN HEREON LIE IN ZONE X, DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, PER FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NO. 1201800110F, MAP NUMBER 12095C0110F, MAP REVISED SEPTEMBER 25, 2009. THE ABOVE STATEMENT IS FOR INFORMATION ONLY AND THIS SURVEYOR ASSUMES NO LIABILITY FOR THE CORRECTNESS OF THE CITED MAP(S). IN ADDITION, THE ABOVE STATEMENT DOES NOT REPRESENT THIS SURVEYOR'S OPINION OF THE PROBABILITY OF FLOODING.
9. UNLESS OTHERWISE NOTED OR SHOWN HEREON, THERE ARE NO APPARENT AND/OR UNOBSTRUCTED, ABOVE GROUND ENCROACHMENTS. THE DISPOSITION OF ANY POTENTIAL ENCROACHING IMPROVEMENTS SHOWN IS BEYOND PROFESSIONAL PURVIEW AND SUBJECT TO LEGAL INTERPRETATION.
10. ADJOINING PARCEL OWNER AND RECORDING INFORMATION DELINEATED HEREON WAS OBTAINED FROM THE COUNTY PROPER APPRAISER'S PUBLIC ACCESS SYSTEM.
11. THERE WAS NO EVIDENCE OF RECENT OR ACTIVE EARTH WORK, BUILDING CONSTRUCTION OBSERVED DURING THE PROCESS OF CONDUCTING THE FIELD WORK.
12. WE HEREBY CERTIFY THAT THE LANDS SHOWN HEREON AS PARCEL 1, PARCEL 2 AND PARCEL 3 ARE CONTIGUOUS WHERE THEY SHARE COMMON BOUNDARY LINES WITHOUT ANY GAPS, CORES OR HIATUSSES.
13. WE HAVE EXAMINED THE FURNISHED COMMITMENT TO INSURE TITLE, FILE NO. 17104539, FILE NO. 17104546 AND FILE NO. 1710559 PREPARED BY HACKLEMAN, OLIVE & JUDD, P.A., EFFECTIVE DATE SEPTEMBER 18, 2017 AT 8:00 AM. THOSE INSTRUMENTS INCLUDED IN "SCHEDULE B, SECTION 2", OF THE COMMITMENT HAVE BEEN EXAMINED AND ARE REFLECTED HEREON TO THE EXTENT THEY AFFECT THE LANDS SURVEYED.

EXCEPTIONS AS THEY APPEAR IN TITLE:

- FILE NO. 10104546 LO
7. EASEMENT TO FLORIDA POWER CORPORATION AS CONTAINED IN INSTRUMENT RECORDED IN OFFICIAL RECORDS BOOK 4905, PAGE 4592, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA. AFFECTS THE SUBJECT PROPERTY AND IS SHOWN HEREON.
- FILE NO. 10104539 LO
8. EASEMENT TO FLORIDA POWER CORPORATION AS CONTAINED IN INSTRUMENT RECORDED IN OFFICIAL RECORDS BOOK 4086, PAGE 4209, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA. AFFECTS THE SUBJECT PROPERTY AND IS SHOWN HEREON.

TO: KHOWNANIAN HOMES, HACKLEMAN, OLIVE & JUDD, P.A.

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 8, 11, 13, 16 OF TABLE A THEREOF.



16 EAST PLANT STREET
WINTER GARDEN, FLORIDA 34787
407 654-5355 *FAX 407 654-5356

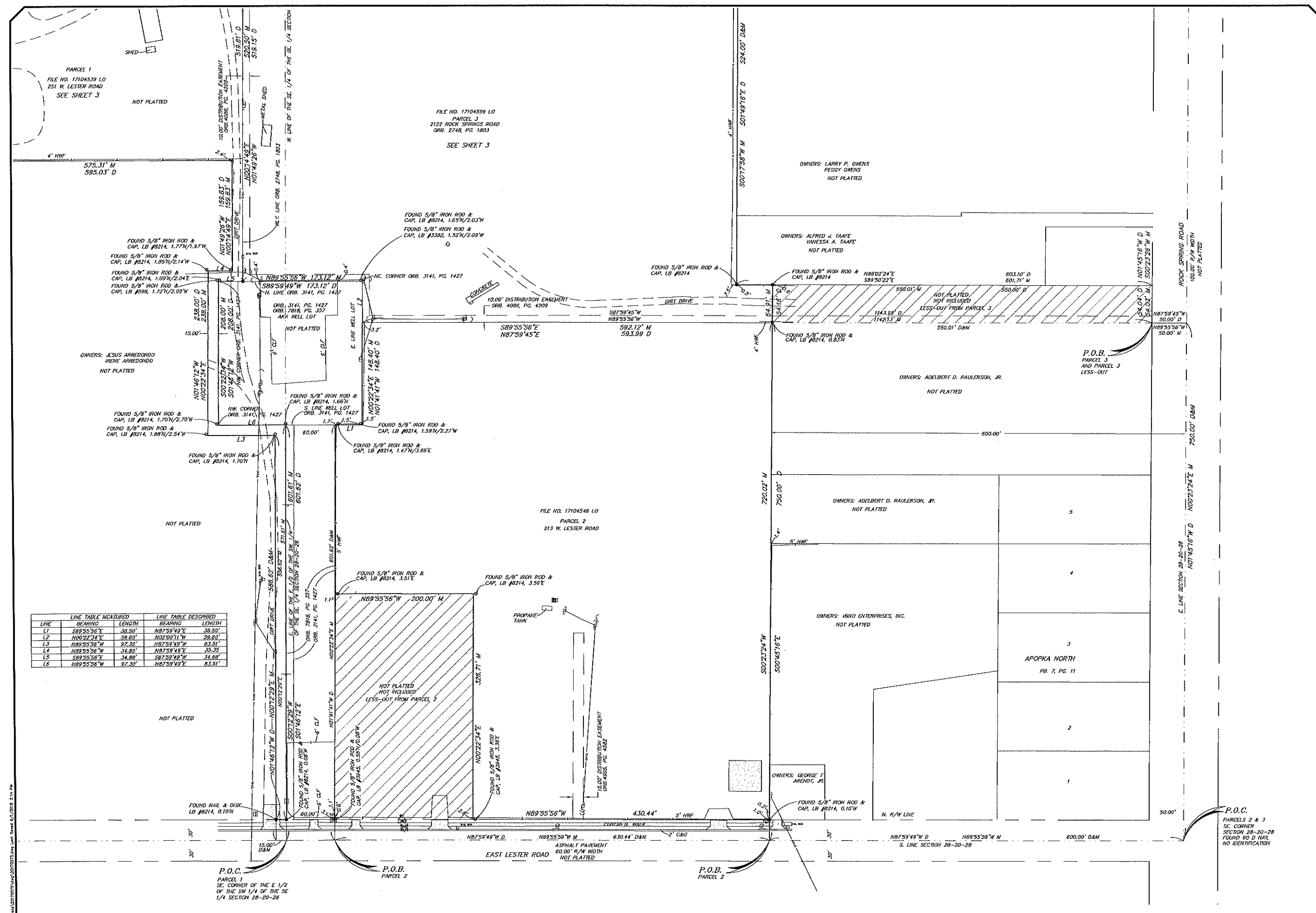
SAN SABASTIAN
OF
ALTA/ACSM LAND TITLE
BOUNDARY SURVEY
SECTION 28, TOWNSHIP 20 SOUTH, RANGE 28 EAST
CITY OF APOPKA
ORANGE COUNTY, FLORIDA

FOR:
KHONNANIAN HOMES

FOR THE LICENSED BUSINESS #1723 BY:
JAMES L. RICHMAN, P.S.M. #5033

DATE	REVISIONS

JOB # 20170575
DATE: NOVEMBER 29, 2017
SCALE: 1"=100'
CALC BY: SEJ
FIELD BY: SM
DRAWN BY: SEJ
CHECKED BY: JLR



LINE	BEARING	LENGTH	LINE	BEARING	LENGTH
L1	S89°55'56"E	38.50'	N87°59'49"E	38.50'	38.50'
L2	N00°22'34"E	59.60'	N02°00'11"W	59.60'	59.60'
L3	N89°55'56"W	97.35'	N87°59'49"W	83.51'	83.51'
L4	N89°55'56"W	34.85'	N87°59'49"E	35.35'	35.35'
L5	S89°55'56"E	34.88'	S87°59'49"W	34.88'	34.88'
L6	N89°55'56"W	97.30'	N87°59'49"E	83.51'	83.51'

P.O.C.
PARCEL 1
SE CORNER OF THE E 1/2
OF THE SW 1/4 OF THE SE
1/4 SECTION 28-20-28

P.O.B.
PARCEL 2

P.O.B.
PARCEL 2

P.O.C.
PARCELS 2 & 3
SE CORNER
SECTION 28-20-28
FOUND 60' D NAIL
NO IDENTIFICATION



16 EAST PLANT STREET
WINTER GARDEN, FLORIDA 34787
407 654-5355 *FAX 407 654-5356

SAN SABASTIAN
OF
ALTA/C/S/M LAND TITLE
BOUNDARY SURVEY
SECTION 28, TOWNSHIP 20 SOUTH, RANGE 28 EAST
CITY OF APOPKA
ORANGE COUNTY, FLORIDA

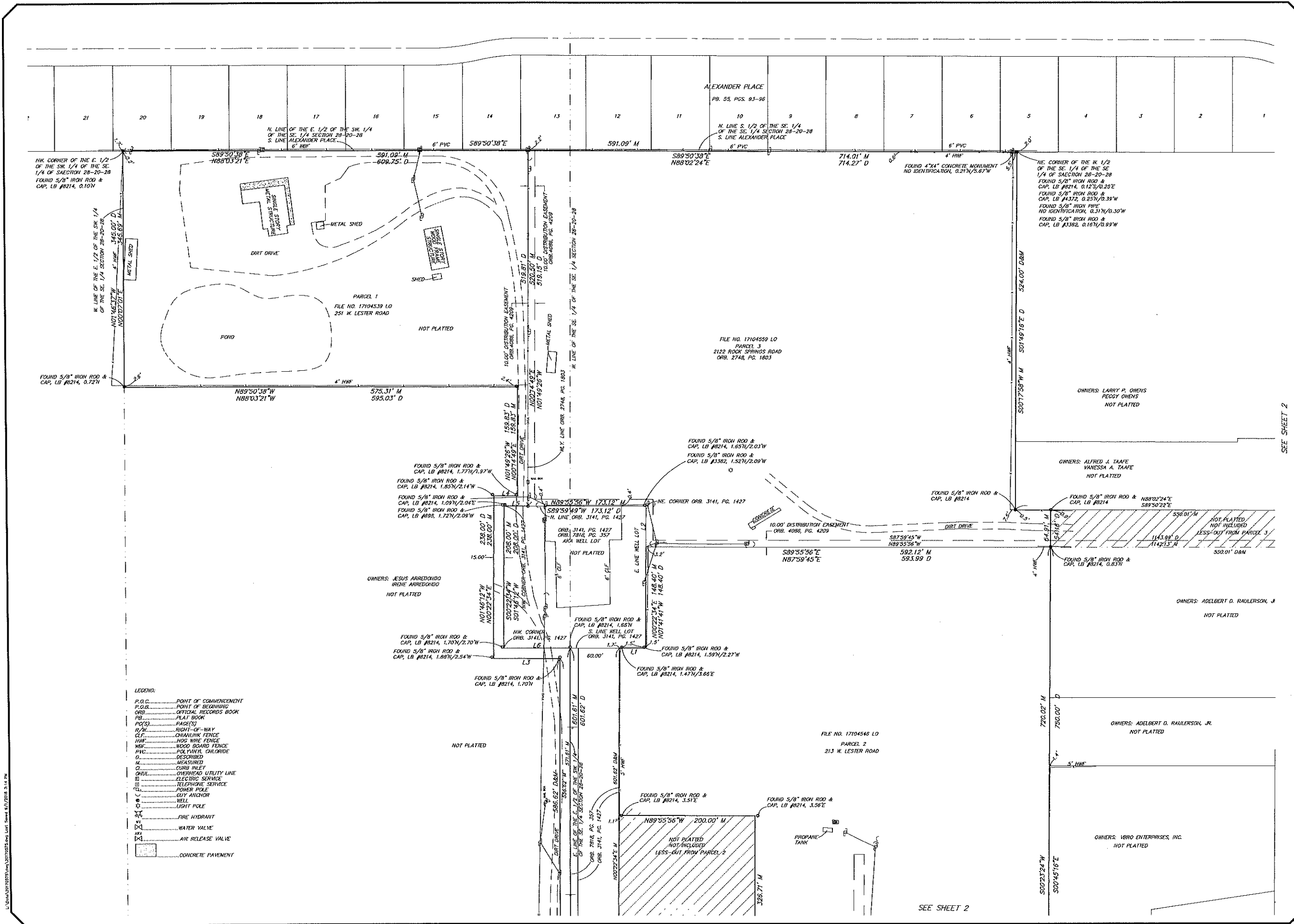
FOR:
KHOUVANNIAN HOMES

FOR THE LICENSED BUSINESS #223 BY:
JAMES L. RICHMAN, P.E.M. #5633

NO.	REVISIONS	DATE

JOB # 20170575
DATE: NOVEMBER 29, 2017
SCALE: 1"=100'
CALC BY: SEJ
FIELD BY: SM
DRAWN BY: SEJ
CHECKED BY: JLR

SHEET 3 OF 3



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SAN SEBASTIAN

A PORTION OF SECTION 28, TOWNSHIP 20 SOUTH, RANGE 28 EAST,
CITY OF APOPKA, ORANGE COUNTY, FLORIDA

SHEET 1 OF 3

PLAT BOOK ____ PAGE ____

LEGAL DESCRIPTION

A parcel of land comprising a portion of Section 28, Township 20 South, Range 28 East, City of Apopka, Orange County, Florida, being more particularly described as follows:

COMMENCE at the Southeast corner of aforesaid Section 28; thence run North 89° 55' 56" West along the South line of the Southeast 1/4 of said Section 28 for a distance of 600.00 feet; thence departing said South line run North 00° 23' 24" East for a distance of 30.00 feet to a point on the North right-of-way line of East Lester Road and the POINT OF BEGINNING; thence run North 89° 55' 56" West along said North right-of-way line for a distance of 430.44 feet; thence departing said North right-of-way line run North 00° 22' 34" East for a distance of 326.71 feet; thence run North 89° 55' 56" West for a distance of 200.00 feet to a point on the East line of a parcel of land described in Official Records Book 3141, Page 1427 of the Public Records of Orange County, Florida; thence run the following courses along said East line: North 00° 22' 34" East for a distance of 244.90 feet; thence run South 89° 55' 56" East for a distance of 38.50 feet; thence run North 00° 22' 34" East for a distance of 208.00 feet to the Northeast corner of aforesaid parcel of land described in Official Records Book 3141, Page 1427; thence run North 89° 55' 56" West along the North line of said parcel for a distance of 188.12 feet; thence departing aforesaid North line run North 00° 14' 49" East for a distance of 174.83 feet; thence run North 89° 50' 38" West for a distance of 575.31 feet to a point on the West line of the East 1/2 of the Southwest 1/4 of the Southeast 1/4 of aforesaid Section 28; thence run North 00° 07' 01" East along said West line for a distance of 345.69 feet to the Northwest corner of the East 1/2 of the Southwest 1/4 of the Southeast 1/4 of said Section 28; thence run South 89° 50' 38" East along the North line of the South 1/2 of the Southeast 1/4 of said Section 28, also being the South line of ALEXANDER PLACE according to the plat thereof as recorded in Plat Book 55, Pages 93 through 96 of aforesaid Public Records of Orange County, Florida for a distance of 1305.10 feet to the Northeast corner of the West 1/2 of the Southeast 1/4 of said Section 28; thence departing said North line and said South line run South 00° 17' 58" West, along the east line of the west 1/2 of the Southeast 1/4 of the Southeast 1/4 of said section 28 for a distance of 524.00 feet; thence departing said east line run South 89° 50' 22" East for a distance of 51.71 feet; thence run South 00° 23' 24" West a distance of 774.93 feet to the POINT OF BEGINNING;

Contains 22.86 acres more or less.

Together with:

A portion of Section 28, Township 20 South, Range 28 East, City of Apopka, Orange County, Florida, being more particularly described as follows: COMMENCE at the Southeast corner of said Section 28; thence North 00° 23' 24" East along the East line of the Southeast 1/4 of said Section 28, a distance of 750.01 feet; thence departing from said East line run North 89° 55' 56" West along a line 750 feet North from and parallel with, as measured at right angles to the South line of the Southeast 1/4 of said Section 28, a distance of 50.00 feet to the West right-of-way line of North Rock Springs Road and the POINT OF BEGINNING; thence South 00° 23' 24" West along said West right-of-way line, a distance of 31.06 feet; thence North 44° 43' 29" West, a distance of 35.43 feet to a point on a line lying 60 feet South from and parallel with, as measured at right angles to a Northerly boundary of lands described in that certain Corporate Warranty Deed as recorded in Official Records Book 6302, Page 1942, of the Public Records of Orange County, Florida; thence North 89° 50' 22" West along said parallel line, a distance of 524.90 feet; thence North 00° 23' 24" East along a line 600 feet West from and parallel with, as measured at right angles to the East line of the Southeast 1/4 of said Section 28, a distance of 5.07 feet to the Northwest corner of the South 750 feet of the East 860 feet of the Southeast 1/4 of said Section 28; thence continue North 00° 23' 24" East, a distance of 54.93 feet to a point on the Northerly boundary of said Corporate Warranty Deed; thence South 89° 50' 22" East along said Northerly boundary, a distance of 550.00 feet to the West right-of-way line of North Rock Springs Road; thence South 00° 23' 24" West along said West right-of-way line, a distance of 54.04 feet to the POINT OF BEGINNING.

Contains 0.77 acres more or less.

LEGEND:

L.B.	denotes licensed business	⊙	denotes set nail & disk LB 6723
U.E.	denotes utility easement	—	denotes permanent control point (PCP)
R/W	denotes right-of-way	—	denotes centerline
—	denotes change in direction	LLC	denotes limited liability company
—	along right-of-way lines	PG(S)	denotes page(s)
C.C.R. #	denotes Certified Corner Record Number	P.C.	denotes point of curvature
N.R.	denotes non-radial (see note 2)	P.T.	denotes point of tangency
■	denotes set 4" x 4" concrete monument LB 6723 permanent reference monument (PRM)	P.I.	denotes point of intersection
D.E.	denotes drainage easement	P.B.	denotes Plat Book
D.U.E.	denotes drainage and utility easement	R.P.	denotes radius point
D.B.	denotes Deed Book	R	denotes radius
P.C.C.	denotes point of compound curvature	Δ	denotes central angle
N.T.	denotes non tangent	L	denotes arc length
		CH	denotes chord length
		CB	denotes chord bearing

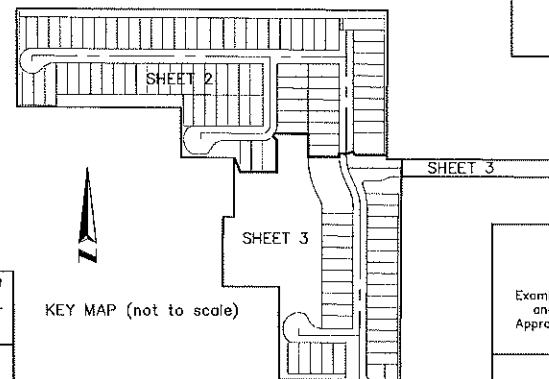
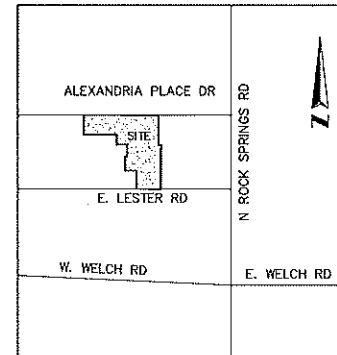
SURVEYOR'S NOTES:

- Bearings shown hereon are assumed and based on the South line of the Southeast 1/4 of Section 28-20-28 being an assumed bearing of North 89°55'56" West for angular designation only.
- All lot lines intersecting curves are radial, unless otherwise noted non-radial (N.R.).
- All platted utility easements shall also be easements for the construction, installation, maintenance, and operation of cable television and data services; provided, however, no such construction, installation, maintenance, and operation of cable television services shall interfere with the facilities and services of an electric, telephone, gas, or other public utility. In the event a cable television company damages the facilities of a public utility, it shall be solely responsible for the damages. This section shall not apply to those private easements granted to or obtained by a particular electric, telephone, gas, or other public utility. Such construction, installation, maintenance, and operation shall comply with the National Electrical Safety Code as adopted by the Florida Public Service Commission.
- Tracts A and N, (Landscape, Open Space, Dry Retention Area) and Tract H, (Retention) are dedicated to and maintained by the San Sebastian Homeowners Association, Inc., (The "Association"), with an easement dedicated to the City of Apopka for emergency operation and maintenance of the stormwater conveyance system. The City of Apopka is not responsible for the maintenance of the stormwater conveyance system.
- Tracts B, C, D, L, M, O and P (Open Space) are dedicated to and maintained by the Association.
- Tract G, (Dog Park) is dedicated to and maintained by the Association.
- Tracts E and F, (Recreation Tracts) are dedicated to and maintained by the Association.
- Tract K (Lift Station Tract) shall be deeded to and maintained by the City of Apopka.
- Tract RW-1, (Public right-of-way) shall be deeded to the City of Apopka.
- Tract J, Private right-of-way, shall be owned and maintained by the Association.
- This plat contains 112 Lots.
- All Lots are subject to a 10.00 foot utility easement adjacent to private rights-of-way, unless otherwise noted.

SHEET INDEX

SHEET 1 of 3 - legal description, Surveyor's notes, legend & dedication

SHEET 2 & 3 of 3 - boundary information, lot & tract geometry



NOTICE: THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

QUALIFICATION STATEMENT OF SURVEYOR AND MAPPER

KNOW ALL MEN BY THESE PRESENTS, that I the undersigned, being a licensed surveyor and mapper, do hereby certify that on April 13, 2016 I completed the survey of the lands as shown in the foregoing plat or plan; that said plat is a true and correct representation of the lands surveyed and platted and was prepared under my direction and supervision; that permanent reference monuments have been placed as shown thereon; and this plat complies with all the survey requirements of Chapter 177, Florida Statutes; and that said land is located in the City of Apopka, Orange County, Florida.

By: _____ Date: _____
James L. Rickman P.S.M. # 5633 Allen
& Company Licensed Business # 6723
18 East Plant Street, Winter Garden,
Florida 34787

CERTIFICATE OF REVIEW BY REVIEWING SURVEYOR

Pursuant to Section 177.081, Florida Statutes, I have reviewed this plat for conformity to Chapter 177 Part 1 of the Florida Statutes and that said plat complies with the technical requirements of that chapter; provided however, that my review does not include field verification of any of the coordinates, points or measurements shown on this plat.

Signed: _____
Printed Name: Bruce Ducker, PSM Date
Registration Number 5966
Southeastern Surveying and Mapping Corp

CERTIFICATE OF APPROVAL BY CITY ENGINEER

Examined and Approved: Richard Earp Date _____

CERTIFICATE OF APPROVAL BY APOPKA PLANNING COMMISSION

Examined and Approved: _____ Date _____
Chairman

CERTIFICATE OF COUNTY COMPTROLLER

I HEREBY CERTIFY, that the foregoing plat was recorded in the Orange County Official Records
on _____ as File No. _____
County Comptroller In and for Orange County, Florida.
By _____

SAN SEBASTIAN DEDICATION

THIS is to certify that the undersigned, LLC, a Florida limited liability company hereafter referred to as "Owner" is the lawful owner of the lands described in the caption hereon, and that it has caused the same to be surveyed, and this plat, made in accordance with said survey, is hereby adopted as the true and correct plat of said lands. No part of said lands, except as noted on the face of this plat, is dedicated to the City of Apopka or to the public. None of the property designated "Common Area" on this plat is required for public use; and such "Common Area" is not and will not be a part of the City system of public roads. Said "Common Area" is instead part of the "Common Area" created by this plat and will be subject to the declaration of covenants, conditions, and restrictions for San Sebastian Homeowners Association, Inc. as recorded in Official Records Book _____, Page _____ (herein after referred to as the "Declaration"). Said "Common Area" shall remain private and the sole and exclusive property of Owner its successors and assigns. Owner does hereby grant to the present and future owners of lots (1 through 112) and their guests, invitees, domestic help, and to delivery pick-up and fire protection services, police and other authorities of law, United States mail carriers, representatives of utilities, holders of mortgage liens on such lands, and such other persons as owner, its successor and assigns, may from time to time designate the non-exclusive and perpetual right of ingress and egress over and across the roads and sidewalks, as they may from time to time be constructed on Tract J of the "Common Area". The Owner, in recording this plat has created the Common Area shown hereon, which common area is a portion of the "Common Area" described in the declaration. Said "Common Area" is not dedicated to the use and enjoyment of the general public, but its use is reserved for the common use and enjoyment of the property owners of San Sebastian. The nature and extent of, and the reservations and restrictions on such common use and enjoyment are more fully set forth in the Declaration. Tract RW-1 is dedicated to the City of Apopka.

NOTWITHSTANDING the foregoing: An emergency access easement to the private storm drainage system over Tract J and over all drainage easements shown on this plat is hereby dedicated to the City of Apopka for emergency maintenance purposes in the event inadequate maintenance of the storm drainage system creates a hazard to the public health, safety, and general welfare. The emergency access easement granted above does not impose any obligation, burden, responsibility or liability upon the City of Apopka to enter upon the subject property and take any action to repair or maintain the private drainage system. A non-exclusive easement through, over, under and across the common area and all noted utility easements is hereby dedicated for use by all public utilities for the purpose of constructing, maintaining and replacing their respective facilities servicing the lands encompassed by this plat.

IN WITNESS WHEREOF, the undersigned, _____, LLC, a Florida limited liability company, has caused these presents to be executed and acknowledged by its undersigned Officer hereunto duly authorized on this _____ day of _____, 2018.

_____, LLC
A _____ limited liability company

Printed Name: _____
Signed and sealed in the presence of:

Signature of witness: _____

Printed Name of witness: _____

Signature of witness: _____

Printed Name of witness: _____

ACKNOWLEDGMENT

STATE OF FLORIDA COUNTY OF _____

THIS IS TO CERTIFY, that on this _____ day of _____, 20____ before me an officer duly authorized to take acknowledgments in the State and County aforesaid, personally appeared _____ on behalf of _____ limited liability company, who executed the foregoing Dedication and severally acknowledged the execution thereof to be his free act and deed for the uses and purposes therein expressed. He is personally known to me or has produced _____ as identification and did/did not take an oath.

IN WITNESS WHEREOF, I have hereto set my hand and seal on the above date.

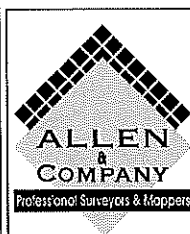
NOTARY PUBLIC:

Printed Name: _____
Commission No.: _____
My Commission Expires: _____

CERTIFICATE OF APPROVAL BY MUNICIPALITY

THIS IS TO CERTIFY, that on _____ the foregoing plat was approved by the Municipality.

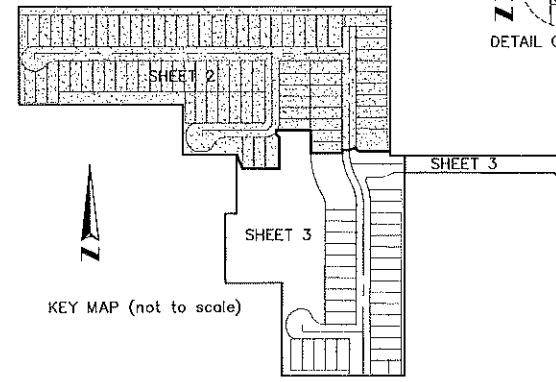
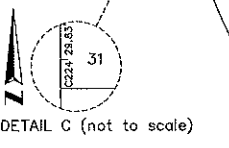
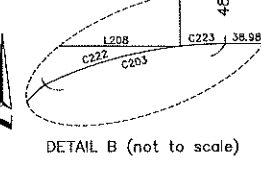
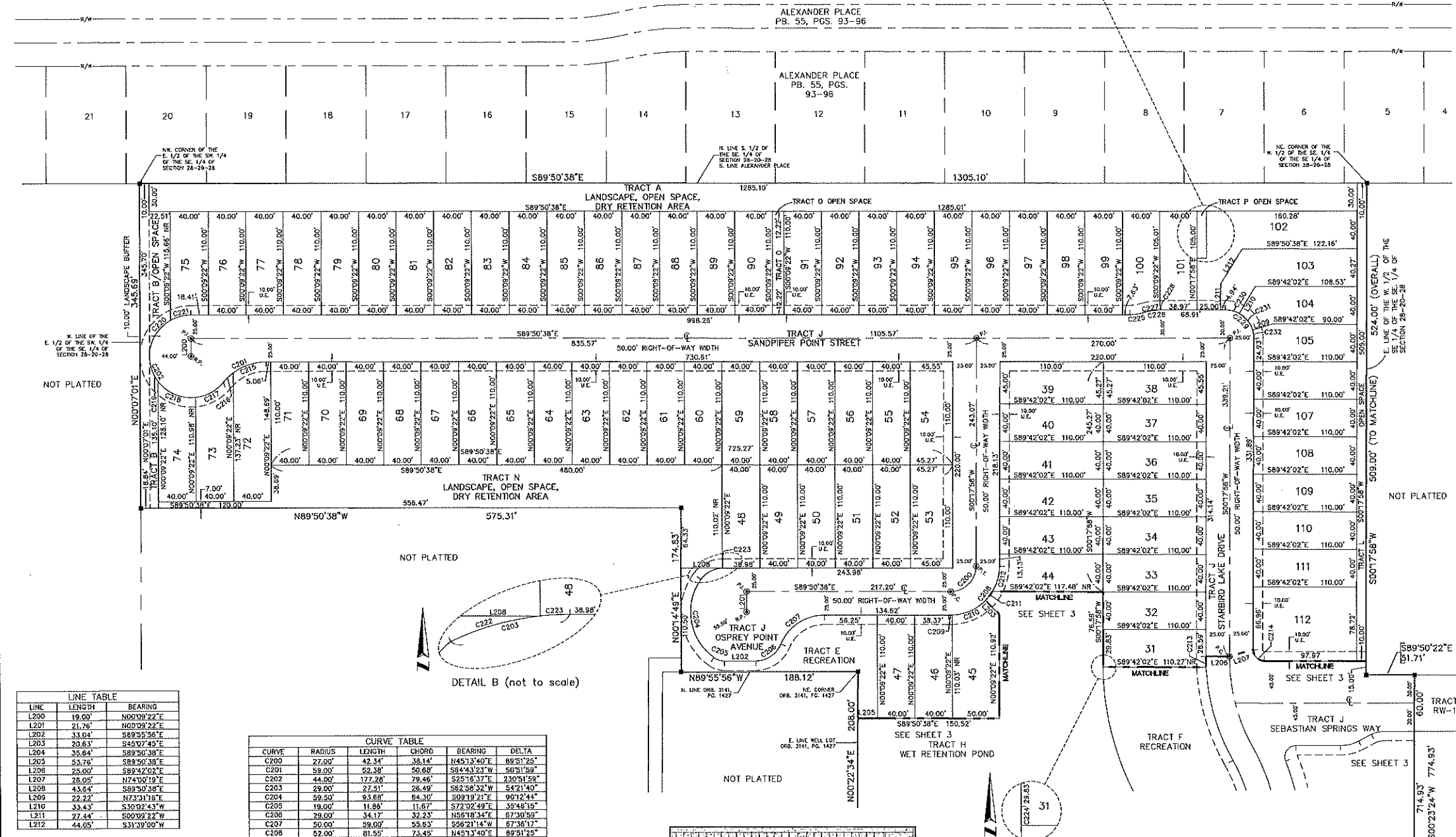
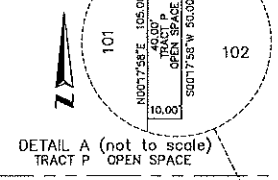
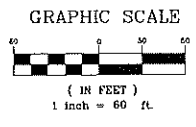
Mayor _____
Attest: _____
City Clerk _____



18 EAST PLANT STREET
WINTER GARDEN, FLORIDA 34787
(407) 654-5355

SAN SEBASTIAN

A PORTION OF SECTION 28, TOWNSHIP 20 SOUTH, RANGE 28 EAST,
CITY OF APOPKA, ORANGE COUNTY, FLORIDA



LINE	LENGTH	BEARING
L200	19.00'	N00°09'22"E
L201	21.76'	N00°09'22"E
L202	33.04'	S89°50'38"E
L203	20.63'	S45°07'45"E
L204	35.64'	S89°50'38"E
L205	53.76'	S89°50'38"E
L206	25.00'	S89°42'02"E
L207	26.09'	N74°00'19"E
L208	43.54'	S89°50'38"E
L209	22.22'	N73°31'18"E
L210	33.43'	S30°02'43"W
L211	27.44'	S00°09'22"W
L212	44.05'	S31°39'00"W

CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
C200	27.00'	42.34'	38.14'	N45°13'40"E	89°51'25"
C201	59.00'	52.38'	50.68'	S84°43'23"W	50°31'59"
C202	44.00'	172.76'	79.46'	S2°51'37"E	2°51'59"
C203	29.00'	27.91'	26.49'	S82°58'32"W	54°21'40"
C204	99.50'	93.68'	84.30'	S09°19'21"E	90°12'44"
C205	19.00'	11.86'	11.67'	S72°02'49"E	35°48'15"
C206	29.00'	34.17'	32.23'	N58°18'34"E	67°30'59"
C207	50.00'	59.00'	55.53'	S68°21'14"W	67°38'12"
C208	52.00'	81.55'	73.45'	N45°13'40"E	89°51'25"
C209	52.00'	1.63'	1.63'	N89°15'29"E	01°47'46"
C210	52.00'	39.50'	38.55'	N88°38'00"E	43°31'13"
C211	52.00'	12.19'	12.18'	N38°07'33"E	13°25'41"
C212	52.00'	28.24'	27.89'	N19°31'20"E	31°08'45"
C213	223.00'	11.41'	11.41'	S01°09'27"E	02°54'20"
C214	12.00'	18.89'	18.99'	S44°46'12"E	90°08'20"
C215	59.00'	37.39'	36.77'	S72°00'02"W	36°18'40"
C216	59.00'	14.99'	14.95'	S46°34'03"W	14°33'19"
C217	44.00'	34.09'	33.25'	N61°29'28"E	44°24'06"
C218	44.00'	45.51'	43.51'	S68°42'35"E	59°15'10"
C219	44.00'	28.53'	28.03'	S18°27'38"E	37°09'22"
C220	44.00'	46.57'	44.43'	S30°26'33"W	60°39'04"
C221	44.00'	22.57'	22.32'	S75°27'44"W	29°23'17"
C222	29.00'	26.50'	25.59'	S81°58'17"W	52°21'09"
C223	29.00'	1.02'	1.02'	S89°09'07"W	2°00'31"
C224	309.00'	3.41'	3.41'	S00°11'33"E	02°39'01"
C225	90.00'	14.86'	14.01'	N61°38'25"E	17°01'56"
C226	84.00'	19.03'	18.96'	S81°38'25"W	17°01'56"
C227	84.00'	18.00'	17.94'	S81°10'50"W	15°06'46"
C228	84.00'	1.03'	1.03'	S89°41'48"W	00°59'09"
C229	30.00'	47.20'	42.48'	N44°45'20"W	90°38'35"
C230	30.00'	15.65'	15.47'	N74°53'57"W	29°53'20"
C231	30.00'	22.76'	22.22'	N38°13'01"W	43°28'33"
C232	30.00'	6.79'	6.79'	N08°55'23"W	16°46'42"

16 EAST PLANT STREET
WINTER GARDEN, FLORIDA 34787
(407) 654-5355

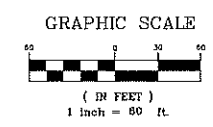
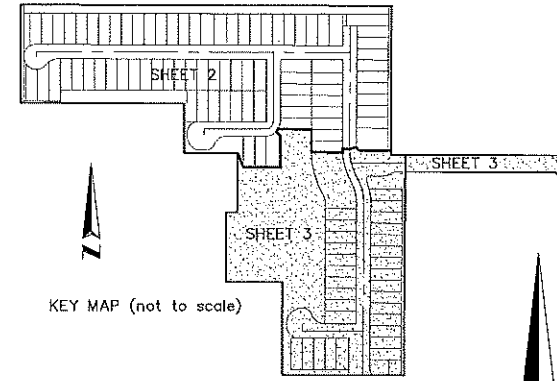
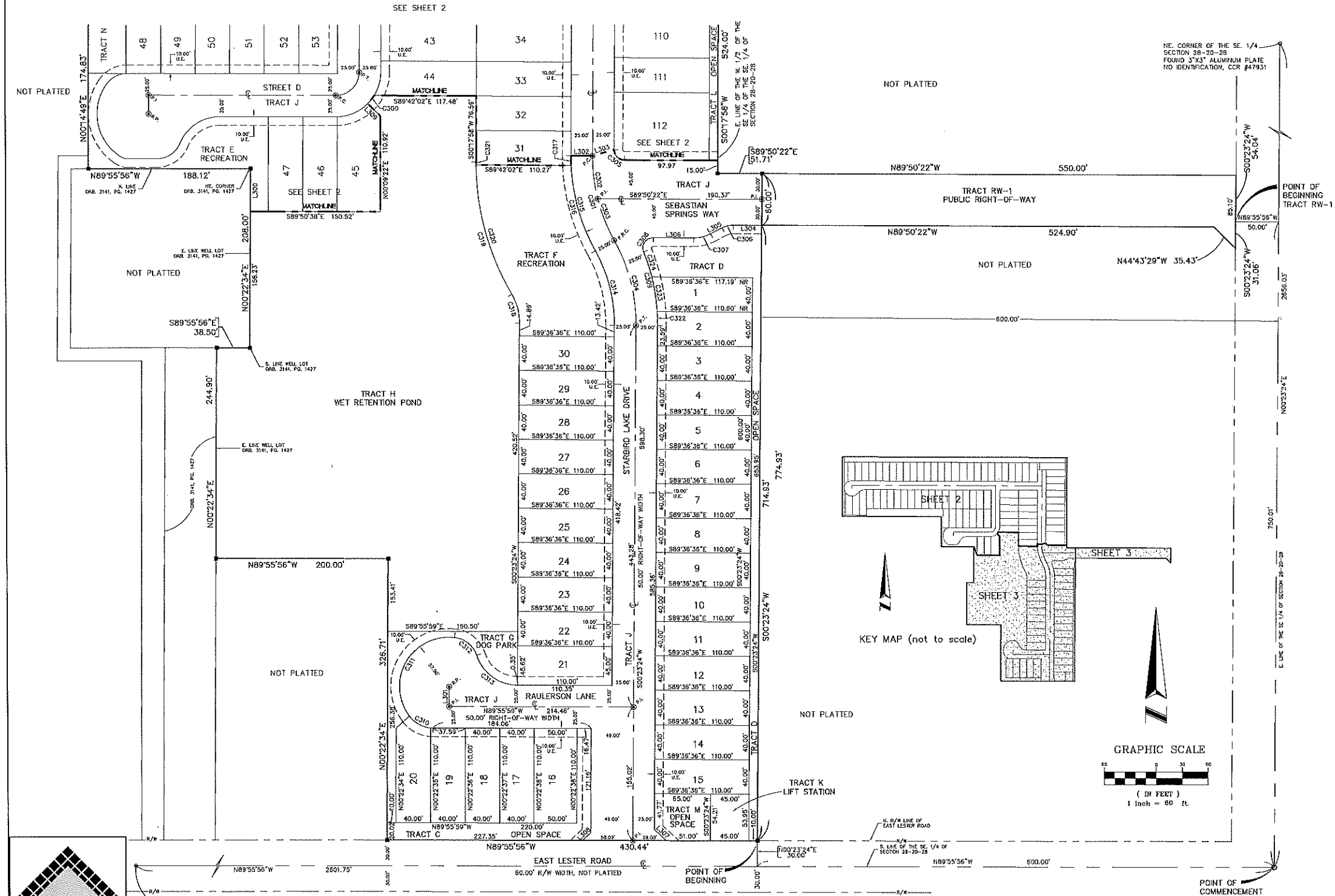
SHEET INDEX
SHEET 1 of 3 - legal description, Surveyor's notes, legend & dedication
SHEET 2 & 3 of 3 - boundary information, lot & tract geometry

SAN SEBASTIAN

A PORTION OF SECTION 28, TOWNSHIP 20 SOUTH, RANGE 28 EAST,
CITY OF APOPKA, ORANGE COUNTY, FLORIDA

SHEET 3 OF 3

PLAT BOOK _____ PAGE _____



ALLEN & COMPANY
Professional Surveyors & Mappers

16 EAST PLANT STREET
WINTER GARDEN, FLORIDA 34787
(407) 654-5355

1/4 OF THE SE 1/4 OF SECTION 28-20-28 RECOVERED PER 10 IDENTIFICATION, USED REFERENCES FROM COR #6559 TO VERIFY LOCATION.

POINT OF BEGINNING
SE CORNER OF SECTION 28-20-28 FROM 60 D.M.A. TO BE IDENTIFIED, USED REFERENCES FROM COR #67379 TO VERIFY LOCATION.

LINE	LENGTH	BEARING
L300	49.77	N00°22'34"E
L301	23.00	S00°23'35"W
L302	29.00	S89°42'02"E
L303	29.85	N74°30'19"E
L304	32.99	S89°50'22"E
L305	15.13	N62°31'54"E
L306	46.98	S89°50'22"E
L307	18.91	S47°20'35"W
L308	12.73	S45°57'05"W
L309	20.63	S45°07'45"E

CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
C300	52.00'	12.15'	12.16'	N38°07'33"E	13°25'41"
C301	209.00'	102.54'	101.42'	S14°23'18"E	29°22'30"
C302	200.00'	50.30'	50.16'	S06°34'18"E	14°24'31"
C303	200.00'	52.24'	52.09'	S21°35'33"E	14°57'59"
C304	200.00'	102.85'	101.72'	N14°20'34"W	29°22'36"
C305	12.00'	18.88'	16.89'	S44°46'12"E	80°08'20"
C306	28.00'	13.50'	13.37'	S78°20'46"W	27°37'43"
C307	42.00'	20.25'	20.06'	N76°20'46"E	27°37'43"
C308	12.00'	23.47'	19.91'	S14°07'24"W	112°04'26"
C309	725.00'	87.59'	87.03'	N10°45'43"W	22°18'14"
C310	34.00'	31.71'	30.87'	S63°12'58"E	53°28'04"
C311	97.50'	133.34'	105.41'	S29°56'04"W	132°51'55"

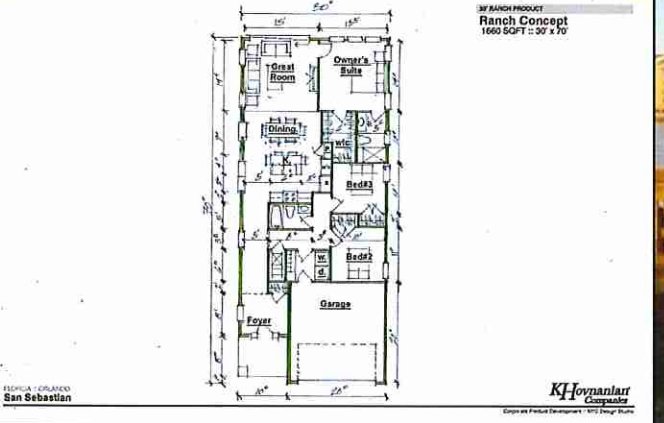
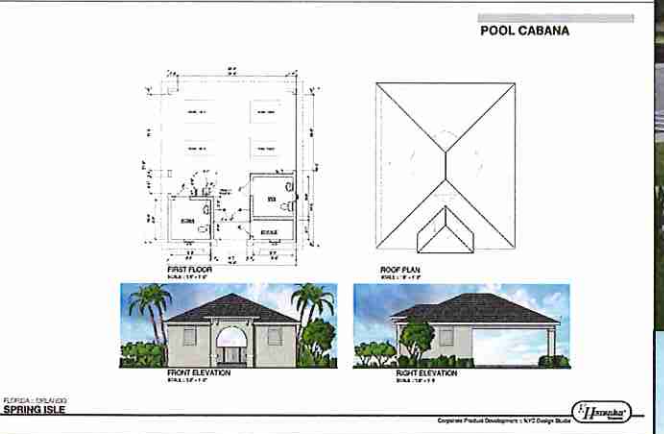
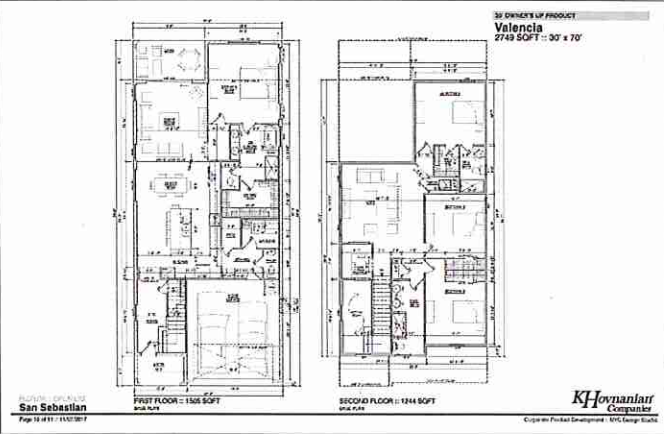
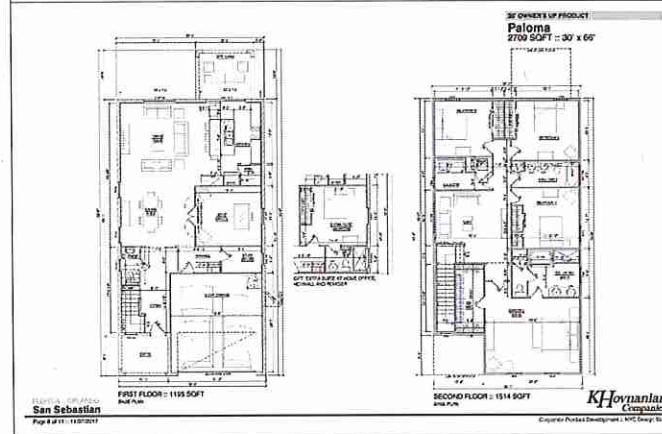
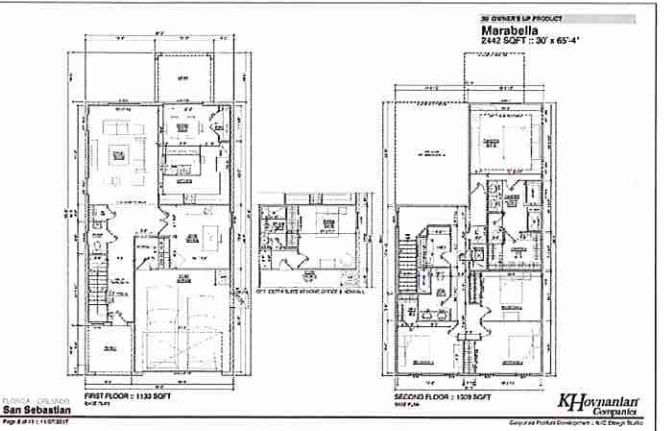
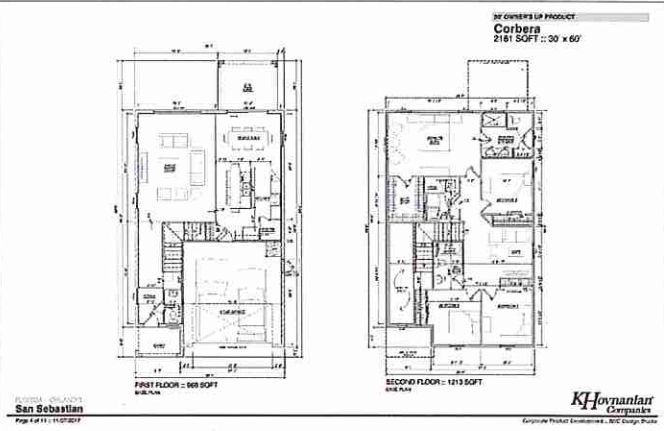
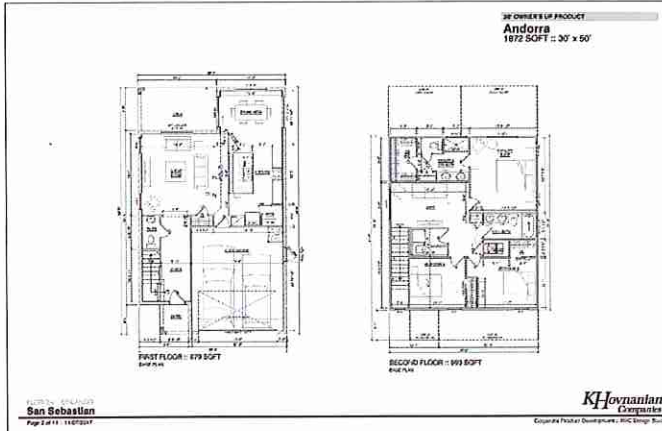
CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
C312	30.00'	34.42'	32.56'	N50°45'44"W	65°44'30"
C313	50.00'	62.87'	58.81'	S53°54'44"E	72°02'30"
C314	175.00'	90.00'	89.01'	N14°20'34"W	29°27'58"
C315	225.00'	116.36'	114.10'	S14°23'18"E	29°22'30"
C316	225.00'	103.95'	103.02'	S15°30'27"E	28°28'10"
C317	225.00'	11.41'	11.41'	S01°08'12"E	02°54'20"
C318	65.00'	34.94'	34.92'	N15°05'06"W	30°48'05"
C319	300.00'	161.19'	159.25'	S15°05'36"E	30°47'08"
C320	300.00'	157.79'	155.97'	S12°25'09"E	30°08'09"
C321	300.00'	3.41'	3.41'	S00°01'33"E	00°39'01"
C322	225.00'	16.43'	16.42'	N01°42'08"W	04°10'59"
C323	225.00'	40.59'	40.54'	N08°57'42"W	10°20'14"
C324	225.00'	30.57'	30.54'	N18°01'19"W	07°47'01"

SHEET INDEX

SHEET 1 of 3 - legal description, Surveyor's notes, legend & dedication

SHEET 2 & 3 of 3 - boundary information, lot & tract geometry

C:\Users\Dennis_Murray\Dropbox\Rick_Web\JFH\San_Sebastian\DWG\Construction Plans\2017-011-A-1-- Bldg Elevations.dwg_Plotted:6/20/2018 By:dennis_murray

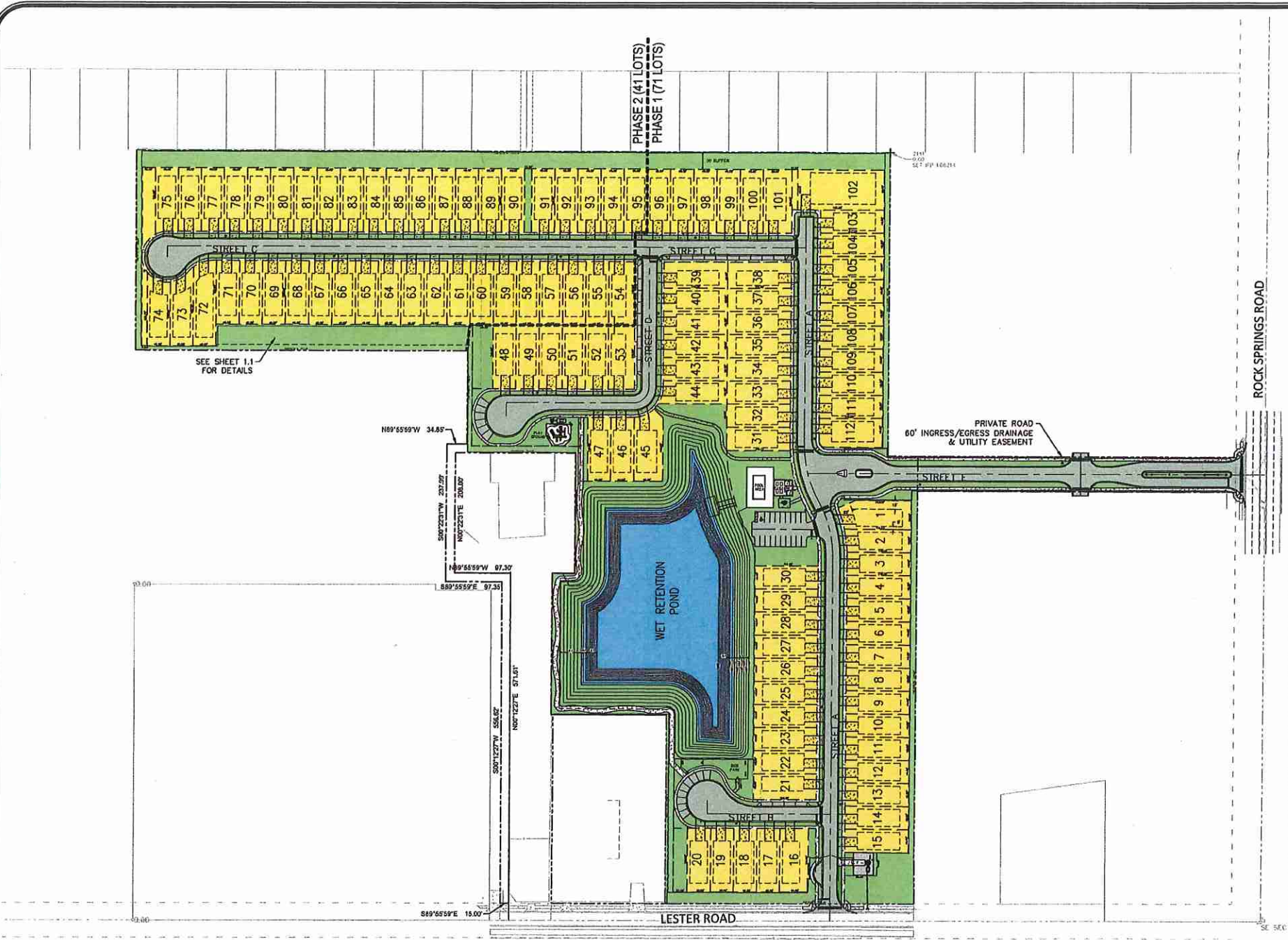


REV.	DATE	DESCRIPTION	BY

WOHLFARTH CONSULTING GROUP LLC ENGINEERS & PLANNERS 2445 N. WESTMONTE DRIVE ALTAMONTE SPRINGS, FL 32714 (407) 750-3123			
SAN SEBASTIAN RESERVE ORANGE COUNTY, FLORIDA		BUILDING ELEVATIONS	
SCALE:	N/A	DRAWN:	DM
PROJECT:	2017-011	DESIGNED:	
SHEET:	A-1.0	CHECKED:	RW
BUSINESS NO. 32108	DATE:	5/6/2018	

6/20/18
NOT TO BE FILED FOR RECORD OR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF WOHLFARTH CONSULTING GROUP LLC

C:\Users\Dennis.Murray\Desktop\Rock Springs\San Sebastian\DWG\Development\Development_Plan\2017-011-CLO -Overall Master Development Plan.dwg PLOT: 2/5/2018 By: Dennis Murray



SITE DATA:

PARCEL IDENTIFICATION NUMBER: 28-20-28-0000-00-077
 28-20-28-0000-00-040
 28-20-28-0000-00-084

EXISTING FUTURE LAND USE (COUNTY): LOW DENSITY (4 UNITS PER ACRE)
 PROPOSED FUTURE LAND USE (CITY): LOW MEDIUM DENSITY (5 UNITS PER ACRE)

EXISTING COUNTY PARCEL ZONING: A-1 (COUNTY)
 PROPOSED ZONING: R-3 (CITY)

ADJACENT FUTURE LAND USE:
 NORTH: LD (COUNTY)
 SOUTH: LM (COUNTY)
 EAST: A-1 (COUNTY)
 WEST: RLS (CITY)

ADJACENT EXISTING ZONING:
 NORTH: R1A (COUNTY)
 SOUTH: RT (COUNTY)
 EAST: A-1 (COUNTY)
 WEST: A-1 (CITY)

PARCEL GROSS AREA: 23.14 AC
 BUILDABLE AREA: 22.82 AC

OPEN SPACE CALCULATION: OPEN SPACE AREA: 309,283 SF OR 7.01 AC (31.12%)

PROPOSED LOT DIMENSIONS:
 -MIN. LOT SIZE: 4,400 SQ. FT.
 -MIN. LOT WIDTH: 40 FT.
 -MIN. LOT DEPTH: 110 FT.

TOTAL NUMBER OF LOTS: 112
 MINIMUM LIVING AREA (UNDER HEAT AND A/C): 1,660 SQ. FT.

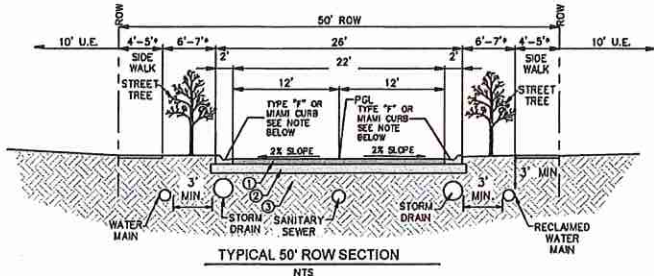
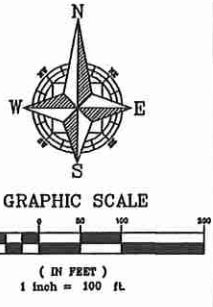
DENSITY: -NO. OF UNITS: 112
 -UNITS/ACRE: 4.90 DU/AC

BUILDING SETBACKS: FRONT: 22'
 REAR: 15'
 SIDE: 5'
 SIDE STREET: 10'

PROJECTED SCHOOL AGE POPULATION: 49 STUDENTS
 (112 UNITS X 0.431)

PROJECT PHASING:
 PHASE I: MARCH 2018 - FEBRUARY 2019
 PHASE II: MARCH 2019 - FEBRUARY 2020

PARKING CALCULATIONS:
 REQUIRED PARKING: 2 SPACES PER UNIT = 2 * 112 = 224 SPACES
 PROVIDED PARKING:
 2 SPACES PER DRIVEWAY = 2 * 112 = 224 SPACES
 2 CAR GARAGE = 2 * 112 = 224 SPACES
 COMMUNITY/GUEST PARKING = 57 SPACES - 1/2 SPACE/UNIT

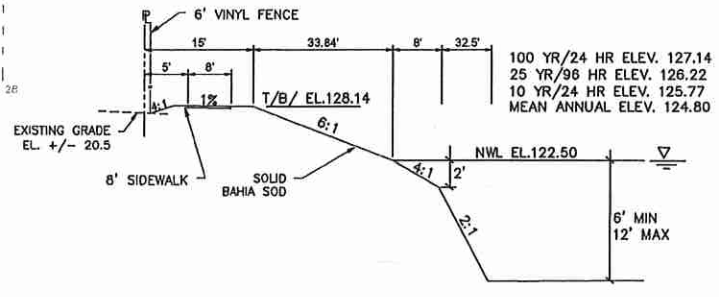


TYPICAL 50' ROW SECTION
 NTS

TYPICAL PAVEMENT SECTION:
 1) 1.5" 1/4" ASPHALIC CONCRETE TYPE SP-6.5
 2) 6" CRUSHED CONCRETE OR LNDROOF
 3) 12" STABILIZED SUBGRADE

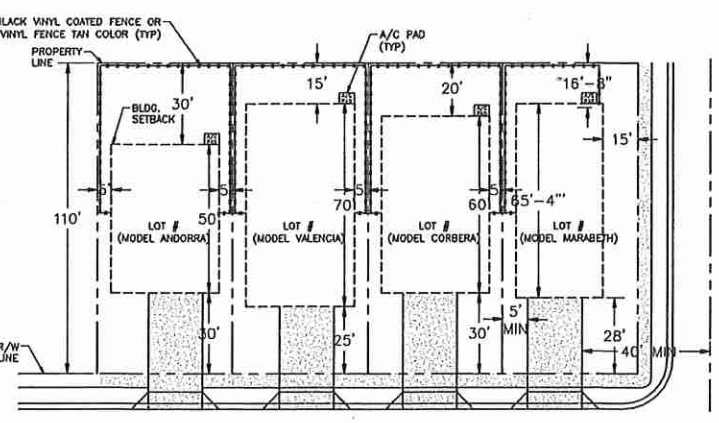
*ENTRANCE ROAD/ROADWAY 1 = 5' SIDEWALK/6' GREEN SPACE
 ROADWAY 2,3,4,5 = 4' SIDEWALK/7' GREEN SPACE

NOTE: MAH CURB TO BE CONSTRUCTED IN FRONT OF ALL LOTS, USE TYPE 'F' CURB AND GUTTER AT ALL OTHER AREAS.
 ALL CONSTRUCTION SHALL BE DONE TO CITY OF APOKA STANDARDS



TYPICAL POND SECTION
NTS

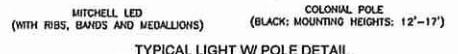
- GENERAL NOTES:**
- 1) AN ORANGE COUNTY R/W PERMIT WILL BE REQUIRED FOR THE CONNECTION TO ROCK SPRINGS ROAD. THE CONNECTION SHALL BE DESIGNED IN COMPLIANCE WITH ORANGE COUNTY REQUIREMENTS.
 - 2) FULL LANDSCAPE AND IRRIGATION PLANS SHALL BE PROVIDED WITH THE FINAL DEVELOPMENT PLAN. THE PLANS SHALL BE DESIGNED IN ACCORDANCE WITH CITY ORDINANCE NO. 2069.
 - 3) POOLS ARE NOT PERMITTED IN REAR YARD AREAS THAT ARE 15' OR LESS. THE MINIMUM REAR YARD FOR A POOL SHALL BE 20'.
 - 4) THE PRIVATE ROAD EASEMENT SHALL BE DEDICATED TO THE PUBLIC UPON THE REQUEST OF THE CITY OF APOKA.
 - 5) THE CABANA BATH WILL BE SERVICED BY REGULAR CONTAINER PICK-UP.
 - 6) MAH/VALLEY GUTTER SHALL BE USED IN FRONT OF ALL RESIDENTIAL LOTS. TYPE F CURB AND GUTTER SHALL BE USED IN ALL OTHER AREAS.



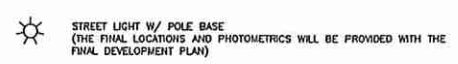
TYPICAL LOT DETAIL
NTS.

NO DRIVEWAY SHALL BE CLOSER THAN 5' TO ANY PROPERTY LINE AND 40' FROM THE CENTERLINE OF ANY INTERSECTION

THE EXACT LOCATION OF A/C PAD LONG THE REAR OF THE BUILDING WILL BE SHOWN ON THE BUILDING PERMIT SUBMISSION.

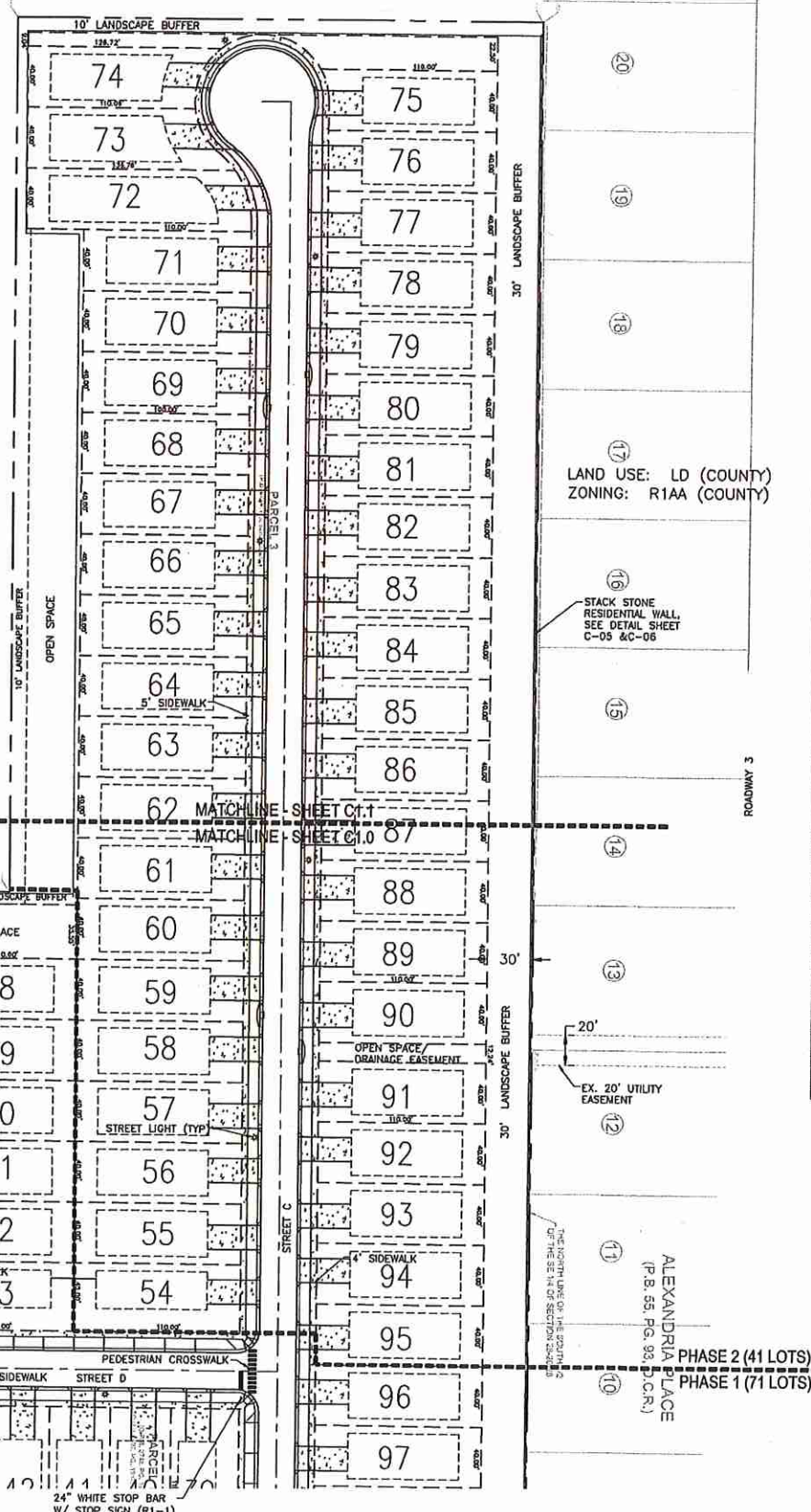
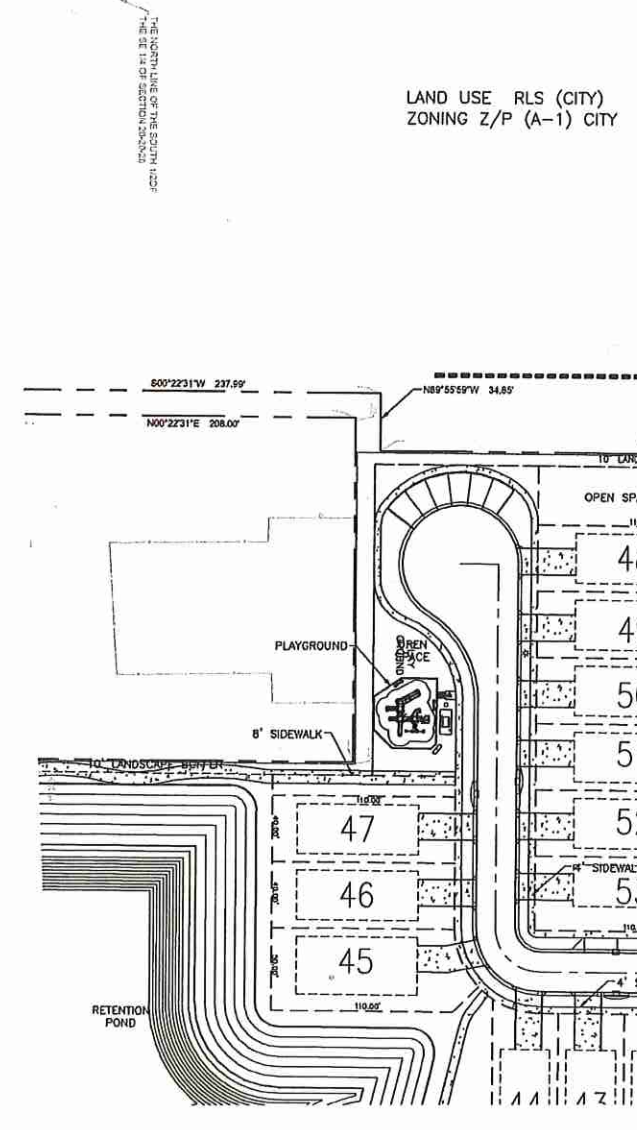
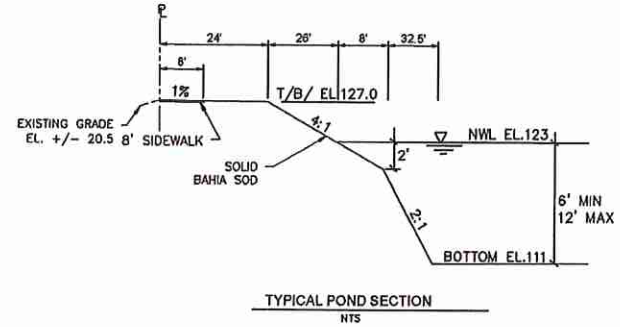
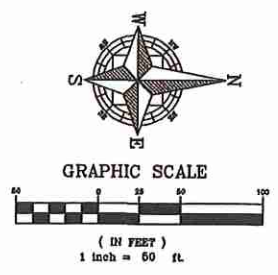


TYPICAL LIGHT W/ POLE DETAIL
LIGHTING PROVIDED BY DUKE ENERGY



STREET LIGHT W/ POLE BASE
(THE FINAL LOCATIONS AND PHOTOMETRICS WILL BE PROVIDED WITH THE FINAL DEVELOPMENT PLAN)

WOHLFARTH CONSULTING GROUP LLC ENGINEERS & PLANNERS 946 N. WESTLAKE DRIVE ALAMONTE SPRINGS, FL 32714 (407) 780-3123			BY
			DATE
			REV
			DESCRIPTION
SAN SEBASTIAN RESERVE ORANGE COUNTY, FLORIDA			MASTER PLAN DEVELOPMENT STANDARDS
SCALE	1"=100'		
PROJECT	2017-011		
SHEET	C-1.0		
DATE	1/13/2018		
DRAWN	DM		
DESIGNED			
CHECKED	RW		
BUSINESS NO. 32108			
NOT FOR CONSTRUCTION			
25/18			



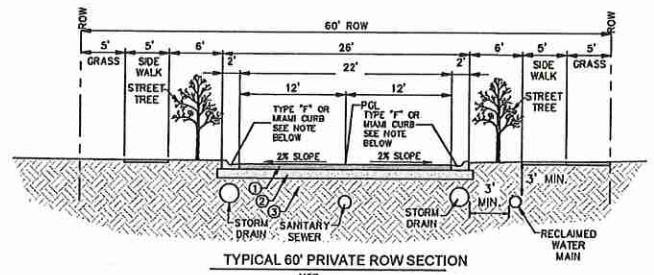
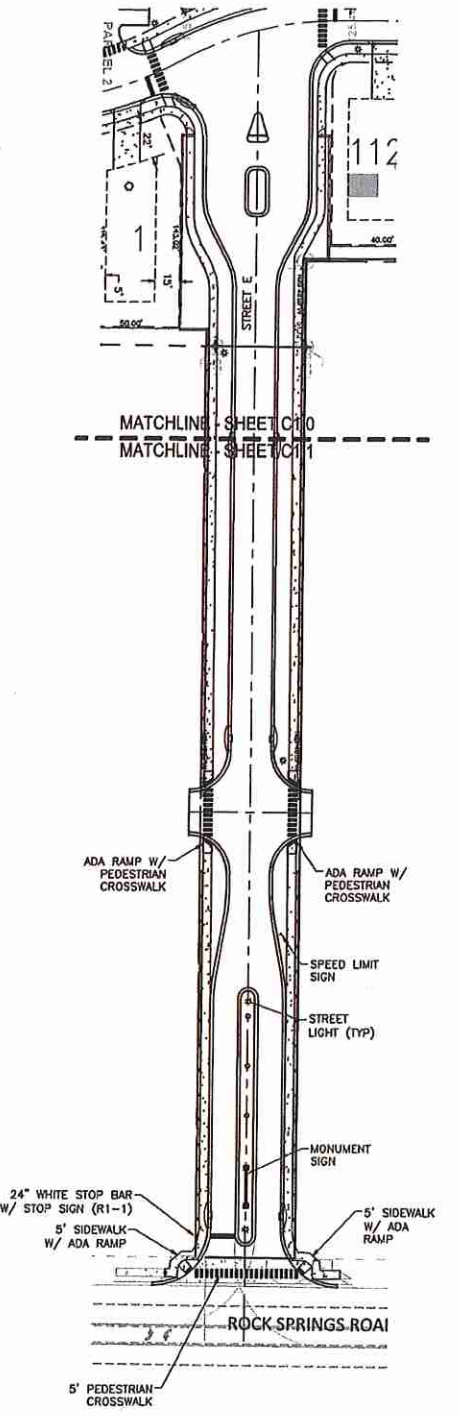
LOT TABLE

Lot Number	Lot Frontage	Lot Square Footage
1	33	4,534
2	40	4,400
3	40	4,400
4	40	4,400
5	40	4,400
6	40	4,400
7	40	4,400
8	40	4,400
9	40	4,400
10	40	4,400
11	40	4,400
12	40	4,400
13	40	4,400
14	40	4,400
15	40	4,400
16	50	5,500
17	40	4,400
18	40	4,400
19	40	4,400
20	40	4,400
21	40	4,400
22	40	4,400
23	40	4,400
24	40	4,400
25	40	4,400
26	40	4,400
27	40	4,400
28	40	4,400
29	40	4,400
30	40	4,400
31	40	4,400
32	40	4,400
33	40	4,400
34	40	4,400
35	40	4,400
36	40	4,400
37	40	4,400
38	40	4,400
39	40	4,400
40	40	4,400
41	40	4,400
42	40	4,400
43	40	4,400
44	40	4,400
45	40	4,400
46	40	4,400
47	40	4,400
48	40	4,400
49	40	4,400
50	40	4,400
51	40	4,400
52	40	4,400
53	40	4,400
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55	40	4,400
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57	40	4,400
58	40	4,400
59	40	4,400
60	40	4,400
61	40	4,400
62	40	4,400
63	40	4,400
64	40	4,400
65	40	4,400
66	40	4,400
67	40	4,400
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69	40	4,400
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74	40	4,400
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90	40	4,400
91	40	4,400
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93	40	4,400
94	40	4,400
95	40	4,400
96	40	4,400
97	40	4,400
100	40	4,400
101	40	4,400
102	40	4,400
103	40	4,400
104	40	4,400
105	40	4,400
106	40	4,400
107	40	4,400
108	40	4,400
109	40	4,400
110	40	4,400
111	40	4,400
112	57	5,569

LAND USE: LD (COUNTY)
ZONING: R1AA (COUNTY)

STACK STONE RESIDENTIAL WALL
SEE DETAIL SHEET
C-D5 & C-06

ALEXANDRIA PLACE
(P.B. 55, PG. 88, D.C.R.)
PHASE 2 (41 LOTS)
PHASE 1 (71 LOTS)



TYPICAL PAVEMENT SECTION
NTS
1) 1-1/4" ASPHALTIC CONCRETE TYPE SP-9.5
2) 6" CRUSHED CONCRETE OR LIMESTONE
3) 12" STABILIZED SUBGRADE

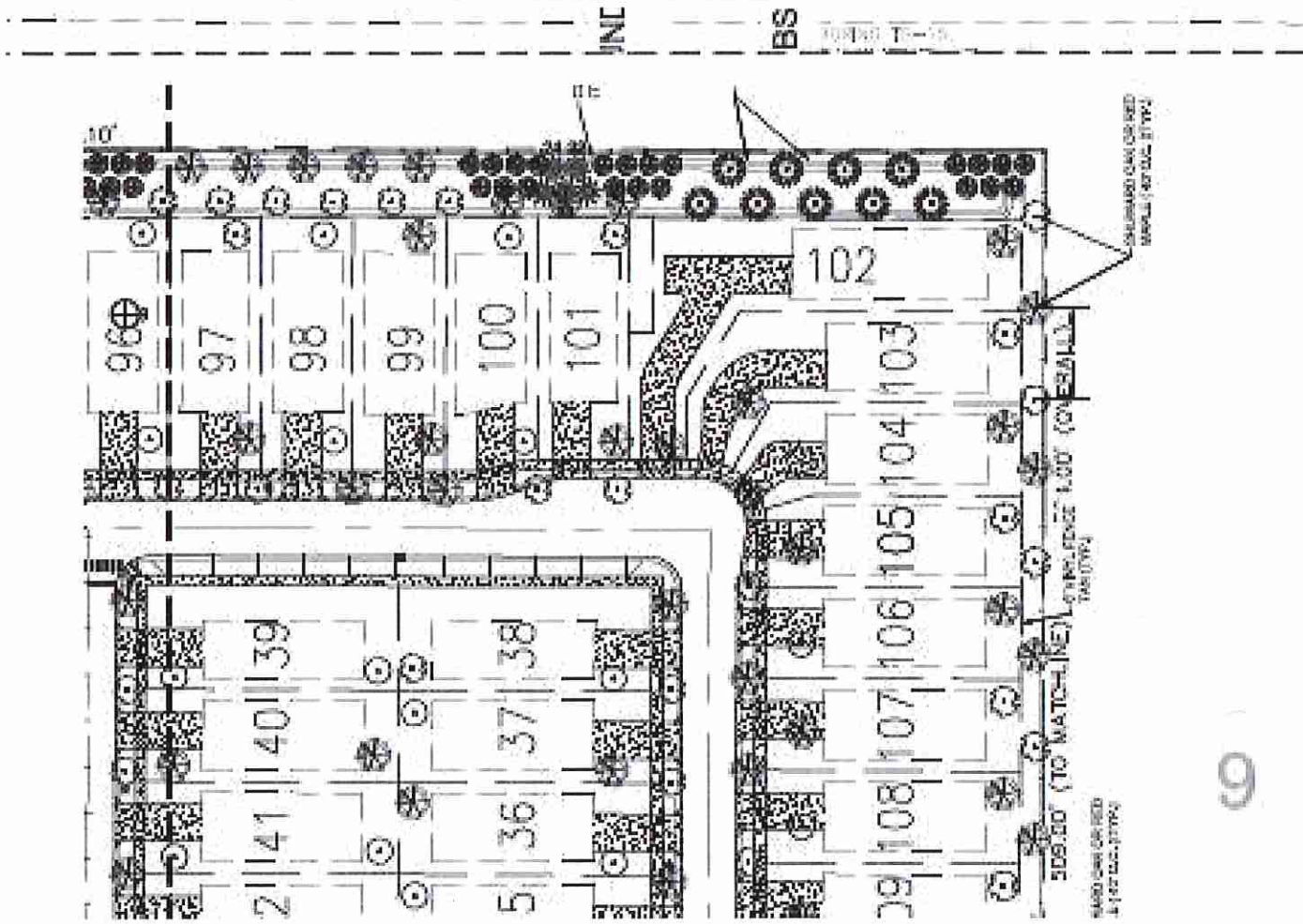
NOTE:
ALL CONSTRUCTION SHALL BE DONE TO CITY OF APOPKA STANDARDS

WOLFARTH CONSULTING GROUP LLC ENGINEERS & PLANNERS 246 N. WESTLAKE DRIVE ALTIMONTE SPRINGS, FL 32714 (407) 750-3123	
SAN SEBASTIAN RESERVE ORANGE COUNTY, FLORIDA	PRELIMINARY DEVELOPMENT PLAN
SCALE: 1" = 50'	PROJECT: 2017-011
DRAWN: DM	DESIGNED: ---
CHECKED: RW	DATE: 9/16/2017
BUSINESS NO. 32108	
NOT FOR CONSTRUCTION	

C:\Users\Dennis Murrey\Desktop\Rick Wohlfarth\San Sebastian\DWG\Preliminary Development\Plan_2017-011-C1 - Preliminary Development.dwg Plotfile:2/5/2018 By:dennis murrey

San Sebastian FDP and Plat

Final Development Plan



Master Plan\Preliminary Development Plan

